

PUBLIC HEARING BINDER

1200 Block East Keith Road



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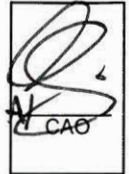
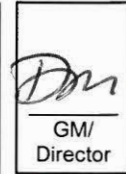
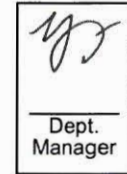
Agenda and Reports	
1)	Public Hearing Agenda
2)	Staff Report - September 18, 2023 This report provides an overview of the proposed supportive housing project and the land use issues related to the Rezoning Bylaw and Development Cost Charges Bylaw.
3)	Bylaw 8643 Rezoning This Bylaw rezones the subject site from Single Family Residential (RS4) to Comprehensive Development (CD 146) to permit a 6 storey apartment building of 65 residential units with support services.
4)	Bylaw 8644 This Bylaw waives Development Cost Charges for the subject property.
5)	Staff Report - October 23, 2023 Administrative Correction to correct a typo in the bylaw.
6)	Notice
Additional Information	
7)	Minutes – Regular Meeting of Council held October 3, 2023.
8)	Land Use: <ul style="list-style-type: none">To learn more about the District's Official Community Plan visit: https://www.dnv.org/property-and-development/our-official-community-plan-ocpTo learn more about the District's Rental and Affordable Housing Strategy visit: https://www.dnv.org/community-environment/rental-and-affordable-housing-strategy
9)	Design Guidelines: At the time of the rezoning being considered only very preliminary/ schematic design work has been undertaken (see next tab). Any project on this site will be subject to a Development Permit review and as such will need to consider the District's Design Guidelines for Multi-Family Housing (Schedule B, Part B starting at page 237: https://www.dnv.org/sites/default/files/bylaws/Bylaw%207900.pdf#page=151)
10)	Design <ul style="list-style-type: none">Detailed design drawings will be available at the Development Permit stage, but at this time preliminary schematic drawings showing the potential siting and massing of this type of building are included for general information.
11)	Information on What is Supportive Housing from BC Housing:

	<ul style="list-style-type: none"> Spotlight on Supportive Housing: Camas Gardens – Video by BC - short 1 minute video provide information on what supportive housing is. Rocco's Story: From Homeless to Housed to Hopeful - A 1 minute video about a resident of a supportive housing project. Orca Place – Parksville Supportive Housing - This 7 minute video takes you through a supportive housing project in Parksville Community Benefits of Supportive Housing Fact Sheet (DM 6175027)
12)	Information from Vancouver Coastal Health on complex care housing: <ul style="list-style-type: none"> Comple Care Housing Fact Sheet (DM6175033)
13)	Information on Lu'ma Native Housing Society the proposed operator of this supportive housing facility – visit: Lu'ma Native Housing Society — Lu'ma Group of Companies (lnhs.ca) (DM 6156056)
14)	2023 Homeless Count in Greater Vancouver This report provides background information on people who are experiencing homelessness. (DM 6175030)
15)	BC Housing Case Study This report highlights the findings from 5 supportive housing projects in BC including information on reduction in police calls in neighbourhoods after supportive housing project opened. (DM 6175031)
16)	BC Housing Case Study – Exploring the Impacts on Property Values This fact sheet provides an overview of a detailed study on property values near supportive housing projects (DM 6175032)
17)	Social Return on Investment – Fact Sheet An overview of the social and economic value of supportive and affordable Housing in B.C. (DM 6175026)
18)	Letter from the Ministry of Transportation and Infrastructure As part of the standard review of zoning bylaws in proximity to the Trans Canada Highway, staff referred this proposal to the Ministry of Transportation and Infrastructure, this is the response indicating preliminary support.
19)	Council Questions and Answers from November 21st and 22nd (Public Hearing)
20)	Council Questions and Answers from the period November 23, 2023 - December 7, 2023
21)	Council Questions and Answers from the period December 13, 2023 - January 10, 2024
Public Input	
22)	Public Information Meetings <ul style="list-style-type: none"> Information Report on Public Information Meetings (September 29, 2023) BC Housing website on the project and the meetings District of North Vancouver – East Keith Road Let's Talk Housing BC (letstalkhousingbc.ca) (Engagement Summary Report (DM6166818)
23)	Public Input - Correspondence / submissions from the public since 1 st Reading was given on October 3, 2023. <ul style="list-style-type: none"> Squamish Nation Input – Letter from the Nation – October 20, 2023 – pg. 284

AGENDA INFORMATION

- ☐ Regular Meeting
☐ Other:

Date: _____
Date: _____



The District of North Vancouver REPORT TO COUNCIL

September 18, 2023
File: PRE2023-00006

AUTHOR: Tamsin Guppy, Development Planner

SUBJECT: Bylaws 8643 and 8644: Rezoning and Development Cost Charge Waiver for East Keith Road Supportive Housing Project

RECOMMENDATION:

THAT "District of North Vancouver Rezoning Bylaw 1430 (Bylaw 8643)" to rezone the 1200 Block of East Keith Road from Single Family Residential (RS4) to Comprehensive Development Zone 146 (CD146) be given FIRST reading; and

THAT Bylaw 8643 be referred to a Public Hearing; and

THAT "1200 Block East Keith Road Development Cost Charges Waiver Bylaw 8644, 2023" be given FIRST reading.

REASON FOR REPORT:

To bring forward Bylaws for Council's consideration in order to facilitate the development of a supportive housing project on the 1200 block of East Keith Road. This process is similar to the process undertaken for the supportive housing project at West 16th Street, currently at the Building Permit stage.

SUMMARY:

In keeping with Council's direction to facilitate housing for the homeless and those at risk of homelessness, the District, in partnership with Vancouver Coastal Health and BC Housing, is proposing to rezone District lands at East Keith Road and Mountain Highway for a supportive housing project.



The partnership will facilitate the development of critically needed housing that will provide homes to North Shore residents who are homeless or are at risk of homelessness. The housing project will include 65 self-contained units, as well as support spaces including:

dining, cooking, and counselling spaces. Staff will be on site 24/7 to provide support to residents.

Once constructed the project will be operated by a partnership between BC Housing, Vancouver Coastal Health and Lu'ma Native Housing Society (Lu'ma). Lu'ma brings over 40 years of experience in providing wrap-around services that alleviate poverty and support health and wellness. Lu'ma describes their mission as to house people safely then wrap them in culturally appropriate services that ensure the best possible outcomes. Though Lu'ma is known for the services it provides to the urban Indigenous community, this project will provide services to both Indigenous and non-Indigenous people.

BACKGROUND:

Council has demonstrated a continued commitment to the strategy of leveraging District-owned lands to provide housing not typically delivered by the market including social and supportive housing.

The need for supportive housing for North Shore residents experiencing or at risk of homelessness is shown in data collected in local and regional homeless counts. The 2016 North Shore Homelessness Data Report provides the most in-depth data about North Shore residents experiencing homelessness. At that time, 736 individuals on the North Shore were considered homeless, and 295 individuals who accessed homelessness services in 2016 were considered at-risk due to imminent risk of housing loss. Half of the homeless population accessed medical services and 17% accessed multiple services. Results of the 2023 Homelessness Count will be released later in the Fall; it is anticipated that the COVID-19 pandemic and recent rental housing rate increases will have exacerbated the risk of homelessness on the North Shore.

The Housing Needs Report, presented to Council on July 24, 2023, noted that if the District wished to deliver 15% of the 3,144 units project by 2028 as social and supportive housing then approximately 472 units would be required.

Supportive housing provides safe and secure rental homes. Residents can pursue improved health, community connections and opportunities for learning or employment/volunteerism from a foundation of adequate and secure housing.

The District identified the East Keith Road lots as a potential site for a supportive housing project as the site meets BC Housing's criteria, being an appropriate size, and close to transit, the Lynn Creek town centre, and other services.

BC Housing has selected Lu'ma Native Housing Society as the supportive housing operator, and senior level government funding has been confirmed.

POLICY ALIGNMENT:

Official Community Plan (2011)

The Official Community Plan (OCP) includes the following goals and policies related to housing:

- Goal 2:** Encourage and enable a diverse mix of housing types and tenure and affordability to accommodate the lifestyles and needs of people at all stages of life.
- Goal 3:** Foster a safe, socially inclusive and supportive community that enhances the health and well-being of all residents.
- Policy 7.4.4:** Consider the use of District land, where appropriate, to contribute towards and leverage other funding for the development of social and affordable housing.

OCP Action Plan (2021)

The OCP Action Plan, approved by Council on July 26, 2021, and the result of the Targeted OCP Review, includes the following housing-related priority actions:

- Priority Action 3:** Prioritize rental, social, and supportive housing projects to increase the range of housing options.
- Priority Action 5:** Increase housing diversity to support a range of incomes, household types, and accessibility needs within and close to Town and Village Centres.
- Implementing Lens:** Include social equity considerations in District decision-making to strive for a more inclusive and equitable community.

Rental and Affordable Housing Strategy (2016)

The Rental and Affordable Housing Strategy (RAHS) has a focus on low and moderate-income households and contains the following goals.

- Housing Goal 1:** Expand the supply and diversity of housing in key growth centres.
- Housing Goal 2:** Expand the supply of new rental and affordable housing.
- Housing Goal 6:** Partner with other agencies to help deliver affordable housing through strategic use of District-owned lands, which may involve a long-term lease to leverage senior government funding.

ANALYSIS:

Site and Context:

This District-owned site consists of 4 lots at the corner of East Keith Road and Mountain Highway (outlined in red). The site is approximately half an acre in size (2,160m² or 23,250 sq. ft.).

The site is within the Lynn Creek town centre, and on the municipal boundary with the City of North Vancouver (shown in the dashed yellow line on the map to the right).



To the rear of the site is an unopened road allowance and a BC Hydro right of way. Further north is the extension of the Salop Trail that was put in as part of the recent upgrades to the TransCanada Highway.

East Keith Road has frequent bus service as many routes pass this site enroute to Phibbs Exchange.

The site and properties to the east along East Keith Road are designated for low-rise apartments in the Official Community Plan with a density of 1.75 FSR.

The properties immediately between the subject site and Lynnmouth Avenue have been purchased for redevelopment but an application has not yet been received by the District.



Proposal:

This project is a collaboration between the District of North Vancouver, BC Housing, Vancouver Coastal Health and Lu'ma Native Housing Society to address the acute need for North Shore residents who are at risk of homelessness and in need of residential support.

The project will include 65 self-contained studio apartments, of which 5 units provide complex care services including personalized health care support. The building will also include common spaces that support residents and help foster skills development and a sense of community. These spaces will include shared dining, cooking, and living areas, ceremonial spaces, areas for time spent with family, and counselling spaces. Staff will be on site 24-7 to provide support services and supervision.

Partnership Roles - Each partner plays a role in project delivery and operation:

- BC Housing - funding and construction;
- District of North Vancouver – offer of the subject lands;
- Vancouver Coastal Health – provision of health services and management of the 5 complex care units; and
- Lu'ma Native Housing Society – operation and provision of support services to all residents

Rezoning Bylaw 8643 proposes to rezone the site to Comprehensive Development Zone 146 (CD146) which will permit low-rise residential development up to 6 storeys in height with an associated density of 1.75 FSR. This zone is intended to provide some flexibility to allow a mix of complimentary support and accessory uses that may be required over the lifetime of the building including health care services, counselling services, and dining use. Anticipated need for resident parking is minimal, therefore no minimum parking requirement is included in this zone. This will allow the building design to incorporate staff and resident parking based on needs.

BC Housing, Vancouver Coastal Health and Lu'ma Native Housing Society are working with an architectural team who have started some early work to test layouts. Once the design work progresses, a Development Permit application will be made and presented to Council for issuance. The Development Permit report will include information on site access, parking, building design and landscaping.

[Click here](#) for a short video spotlighting supportive housing in BC.

Below are images from supportive housing projects in BC:





The design team is also exploring how to best access the site (for residents, staff and loading). While the results of the access analysis will be available at the Development Permit stage, it is useful to note that access may be provided from the rear road allowance, as shown with the green arrow to the right.



Rental Rates:

The intended rental rates would be deeply subsidized for those on social assistance or disability assistance and are set at \$500 per month for a one-person household.

Highlighted section on rental rates from Lu'ma Native Housing Society:

"Lu'ma Native Housing Society has operated and provided affordable housing options in the Lower Mainland for the urban Indigenous community for 40+ years. We understand, in working with the urban Indigenous community, that poverty and barriers to access safe and affordable housing options, have been a big cause for those we serve to suffer, and in turn in not being able to afford and access the basic right of housing. Lu'ma endeavors that every housing project it rolls out ensures its affordability and provides safe options for those most in need - and that starts at our funding operating agreement.

*Lu'ma will provide safe and affordable supportive housing options to those most in need in North Vancouver – the Indigenous and non-Indigenous unhoused and at risk of being unhoused - **with flat rental rates at the current single person shelter rate.** (This rate will be included in the funding operating agreement with BC Housing and will include hydro and laundry costs, further reducing costs to those living within the project.) This will ensure those in most need can access affordable safe supportive housing, for the duration of this project's life, and allow those living within the ability to focus on forward motion and healing, and not have to worry about rent increases.*

Our sole goal is to support, connect and reconnect those we serve to the paths they set out on wherever that may lead. In keeping the rental rates at single shelter rates there is one less barrier for those we will serve to worry on."

Subject to Council's approval of the rezoning, the District will enter into a long-term lease agreement with BC Housing that will secure the type and tenure of this housing project, including the resident eligibility requirements and the associated rental rates for supportive housing.

Services and Operations

As proposed, the project will be operated in partnership with Vancouver Coastal Health and Lu'ma Native Housing Society. Lu'ma owns and manages over 550 affordable housing units, and has extensive experience in delivering supportive housing and ensuring that residents are supported both through access to low-cost stable housing, but also by combining housing with services that support residents and help them build skills and improve their mental and physical wellbeing.

This type of housing generally includes:

- Self-contained units to give residents a safe and secure environment to call home;
- Shared living spaces that foster and encourage group interactions that build community and in turn create a support network;
- Meal support and the option to enjoy communal dining;
- Shared spaces that support families visiting with residents;
- Central and free laundry facilities;
- Counselling and health care services based out of on-site offices;
- An environment that fosters appreciation for one another and supports residents developing purpose and giving back to their community.

Lu'ma also brings extensive experience working with the urban Indigenous population and in this setting will be able to support First Nations residents with culturally appropriate support services.

Once in operation, Lu'ma will also build connections with the neighbourhood and provide a point person for any questions or concerns that neighbours may have.

Timing/Approval Process:

There is an urgent need for supportive housing and for this specific project in this location. To this end, the District is fast-tracking this application.

Concurrence:

This proposal has been reviewed by Fire, Environment, Real Estate and Properties, Legal, Community Planning, Communications and Engineering.

Financial Impacts:

- Land: The District is providing approximately ½ acre (2,160 m²) of land available for this project.
- DCC Waiver: Bylaw 8644 proposes to waive the Development Cost Charges for this supportive housing project estimated to be \$694,197 (2023 fees).
- Off-site Servicing Costs. The District will explore options for reducing costs of off-site servicing, including cost sharing. No analysis has been done of this work at this stage.

Public Input:

Following Bylaw Introduction, BC Housing in conjunction with the partners will hold a series of in-person and virtual public meetings to share information on both the proposal and the need for supportive housing. Full details on the public process will be provided in a separate report.

During the subsequent Development Permit application stage, where detailed architectural drawings can be expected, further public consultation will also be undertaken.

Conclusion:

The proposed rezoning of the 1200 Block of East Keith Road will implement Council's direction and help address the critical need for housing for local residents who are at risk of homelessness.

Options:

1. That Bylaw 8643 and 8644 are given First Reading and that Bylaw 8643 is referred to a Public Hearing, (staff recommendation); or
2. Refer one or more Bylaws back to staff; or
3. Give the Bylaws no readings.

Respectfully submitted,



Tamsin Guppy
Development Planner

Attachments:

- A. Rezoning Bylaw 8643
- B. Development Cost Charge Waiver Bylaw 8644

REVIEWED WITH:					
<input type="checkbox"/> Community Planning	_____	<input type="checkbox"/> Clerk's Office	_____	External Agencies:	
<input type="checkbox"/> Development Planning	_____	<input type="checkbox"/> Communications	_____	<input type="checkbox"/> Library Board	_____
<input type="checkbox"/> Development Engineering	_____	<input type="checkbox"/> Finance	_____	<input type="checkbox"/> NS Health	_____
<input type="checkbox"/> Utilities	_____	<input type="checkbox"/> Fire Services	_____	<input type="checkbox"/> RCMP	_____
<input type="checkbox"/> Engineering Operations	_____	<input type="checkbox"/> ITS	_____	<input type="checkbox"/> NVRC	_____
<input type="checkbox"/> Parks	_____	<input type="checkbox"/> Solicitor	_____	<input type="checkbox"/> Museum & Arch.	_____
<input type="checkbox"/> Environment	_____	<input type="checkbox"/> GIS	_____	<input type="checkbox"/> Other:	_____
<input type="checkbox"/> Facilities	_____	<input type="checkbox"/> Real Estate	_____		
<input type="checkbox"/> Human Resources	_____	<input type="checkbox"/> Bylaw Services	_____		
<input type="checkbox"/> Review and Compliance	_____	<input type="checkbox"/> Planning	_____		

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The Corporation of the District of North Vancouver**Bylaw 8643**

A bylaw to amend District of North Vancouver Zoning Bylaw 3210, 1965

The Council for The Corporation of the District of North Vancouver enacts as follows:

1. Citation

This bylaw may be cited as "District of North Vancouver Rezoning Bylaw 1430 (Bylaw 8643)".

2. Amendments

2.1 District of North Vancouver Zoning Bylaw 3210, 1965 is amended as follows:

- (a) Part 2A, Definitions is amended by adding Comprehensive Development 146 (CD146) to the list of zones that Part 2A applies to.
- (b) Section 301 (2) by inserting the following zoning designation:

"Comprehensive Development Zone 146 CD146"
- (c) Part 4B Comprehensive Development Zone Regulations by inserting the following:

"4B 146 Comprehensive Development Zone 146 CD146

The CD146 zone is applied to:

Those District owned properties listed below:

Lots 6, Block 122, District Lot 553, Plan 4458 Except Plan EPP 6791, PID:011-549-751
Lots 7, Block 122, District Lot 553, Plan 4458 Except Plan EPP 6791, PID:011-549-777
Lots 8, Block 122, District Lot 553, Plan 4458 Except Plan EPP 6791, PID:011-549-785
Lots 9, Block 122, District Lot 553, Plan 4458 Except Plan EPP 6791, PID:011-549-807

4B 146 – 1 Intent

The purpose of the Comprehensive Development 146 Zone (CD146) is to permit multi-family social housing projects that are generally up to 6-storey in height and may also include a mix of accessory and complementary uses.

4B 146 – 2 Permitted Uses:

The following *principal* uses shall be permitted in the CD146 zone:

a) Uses Permitted without Conditions:

NA

b) *Conditional uses:*

- i. Childcare use;
- ii. Community Garden use;
- iii. Office use;
- iv. Personal service use;
- v. Recreation/ community centre use;
- vi. Residential use;
- vii. Restaurant use;
- viii. Retail use; and
- ix. Social-gathering use

4B 146 - 3 Conditions of Use

- a. All uses other than *Residential use* are only permitted, either singly or in combination, when 75% or more of the permitted gross floor area is *residential use*.
- b. *Residential use*: the use of land, buildings, and structures for *residential use* is permitted when the following condition is met:
 - i. Each dwelling unit has access to private or shared outdoor amenity space.

5 – CD146 - 4 Accessory Use

- a) *Accessory uses* customarily ancillary to the principal uses are permitted.
- b) *Home occupations* are permitted in *dwelling units*.
- c) Support services and common areas related to the operation of the affordable rental residential buildings are permitted as accessory uses.

4B 146 – 5 Density

- a) The maximum permitted density is:1.75 floor space ratio.
- b) For the purpose of calculating *gross floor area* the following are exempted:

- i. Any floor area below finished grade;
- ii. Service and mechanical rooms;
- iii. Bicycle, 2-wheel scooter, and wheelchair scooter facilities including parking and charging areas, washing and repair areas, and end of trip facilities which may include showers and changing facilities;
- iv. Storage areas located outside of private units;
- v. Communal living areas including shared kitchen, dining and living areas;
- vi. Residential support services including counseling or healthcare office space;
- vii. Residential amenity areas including meeting spaces;
- viii. For residential units achieving an “enhanced” level of accessibility 50 sq. ft per “enhanced” unit is excluded.

4B 146 – 6 Setbacks

Shall be in accordance with the Development Permit requirements.

4B 146 – 7 Height

- a) The maximum number of storeys permitted is 6 storeys, excluding the parking level.

4B 146 – 8 Coverage

- a) Building Coverage: The maximum building coverage is 80%.
- b) Site Coverage: The maximum site coverage is 85%.

4B 146 – 9 Landscaping

- a) All land areas not occupied by buildings and patios shall be landscaped in accordance with a landscape plan approved by the District of North Vancouver.

4B 146- 10 Parking, Loading and Servicing Regulations

- a) Projects in the CD146 Zone are exempted from the minimum parking and loading requirements of Part 10 of this Bylaw.
- b) Except as specifically provided in 4B 146-10 (a), all other Parking and Loading requirements shall be provided in accordance with Part 10 of this Bylaw.”

(End of CD146 Zone)

- (d) The Zoning Map is amended in the case of the lands illustrated on the attached map (Schedule B) by rezoning the land from Single Family Residential (RS4) to Multi-family Housing Zone (MFH).

READ a first time

PUBLIC HEARING held

READ a second time

READ a third time

Certified a true copy of "Rezoning Bylaw 1430 (Bylaw 8643)" as at Third Reading

Municipal Clerk

APPROVED by the Ministry of Transportation and Infrastructure on

ADOPTED

Mayor

Municipal Clerk

Certified a true copy

Municipal Clerk

Schedule A to Bylaw 8643



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The Corporation of the District of North Vancouver

Bylaw 8644

A bylaw to waive Development Cost Charges

The Council for The Corporation of the District of North Vancouver enacts as follows:

Citation

1. This bylaw may be cited as "1200 Block East Keith Road Development Cost Charges Waiver Bylaw 8644, 2023".

Waiver

1. Development Cost Charges are hereby waived in relation to the Eligible Development proposed to be constructed on the site as shown outlined in red on the attached map (Schedule A), and the development cost charge rates for the Eligible Development are hereby set at zero.
2. For the purpose of this Bylaw "Eligible Development" means social housing units where the rental rate structure is secured by way of a lease agreement, affordable housing agreement bylaw, restrictive land use covenant or other measure acceptable to the Municipal Solicitor.

READ a first time

READ a second time

READ a third time

ADOPTED

Mayor

Municipal Clerk

Certified a true copy

Municipal Clerk

Schedule A to Bylaw 8644



The Corporation of the District of North Vancouver

Bylaw 8643

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- v. Communal living areas including shared kitchen, dining and living areas;
- vi. Residential support services including counseling or healthcare office space;
- vii. Residential amenity areas including meeting spaces;
- viii. For residential units achieving an “enhanced” level of accessibility 50 sq. ft per “enhanced” unit is excluded.

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(End of CD146 Zone)

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READ a first time October 3, 2023

PUBLIC HEARING held

READ a second time

READ a third time

Certified a true copy of "Rezoning Bylaw 1430 (Bylaw 8643)" as at Third Reading

Municipal Clerk

APPROVED by the Ministry of Transportation and Infrastructure on

ADOPTED

Mayor

Municipal Clerk

Certified a true copy

Municipal Clerk

Schedule A to Bylaw 8643



The Corporation of the District of North Vancouver

Bylaw 8644

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READ a first time October 3, 2023

READ a second time

READ a third time

ADOPTED

Mayor

Municipal Clerk

Certified a true copy

Municipal Clerk

Schedule A to Bylaw 8644



AGENDA INFORMATION

☐ Regular Meeting

Date: _____

☐ Other:

Date: _____

Dept.
Manager

GM/
Director

CAO

The District of North Vancouver REPORT TO COUNCIL

October 23, 2023

File: 08.3060.20/044.23

AUTHOR: Genevieve Lanz, Deputy Municipal Clerk

SUBJECT: Bylaw 8643: East Keith Supportive Housing - Administrative Correction

RECOMMENDATION:

THAT "District of North Vancouver Rezoning Bylaw 1430 (Bylaw 8643)" is given SECOND Reading as amended.

REASON FOR REPORT:

To amend Bylaw 8643 at Second Reading to clarify an amendment to the Zoning Map in Rezoning Bylaw 1430.

SUMMARY:

A minor administrative correction is required to Bylaw 8643 to clarify an amendment to the Zoning map. The proposed amendment does not impact land use, density or any of the public processes underway. The map and proposed zone included in the Bylaw and referenced in this section are correct. The amendment is as follows:

- (d) The Zoning Map is amended in the case of the lands illustrated on the attached map (Schedule ~~B~~ A) by rezoning the land from Single Family Residential (RS4) to ~~Multi-Family Housing (MF-H)-Comprehensive Development (CD 146)~~.

TIMING/APPROVAL PROCESS:

There are no timing impacts to the public hearing process for Bylaw 8643 and does not impede on Council's ability to alter, adopt or defeat the proposed bylaw.

OPTIONS:

THAT "District of North Vancouver Rezoning Bylaw 1430 (Bylaw 8643)" is given SECOND Reading as amended.

Respectfully submitted,

Genevieve Lanz
Deputy Municipal Clerk

Attachments:

1. Bylaw 8643
2. Bylaw 8643 redline version

REVIEWED WITH:		
<input type="checkbox"/> Sustainable Community Dev. _____	<input type="checkbox"/> Clerk's Office _____	External Agencies:
<input type="checkbox"/> Development Services _____	<input type="checkbox"/> Communications _____	<input type="checkbox"/> Library Board _____
<input type="checkbox"/> Utilities _____	<input type="checkbox"/> Finance _____	<input type="checkbox"/> NS Health _____
<input type="checkbox"/> Engineering Operations _____	<input type="checkbox"/> Fire Services _____	<input type="checkbox"/> RCMP _____
<input type="checkbox"/> Parks _____	<input type="checkbox"/> ITS _____	<input type="checkbox"/> NVRC _____
<input type="checkbox"/> Environment _____	<input type="checkbox"/> Solicitor _____	<input type="checkbox"/> Museum & Arch. _____
<input type="checkbox"/> Facilities _____	<input type="checkbox"/> GIS _____	<input type="checkbox"/> Other: _____
<input type="checkbox"/> Human Resources _____	<input type="checkbox"/> Real Estate _____	
	<input type="checkbox"/> Planning _____	

The Corporation of the District of North Vancouver

Bylaw 8643

A bylaw to amend District of North Vancouver Zoning Bylaw 3210, 1965

The Council for The Corporation of the District of North Vancouver enacts as follows:

1. Citation

This bylaw may be cited as “District of North Vancouver Rezoning Bylaw 1430 (Bylaw 8643)”.

2. Amendments

2.1 District of North Vancouver Zoning Bylaw 3210, 1965 is amended as follows:

- (a) Part 2A, Definitions is amended by adding Comprehensive Development 146 (CD146) to the list of zones that Part 2A applies to.
- (b) Section 301 (2) by inserting the following zoning designation:

“Comprehensive Development Zone 146 CD146”
- (c) Part 4B Comprehensive Development Zone Regulations by inserting the following:

“4B 146 Comprehensive Development Zone 146 CD146

The CD146 zone is applied to:

Those District owned properties listed below:

Lots 6, Block 122, District Lot 553, Plan 4458 Except Plan EPP 6791, PID:011-549-751
Lots 7, Block 122, District Lot 553, Plan 4458 Except Plan EPP 6791, PID:011-549-777
Lots 8, Block 122, District Lot 553, Plan 4458 Except Plan EPP 6791, PID:011-549-785
Lots 9, Block 122, District Lot 553, Plan 4458 Except Plan EPP 6791, PID:011-549-807

4B 146 – 1 Intent

The purpose of the Comprehensive Development 146 Zone (CD146) is to permit multi-family social housing projects that are generally up to 6-storey in height and may also include a mix of accessory and complementary uses.

4B 146 – 2 Permitted Uses:

The following *principal* uses shall be permitted in the CD146 zone:

- a) Uses Permitted without Conditions:
NA
- b) *Conditional uses:*
 - i. Childcare use;
 - ii. Community Garden use;
 - iii. Office use;
 - iv. Personal service use;
 - v. Recreation/ community centre use;
 - vi. Residential use;
 - vii. Restaurant use;
 - viii. Retail use; and
 - ix. Social-gathering use

4B 146 - 3 Conditions of Use

- a. All uses other than *Residential use* are only permitted, either singly or in combination, when 75% or more of the permitted gross floor area is *residential use*.
- b. *Residential use*: the use of land, buildings, and structures for *residential use* is permitted when the following condition is met:
 - i. Each dwelling unit has access to private or shared outdoor amenity space.

5 – CD146 - 4 Accessory Use

- a) *Accessory uses* customarily ancillary to the principal uses are permitted.
- b) *Home occupations* are permitted in *dwelling units*.
- c) Support services and common areas related to the operation of the affordable rental residential buildings are permitted as accessory uses.

4B 146 – 5 Density

- a) The maximum permitted density is: 1.75 floor space ratio.
- b) For the purpose of calculating *gross floor area* the following are exempted:

- i. Any floor area below finished grade;
- ii. Service and mechanical rooms;
- iii. Bicycle, 2-wheel scooter, and wheelchair scooter facilities including parking and charging areas, washing and repair areas, and end of trip facilities which may include showers and changing facilities;
- iv. Storage areas located outside of private units;
- v. Communal living areas including shared kitchen, dining and living areas;
- vi. Residential support services including counseling or healthcare office space;
- vii. Residential amenity areas including meeting spaces;
- viii. For residential units achieving an “enhanced” level of accessibility 50 sq. ft per “enhanced” unit is excluded.

4B 146 – 6 Setbacks

Shall be in accordance with the Development Permit requirements.

4B 146 – 7 Height

- a) The maximum number of storeys permitted is 6 storeys, excluding the parking level.

4B 146 – 8 Coverage

- a) Building Coverage: The maximum building coverage is 80%.
- b) Site Coverage: The maximum site coverage is 85%.

4B 146 – 9 Landscaping

- a) All land areas not occupied by buildings and patios shall be landscaped in accordance with a landscape plan approved by the District of North Vancouver.

4B 146- 10 Parking, Loading and Servicing Regulations

- a) Projects in the CD146 Zone are exempted from the minimum parking and loading requirements of Part 10 of this Bylaw.
- b) Except as specifically provided in 4B 146-10 (a), all other Parking and Loading requirements shall be provided in accordance with Part 10 of this Bylaw.”

(End of CD146 Zone)

- (d) The Zoning Map is amended in the case of the lands illustrated on the attached map (Schedule A) by rezoning the land from Single Family Residential (RS4) to Comprehensive Development (CD 146).

READ a first time October 3, 2023

PUBLIC HEARING held

READ a second time

READ a third time

Certified a true copy of "Rezoning Bylaw 1430 (Bylaw 8643)" as at Third Reading

Municipal Clerk

APPROVED by the Ministry of Transportation and Infrastructure on

ADOPTED

Mayor

Municipal Clerk

Certified a true copy

Municipal Clerk

Schedule A to Bylaw 8643



PUBLIC HEARING

1200 BLOCK EAST KEITH ROAD

Zoning Bylaw Amendments

When: Tuesday, November 21, 2023 at 7pm

Where: Council Chamber, 355 W. Queens Rd, North Vancouver, BC

How: The Public Hearing will be held in a hybrid format with a combination of in-person and electronic participation by some or all members of council, staff and the public. The public are invited to attend at the Council Chamber where they will be able to see and hear the entire proceedings. Those wishing to view or to participate in the meeting electronically may do so at <https://dnv.org.zoom.us/j/67910218298> or by phone by dialing 1-778-907-2071 and entering Meeting ID: 679 1021 8298

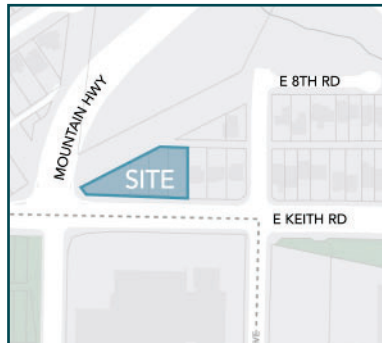
What: A Public Hearing for Bylaw 8643, proposed amendments to the Zoning Bylaw, to permit the creation of a 65 unit supportive housing project in the 1200 Block of East Keith Road. This housing would provide 65 studio apartments for people who are homeless or at risk of being homeless and would include 24 hour support services.

What Changes:

Bylaw 8643 proposes to amend the District's Zoning Bylaw by rezoning the site from Single Family Residential (RS4) to Comprehensive Development Zone 146 (CD146). The CD146 Zone addresses permitted and accessory uses and conditions of use, and zoning provisions such as density, setbacks, height, building and site coverage, landscaping, and parking, loading and servicing requirements.

When and How can I provide input?

We welcome your input on Tuesday, November 21, 2023 at 7pm. You may sign up to speak at the hearing by contacting the Municipal Clerk at signup@dnv.org prior to 3pm, Tuesday, November 21, 2023. You may also provide a written submission at any time prior to the close of the public hearing by sending it to the Municipal Clerk at input@dnv.org or by mail to Municipal Clerk, 355 West Queens Road, District of North Vancouver, BC, V7N 4N5. After the speakers list has been exhausted, there will be an opportunity for additional speakers who had not signed up in advance to make submissions. ***Please note that Council may not receive further submissions from the public concerning these applications after the conclusion of the public hearings.***



Need more info?

Relevant background material and copies of the bylaws are available for review at the Clerk's Office, 355 West Queens Road, North Vancouver, BC, Monday to Friday, 8am to 4:30pm, except holidays, from November 7, 2023 to November 21, 2023 or online at **[DNV.org/public-hearing](https://dnv.org/public-hearing)**



Questions?

Tamsin Guppy, Development Planner
guppyt@dnv.org or 604-990-2391

**DISTRICT OF NORTH VANCOUVER
REGULAR MEETING OF COUNCIL**

Minutes of the Regular Meeting of Council for the District of North Vancouver held at 7:03 p.m. on Tuesday, October 3, 2023 in the Council Chamber of the District Hall, 355 West Queens Road, North Vancouver, British Columbia.

Present: Mayor Mike Little
Councillor Jordan Back
Councillor Betty Forbes
Councillor Jim Hanson
Councillor Herman Mah
Councillor Lisa Muri
Councillor Catherine Pope

Staff: David Stuart, Chief Administrative Officer
Rick Danyluk, Acting General Manager – Finance and Technology and Acting Chief Financial Officer
Gavin Joyce, General Manager – Engineering, Parks and Facilities
Dan Milburn, General Manager – Planning, Properties and Permits
Saira Walker, General Manager – Corporate Services
Peter Cohen, Deputy General Manager – Engineering Services
Tina Atva, Manager – Community Planning
James Gordon, Manager – Administrative Services
Carolyn Grafton, Manager – Strategic Communications and Community Relations
Aleksandra Brzozowski, Housing Planner
Tamsin Guppy, Facilities Planner
Wendelin Jordan, Project Engineer, Engineering Planning and Design
Emel Nordin, Development Planner
Kaitlin Hebron, Confidential Council Clerk
Amanda Day, Administration Clerk
Chris Reynolds, Administration Clerk

1. ADOPTION OF THE AGENDA

1.1. October 3, 2023 Regular Meeting Agenda

MOVED by Councillor BACK

SECONDED by Councillor FORBES

THAT the agenda for the October 3, 2023 Regular Meeting of Council for the District of North Vancouver is adopted as circulated, including the addition of any items listed in the agenda addendum.

CARRIED

2. ADOPTION OF MINUTES

2.1. June 27, 2023 Special Council Meeting

MOVED by Councillor MURI

SECONDED by Councillor MAH

THAT the minutes of the June 27, 2023 Special Council meeting are adopted.

CARRIED

3. PUBLIC INPUT

3.1. Joe Inkster:

- Spoke in favour of item 8.8;
- Opined the location was appropriate for the proposed development; and,
- Highlighted the need for more housing in North Vancouver.

3.2. Geoff Fawkes:

- Spoke in opposition of the proposed tax exemptions for Hollyburn Community Services Society;
- Noted he lives across from a Hollyburn Community Services Society property at 2038 Casano Drive;
- Stated the RCMP regularly attend the property;
- Opined the occupants are inappropriate and disruptive to neighbours;
- Commented on garbage build up on the property;
- Opined there have been several parking violations; and,
- Opined the property is being neglected.

3.3. Ogi Radoicic:

- Spoke in favour of item 8.8;
- Noted he is a partner and director of operations for Bufala hospitality group which has a restaurant in Edgemont Village;
- Opined the proposed development would benefit the community and would help support small businesses in the area; and,
- Highlighted the need for more housing in North Vancouver.

3.4. Brian Platts:

- Spoke in favour of item 8.8;
- Noted the project site was identified for multi-family development in the Edgemont Village Centre Plan which was developed with extensive public consultation and input; and,
- Noted the project meets multiple planning objectives.

3.5. Jamie Kokoska:

- Spoke in opposition to item 8.6;
- Opined current housing shelters do not cooperate with the RCMP;
- Opined there has been an increase in crime since new management took over a housing shelter located on Marine Drive;
- Opined the new management group is not cooperating with the RCMP in order to locate individuals and decrease crime in the neighbourhood; and,
- Suggested the District implement a new bylaw that ensures all supportive housing management agencies and societies must fully cooperate with the RCMP.

3.6. Lyle Craver:

- Spoke in opposition to item 8.10;
- Commented on a previous plan for a skytrain in North Vancouver;
- Commented on the need for new infrastructure to keep up with transit demands;
- Opined TransLink views the North Shore as a 'cash cow';
- Opined the District Council needs to do more; and,
- Opined Council reject the resolution from TransLink.

3.7. Hazen Colbert:

- Commented on the North Shore Wastewater Treatment Plant; and,
- Commented on the lease agreement back from 1983.

3.8. Todd Sams:

- Spoke regarding residential privacy fences;
- Noted the bylaw refers to a maximum height of eight feet; and,
- Requested Council consider amending the bylaw to increase the maximum height allowance.

3.9. Nick :

- Spoke in favour of item 8.8;
- Noted he grew up in the area of the proposed development;
- Noted the location is suitable for young families; and,
- Highlighted the need for more housing in North Vancouver.

4. RECOGNITIONS

5. DELEGATIONS

5.1. Cathy Peters, Be Amazing Campaign

Re: Child Sex Trafficking in BC and How to Stop it in our community

Cathy Peters, Founder, Be Amazing Campaign, provided an update on child sex trafficking trends in British Columbia and highlighted potential solutions to the issue, which includes education.

MOVED by Councillor BACK

SECONDED by Councillor POPE

THAT the delegation of the Be Amazing Campaign is received for information.

CARRIED

6. RELEASE OF CLOSED MEETING DECISIONS

6.1 September 12, 2023 Advisory Oversight Committee Meeting

6.1.1. Community Heritage Advisory Committee – Appointments for 2023-2025

File No. 01.0360.04/000.000

THAT David Lefebvre is appointed to the Community Heritage Advisory Committee for the remainder of a three-year term ending December 31, 2025;

AND THAT this resolution is released to the public.

7. COMMITTEE OF THE WHOLE REPORT

Nil

8. REPORTS FROM COUNCIL OR STAFF

MOVED by Councillor

SECONDED by Councillor

THAT items 8.2, 8.3 and 8.4 are included in the Consent Agenda and are approved without debate.

CARRIED

8.1. 2024 Council Meeting Schedule

File No. 01.0570.01/000.000

MOVED by Councillor POPE

SECONDED by Councillor HANSON

THAT the 2024 Council Meeting Schedule is referred to a Council Workshop.

CARRIED

8.2. 2024 – 2027 Taxation Exemptions by Council Bylaw 8636, 2023

File No. 09.3900.20/000.000

MOVED by Councillor MURI

SECONDED by Councillor MAH

THAT "2024 – 2027 Taxation Exemptions by Council Bylaw 8636, 2023" is ADOPTED.

CARRIED

8.3. 2024 – 2027 Taxation Exemptions for Places of Public Worship Bylaw 8637, 2023

File No. 09.3900.20/000.000

MOVED by Councillor MURI

SECONDED by Councillor MAH

THAT "2024 – 2027 Taxation Exemptions for Places of Public Worship, Bylaw 8637, 2023" is ADOPTED.

CARRIED

8.4. Tax Exemption for 2024 – 2033 Ice Sports North Shore Bylaw 8638, 2023

File No. 09.3900.20/000.000

MOVED by Councillor MURI

SECONDED by Councillor MAH

THAT "Tax Exemption for 2024 – 2033 Ice Sports North Shore Bylaw 8638, 2023" is ADOPTED.

CARRIED

Councillor POPE left the meeting at 8:17pm and returned at 8:19pm

8.5. Maplewood Fire and Rescue Centre and Argyle Artificial Turf Field Loan Authorization Bylaw 8649, 2023

File No.

MOVED by Mayor LITTLE

SECONDED by Councillor BACK

THAT "Maplewood Fire and Rescue Centre and Argyle Artificial Turf Field Loan Authorization Bylaw 8649, 2023" is given FIRST, SECOND and THIRD Readings.

CARRIED

Absent for vote: Councillor POPE

8.6. Bylaws 8643 and 8644: Rezoning and Development Cost Charge Waiver for East Keith Road Supportive Housing Project

File No. PRE2023-00006

MOVED by Councillor HANSON

SECONDED by Councillor BACK

THAT "District of North Vancouver Rezoning Bylaw 1430 (Bylaw 8643)" to rezone the 1200 Block of East Keith Road from Single Family Residential (RS4) to Comprehensive Development Zone 146 (CD146) is given FIRST Reading;

AND THAT Bylaw 8643 is referred to a Public Hearing;

AND THAT "1200 Block East Keith Road Development Cost Charges Waiver Bylaw 8644, 2023" is given FIRST Reading.

CARRIED

8.7. Bylaws 8645, 8646 and 8647: OCP Amendment, Rezoning and Development Cost Charges Waiver for a Future Social Housing Development at Lillooet West

File No. PLN2023-00044

MOVED by Mayor LITTLE

SECONDED by Councillor BACK

THAT "District of North Vancouver Official Community Plan Amendment Bylaw 8645 (Amendment 50)" to redesignate the District lands on Old Lillooet Road from Commercial Residential Mixed Use (CRMU1) and Parks Open Space and Natural Areas to Residential Level 5 (RES5) is given FIRST Reading;

AND THAT "District of North Vancouver Rezoning Bylaw 1431 (Bylaw 8646)" to rezone the District lands on Old Lillooet Road from Interim Industrial (I4) to Comprehensive Development 146 Zone is given FIRST Reading;

AND THAT "Lillooet West Development Cost Charges Waiver Bylaw 8647" is given FIRST Reading;

AND THAT Bylaws 8645 and 8646 are referred to a Public Hearing;

AND THAT Council has specifically considered, in respect of proposed Bylaw 8645, whether consultation is required with the listed entities in subsection 475(2)(b) of the Local Government Act, and considers that such consultation is not required;

AND THAT in accordance with Section 477 of the Local Government Act, Council has considered Bylaw 8645 in conjunction with its Financial Plan and applicable Waste Management Plans.

CARRIED

The meeting recessed at 8:58pm and reconvened at 9:05pm

8.8. Bylaws 8628 and 8629: OCP Amendment and Rezoning Bylaws for a 32-unit townhouse development at 1031-1045 Ridgewood Drive
File No. PLN2022-00001

Public Input:

Dean Johnson:

- Noted he is the applicant of the proposal and the Vice President of Developments at Wesgroup Properties;
- Noted Wesgroup Properties has been involved in over 60 years of community development;
- Noted this is their first application in the District of North Vancouver;
- Noted this property was brought forward to Council in 2017;
- Commented on the ongoing engagement with the community and stakeholders; and,
- Noted the proposal is in compliance with the Edgemont Village Centre Plan.

MOVED by Councillor BACK

SECONDED by Councillor HANSON

THAT "District of North Vancouver Official Community Plan Bylaw 7900, 2011, Amendment Bylaw 8628, 2023 (Amendment 49)" is given FIRST Reading;

AND THAT "District of North Vancouver Rezoning Bylaw 1427 (Bylaw 8629)" is given FIRST Reading;

AND THAT pursuant to Section 475 and Section 476 of the *Local Government Act*, additional consultation is not required beyond that already undertaken with respect to Bylaw 8628;

AND THAT in accordance with Section 477 of the *Local Government Act*, Council has considered Bylaw 8628 in conjunction with its Financial Plan and applicable Waste Management Plans;

AND THAT Bylaw 8628 and Bylaw 8629 are referred to a Public Hearing.

CARRIED

Councillor POPE left the meeting at 9:25pm.

Councillor MURI left the meeting at 9:43pm and returned at 9:44pm.

8.9. *Housing Supply Act – Housing Target Order for the District of North Vancouver, October 1, 2023 – September 30, 2028*
File No. 13.6410.01/000.000

MOVED by Mayor LITTLE
SECONDED by Councillor MURI

THAT the September 29, 2023 report of the General Manager, Planning, Properties and Permits entitled *Housing Supply Act - Housing Target Order for the District of North Vancouver, October 1, 2023 – September 30, 2028*, is received for information.

CARRIED

Absent for vote: Councillor POPE

8.10. *Council Support for Burrard Inlet Rapid Transit as a First Phase Bus Rapid Transit Corridor*
File No. 16.8620.20/062.000

MOVED by Mayor LITTLE
SECONDED by Councillor MAH

- A. **WHEREAS** TransLink and the Mayors' Council on Regional Transportation unanimously endorsed the *Access for Everyone Plan* (also called *Transport 2050: 10-Year Priorities*) in 2022 to urgently expand and improve transit throughout Metro Vancouver to support record-setting population growth, housing affordability, GHG emission reduction targets and reconciliation.
- B. **WHEREAS** the *Access for Everyone Plan* places a strong emphasis on quick and cost-effective delivery of new at-grade rapid transit through nine new Bus Rapid Transit (BRT) and eleven RapidBus corridors throughout the region.
- C. **WHEREAS** the *Access for Everyone Plan* recognizes the acute congestion challenges facing the North Shore, and commits to delivering a traffic-separated rapid transit connection between Park Royal and Metrotown as soon as possible with the following initiatives:
 - i. Recognizing that this is a highly complex and constrained corridor, the *Access for Everyone Plan* commits to immediately begin the required planning work to advance a BRT option so that construction of rapid transit can begin within years 0-5.

- ii. In parallel, the plan will advance business case development to confirm whether the ultimate technology will be Bus Rapid Transit, Light Rail Transit, or SkyTrain (or a combination), and to confirm the associated alignment, terminus locations, and degree of grade separation including options for a dedicated transit crossing of Burrard Inlet.
 - iii. In the first phase of the plan, the region commits to increased bus service and transit priority measures, as feasible, between Park Royal and Metrotown to improve bus travel times, operating costs, and grow ridership in advance of more permanent rapid transit investment.
- D. **WHEREAS** TransLink, in partnership with municipalities and First Nations in the Metrotown to Park Royal corridor area, has begun work on the Burrard Inlet Rapid Transit Study to determine the ultimate rapid transit solution for the corridor.
- E. **WHEREAS** BRT and RapidBus require the allocation of road space and reconfiguring of roads for successful implementation.
- F. **WHEREAS** Municipalities are the primary administrators of local and regional roads in the region and will be crucial partners in the successful implementation of future BRT and RapidBus corridors.
- G. **WHEREAS** TransLink and the Mayors' Council are currently undertaking a prioritization exercise to determine the order in which BRT and RapidBus corridors will be implemented that emphasizes a '*work with the willing*' approach so that the first phase of BRT and new RapidBus projects can be built quickly and to a high quality, with maximum support from municipal and other local government partners, to serve as a showcase for this type of rapid transit to the rest of the region.

Be it resolved,

- 1. **THAT** the District of North Vancouver supports a BRT line featuring dedicated bus lanes, transit signal priority, enhanced customer amenities at stations and specialized vehicles to support fast, reliable, high-quality rapid transit along the Metrotown to Park Royal corridor, with planning to begin immediately.
- 2. **THAT** the District of North Vancouver supports, as an immediate objective in the initial phase of the *Access for Everyone Plan* while planning for a BRT proceeds, the extension of the existing RapidBus R2 line from Phibbs to Metrotown, to create a bus service offering fewer stops and faster service than current options all the way from across the North Shore to Metrotown.

3. **THAT** the District of North Vancouver support for BRT planning will include:
- i. Working with TransLink to finalize and sign a *Bus Rapid Transit Action Plan Commitment Framework* to partner with TransLink to expeditiously plan a high-quality BRT corridor.
 - ii. A commitment to plan a BRT with near continuous exclusive transit lanes along the length of the corridor, achieved primarily through reallocation of existing road space.
 - iii. Support for prioritizing transit, including willingness to reallocate space from parking or general traffic, changes to property access, turn restrictions, changes to traffic signal timing and coordination, and transit signal priority.
 - iv. Willingness to allocate funding, resources, and in-kind support.
 - v. Appointing a “BRT Council champion,” a BRT internal staff lead, and dedicated staff team to support the project through all phases.
 - vi. Willingness to expedite processes, permits and approvals, and to co-lead and support public engagement.
 - vii. Aligning local plans and policies to support Transit Oriented Communities and implement supportive infrastructure including walking and cycling networks.
4. **THAT** the District of North Vancouver direct staff to work expeditiously with TransLink and coordinate with adjacent municipalities towards the planning, design and implementation of BRT and R2 RapidBus extension within the municipality.
5. **THAT** the District of North Vancouver ask the Mayors’ Council to prioritize the R2 RapidBus extension to Metrotown as a priority project in the initial phase of the *Access for Everyone Plan*, and to begin planning for a future BRT project between Park Royal and Metrotown, based on the municipality’s readiness to support the project.

CARRIED

Absent for vote: Councillor POPE

9. REPORTS

9.1. Mayor

Mayor Little reported on his attendance and participation at the Truth and Reconciliation Day observances at Tsleil-Waututh Nation on Friday, September 29, 2023.

9.2. Chief Administrative Officer

Nil

9.3. Councillors

9.3.1. Councillor Back reported on the passing of Rosalie Grills on August 31, 2023, and highlighted her impact in the community.

9.3.2. Councillor Muri reported on the passing of Diana Bellhouse and expressed appreciation for her contributions to the community.

9.3.3. Councillor Mah reported on the following:

- His attendance at a Seniors Lab open house hosted by SFU and Hollyburn on Thursday, September 28, 2023; and,
- Congratulated Councillor Muri for receiving 25-year service award at the UBCM Convention.

9.4. Metro Vancouver Committee Appointees

9.4.1. Indigenous Relations Committee – Councillor Hanson

9.4.2. Board – Councillor Muri

9.4.3. Regional Culture Committee – Councillor Muri

9.4.4. Regional Parks Committee – Councillor Muri

9.4.5. Liquid Waste Committee – Mayor Little

9.4.6. Mayors Committee – Mayor Little

9.4.7. Mayors Council on Regional Transportation – Mayor Little

9.4.8. Zero Waste Committee – Lisa Muri

10. ADJOURNMENT

MOVED by Councillor MURI
SECONDED by Mayor LITTLE

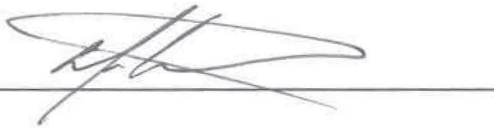
THAT the October 3, 2023 Regular Meeting of Council for the District of North Vancouver is adjourned.

CARRIED

(10:02 p.m.)

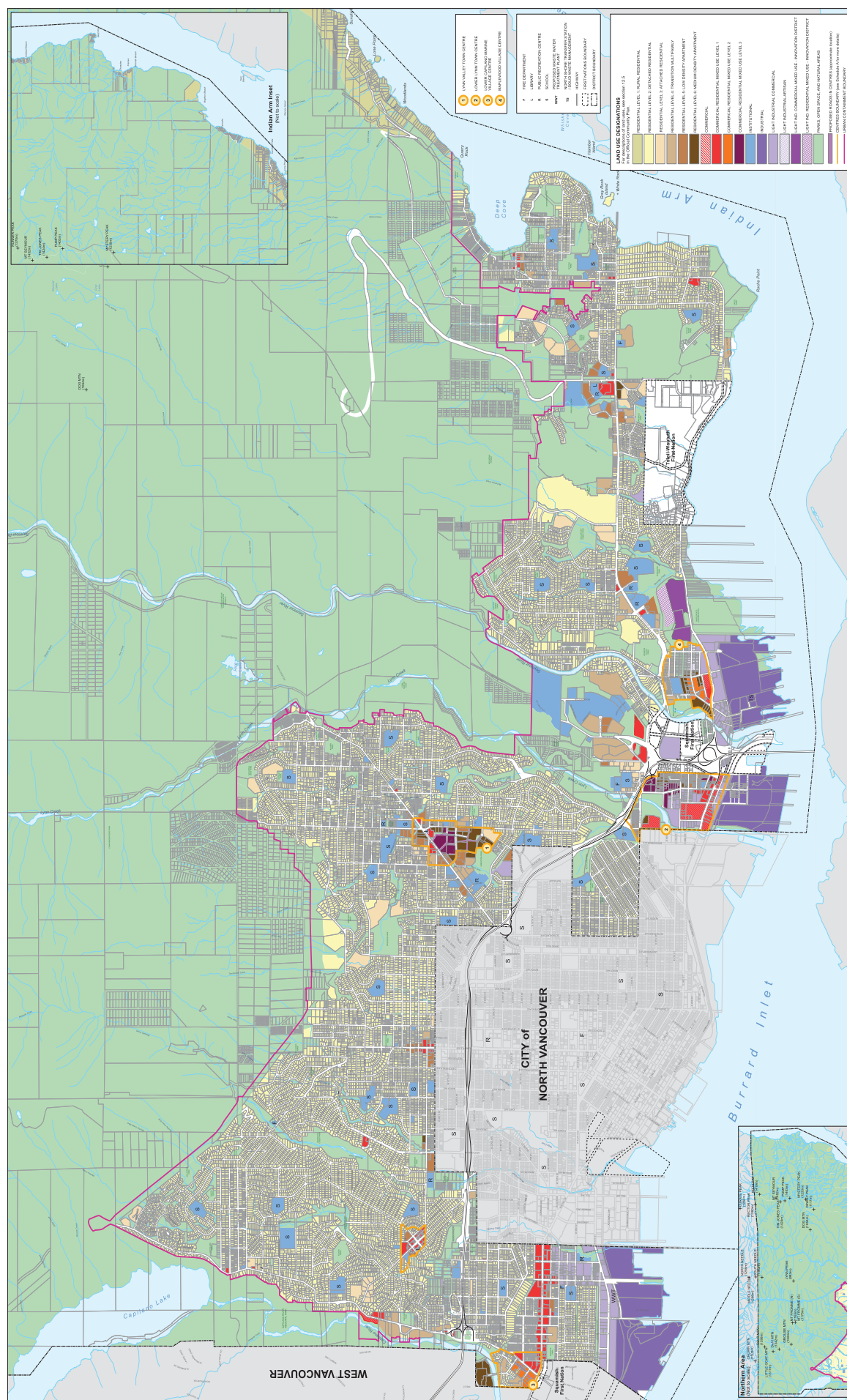
Absent for vote: Councillor POPE

Mayor

A stylized, handwritten signature in black ink, appearing to be 'J. Little', written over a horizontal line.

Municipal Clerk

A handwritten signature in black ink, appearing to be 'James Godar', written over a horizontal line.





7 Housing

2030 TARGET

a net increase in rental housing units (overall percentage)

The profile of the District resident of today has changed significantly from that of 20 years ago. During this time there has been a noticeable demographic shift from a younger family-oriented community towards more seniors with fewer young adults and children. Our housing mix, comprised largely of detached single family homes, has not kept pace with the needs of this changing community profile. Providing more diverse and affordable housing choice is needed for seniors, young singles, couples, and families with children so that a wide mix of ages can thrive together and ensure a healthy, diverse and vibrant community. Emergency, transitional and social housing is also needed to support vulnerable populations. **The District's objective is to increase housing choices across the full continuum of housing needs.**

- 7.1 Housing Diversity
- 7.2 Rental Housing
- 7.3 Housing Affordability
- 7.4 Non-Market Housing and Homelessness

7.1 Housing Diversity

The network of centres concept provides important opportunities for increasing housing diversity and approximately 75 - 90% of future development will be directed to the four planned centres (Chapter 2). While growth will be restricted in detached residential areas, opportunities will exist to sensitively introduce appropriate housing choices such as coach houses, duplexes and small lot infill that respect and enhance neighbourhood character. Some flexibility is encouraged to enable residents to better age in place, live closer to schools, or have a mortgage helper. **The District's objective is to provide more options to suit different residents' ages, needs and incomes.**

POLICIES

1. Encourage and facilitate a broad range of market, non-market and supportive housing
2. Undertake Neighbourhood Infill plans and/or Housing Action Plans (described in Chapter 12) where appropriate to:
 - a) identify potential townhouse, row house, triplex and duplex areas near designated Town and Village Centres, neighbourhood commercial uses and public schools
 - b) designate additional Small Lot Infill Areas
 - c) develop criteria and identify suitable areas to support detached accessory dwellings (such as coach houses, backyard cottages and laneway housing)
3. Develop design guidelines to assist in ensuring the form and character of new multifamily development contributes to the character of existing neighbourhoods and to ensure a high standard of design in the new Town and Village Centres
4. Encourage and facilitate a wide range of multifamily housing sizes, including units suitable for families with an appropriate number of bedrooms, and smaller apartment units
5. Require accessibility features in new multifamily developments where feasible and appropriate




7.2 Rental Housing

Entry into home ownership is increasingly challenging given the high housing prices in the District. Rental housing typically offers more affordable options for mid-to-low income groups, which may include single parents, students, young families and seniors. **The District's objective is to provide more alternatives to home ownership. Currently, only 18% of the dwellings in the District are rental.**

POLICIES

1. Explore increasing the maximum permitted size of secondary suites
2. Consider permitting secondary suites or lock-off units within townhouses, row houses and apartments
3. Encourage the retention of existing, and the development of new, rental units through development, zoning and other incentives
4. Facilitate rental replacement through redevelopment
5. Continue to limit the conversion of rental units to strata title ownership and require, where possible and appropriate, that new strata units be available for rental
6. Establish a minimum acceptable standard of maintenance for rental properties
7. Develop a rental and affordable housing strategy through Housing Action Plan(s) and/or Centres Implementation Plans
8. Support, where appropriate, parking reductions for purpose built market and affordable rental units
9. Encourage the provision of student housing at or near the campus of Capilano University
10. Support the addition of ancillary rental housing on church sites where additional development can be accommodated



Encourage and enable a diverse mix of housing type, tenure and affordability to accommodate the lifestyles and needs of people at all stages of life

7.3 Housing Affordability

Lack of affordable housing in the District is often cited as a factor contributing to the loss of our “missing generation” of 20-40-year-olds and the inability of many local employers to find and retain staff. With approximately 2,645 households in core need of appropriate housing and 1,460 households spending at least half of their income on housing, our lack of affordability is widely felt. **The District’s objective is to formulate development strategies and work with community partners and senior levels of government to provide housing for modest to moderate income residents.**

POLICIES

1. Reflect District housing priorities through an appropriate mix, type and size of affordable housing
2. Focus a higher proportion of affordable housing in designated growth areas
3. Apply incentives (including, but not limited to density bonussing, pre-zoning and reduced parking requirements) as appropriate, to encourage the development of affordable housing
4. Require, where appropriate, that large multifamily developments contribute to the provision of affordable housing by, but not limited to:
 - a) including a portion of affordable rental or ownership units as part of the project
 - b) providing land dedicated for affordable housing
 - c) providing a payment-in-lieu to address affordable housing
5. Expand the District’s Affordable Housing Fund to receive funds from non-municipal sources
6. Work with community partners and the Province to facilitate options for affordable housing and advocate the Federal government to develop a national housing strategy for affordable housing
7. Consider incentives such as reduced Development Cost Charges to facilitate affordable rental housing

7.4 Non-Market Housing and Homelessness

Emergency, transitional and supportive housing is needed to provide access to the full continuum of housing in the District. This section addresses the housing needs of our growing homeless population, those most at risk of homelessness, those with substance abuse and mental health issues, seniors who need support to remain living independently and others. Provision of such housing requires funding that the District cannot address on its own. **The District's objective is to work with senior levels of government and social service providers to support our most disadvantaged residents.**

POLICIES

1. Encourage non-profits, supportive housing groups, developers, senior levels of government and others to develop or facilitate the development of:
 - a) transitional housing for homeless adults, families and youth
 - b) supportive housing for those with mental health and/or addiction issues
 - c) independent living units for people with disabilities
 - d) assisted living facilities for people with cognitive and/or developmental disabilities
2. Work with community partners to explore opportunities for social housing, co-operative and innovative housing solutions
3. Continue to facilitate community facility lease policies to provide municipal land or infrastructure for services to vulnerable populations
4. Consider the use of District land, where appropriate, to contribute towards and leverage other funding for the development of social and affordable housing
5. Encourage other levels of government to contribute financial support and/or a portion of surplus lands towards appropriate and affordable housing for those with special needs
6. Continue to support regional efforts to eliminate and prevent homelessness on the North Shore
7. Continue to support non-profit agencies that provide short-term emergency and transitional shelter, food and access to social services for those in need
8. Support community partners in providing a full continuum of support services to address issues related to mental health, addictions, health services, housing, employment, and food security; and to provide assistance for homeless people to facilitate their transition to independent living

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12.5 Consolidated List of Land Use Designations

A consolidated list of all of the land use designations used in the OCP Land Use Map (Map 2) is provided in the table below. Policies and objectives relating to these designations are provided in Parts One and Two and Schedule A of the OCP. The references to Floor Space Ratios (FSR) in the table provide guidance regarding the general massing and approximate density of development. The term “Floor Space Ratio”, as used in the table, means generally the ratio of the floor area of a proposed development over the area of the lot or lots upon which the development is to be located. It does not regulate actual densities on individual lots, that being the function of the District’s Zoning Bylaw. Council may, in its discretion, and with a public hearing, consider zoning bylaw amendments to permit density over and above that indicated in the table on a case by case basis where the proposed development is otherwise consistent with objectives and policies of the OCP.

RESIDENTIAL LEVEL 1: RURAL RESIDENTIAL. Areas designated for rural residential are intended for detached housing on large lots situated outside the urban boundary. The OCP does not envision further intensification of use through subdivision in this designation and/or through extension of services. Detached rural residences are generally allowed up to approximately 0.35 FSR.

RESIDENTIAL LEVEL 2: DETACHED RESIDENTIAL. Areas designated for detached residential are intended predominantly for detached housing within neighbourhoods. This designation accommodates secondary rental units such as suites or coach houses subject to the imposition and satisfaction of appropriate conditions. Detached residences (inclusive of suites and coach houses) are generally allowed up to approximately 0.55 FSR.

RESIDENTIAL LEVEL 3: ATTACHED RESIDENTIAL. Areas designated for attached residential are intended predominantly for ground-oriented multifamily housing within neighbourhoods, or as a transition between higher density sites and adjacent detached residential areas. Typical housing forms in this designation include duplex, triplex, and attached row houses up to approximately 0.80 FSR.

RESIDENTIAL LEVEL 4: TRANSITION MULTIFAMILY. Areas designated for transitional multifamily are intended predominantly for multifamily uses within or in close proximity to centres and corridors, or as a transition between higher density sites and adjacent detached and attached residential areas. This designation typically allows for a mix of townhouse and apartment developments up to approximately 1.20 FSR.

RESIDENTIAL LEVEL 5: LOW DENSITY APARTMENT. Areas designated for low density apartment are intended predominantly for multifamily housing in centres and corridors up to approximately 1.75 FSR. Development in this designation will typically be expressed in low rise apartments, but may include some townhouses. Some commercial use may be permitted at grade.

RESIDENTIAL LEVEL 6: MEDIUM DENSITY APARTMENT. Areas designated for medium density apartment are intended predominantly to provide increased multifamily housing up to approximately 2.50 FSR at strategic locations in centres and corridors. Development in this designation will typically be expressed in medium rise apartments. Some commercial use may also be permitted in this designation.

COMMERCIAL RESIDENTIAL MIXED USE LEVEL 1. Areas designated for commercial residential mixed use level 1 are intended predominantly for general commercial purposes, such as retail, service and offices throughout the District. Residential uses above commercial uses at street level are generally encouraged. Development in this designation is permitted up to approximately 1.75 FSR.

COMMERCIAL RESIDENTIAL MIXED USE LEVEL 2. Areas designated for commercial residential mixed use level 2 are intended predominantly for medium density general commercial purposes, such as retail, service and offices at limited sites within the District. Residential uses are typically expected to accompany commercial uses. Development in this designation is permitted up to approximately 2.50 FSR.

COMMERCIAL RESIDENTIAL MIXED USE LEVEL 3. Areas designated for commercial residential mixed use level 3 are intended predominantly to provide for high density uses up to approximately 3.50 FSR at limited appropriate sites in the District's Centres. Development in this designation may include residential or commercial uses which encompass retail, office and service uses, or a mix of these residential and commercial uses.

COMMERCIAL. Areas designated for commercial are intended predominantly for a variety of commercial and service type uses, where residential uses are not generally permitted. Development in this designation is permitted up to approximately 1.0 FSR.

INSTITUTIONAL. Areas designated for institutional are intended predominantly for a range of public assembly uses, such as schools, churches, recreation centres, and public buildings. Some commercial and accessory residential uses may be permitted.

INDUSTRIAL. Areas designated for industrial are intended predominantly for a range of manufacturing, warehousing, transportation, service, and port-related uses. Limited office, limited retail and residential caretaker uses may be permitted.

LIGHT INDUSTRIAL ARTISAN. Areas designated for light industrial artisan are intended predominantly for a mix of small-scale light industrial, warehouse, service, utility and residential uses up to approximately 2.50 FSR. Light industrial uses at street level are generally encouraged, and residential uses are typically expected above street level. Supportive uses including limited office, and limited retail uses may be permitted.

LIGHT INDUSTRIAL COMMERCIAL. Areas designated for light industrial commercial are intended predominantly for a mix of industrial, warehouse, office, service, utility and business park type uses. Supportive uses including limited retail and limited residential uses may be permitted.

LIGHT INDUSTRIAL COMMERCIAL MIXED USE - INNOVATION DISTRICT. Areas designated for light industrial commercial mixed-use - innovation district are intended predominantly for a mix of industrial, warehouse, office, service, utility and business park type uses up to approximately 1.10 FSR. Light industrial uses at street level are generally encouraged, and commercial uses, such as retail, service and office, are typically expected above street level. Supportive uses including limited institutional, and limited recreational uses may be permitted.

LIGHT INDUSTRIAL RESIDENTIAL MIXED USE - INNOVATION DISTRICT. Area designated for light industrial residential mixed-use - innovation district are intended predominantly for a mix of industrial, warehouse, office, service, utility, and business park type uses up to approximately 1.10 FSR. Light industrial uses at street level are generally encouraged, and residential uses are typically expected above street level. Supportive uses including limited institutional, limited recreational, and residential-only uses may be permitted.

PARKS, OPEN SPACE, AND NATURAL AREAS. Areas designated for parks, open space and natural areas are intended for a range of public and private uses focussed principally on the protection and preservation of ecologically important habitat areas, the regional drinking water supply, or the provision of diverse parks, outdoor recreational, or tourism opportunities.



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B Guidelines for Multi-Family Housing

Multi-Family development must fit the neighbourhood context, enhance the public realm and provide on-site amenities.

Discussion:

This section provides design guidelines for low-rise, mid-rise and high-rise multi-family residential buildings. The intent is to ensure that all new development enhances the community through design that is neighbourly, is in context with the surrounding area, enhances the public realm and provides appropriate on-site amenities for residents.

For the purposes of these guidelines low-rise is defined as six or fewer storeys; “mid-rise” as under twelve storeys and “high-rise” as twelve or more storeys. The first three sections of the guidelines apply to all forms of multi-family development while the last section is pertinent to mid-rise and high-rise buildings only.

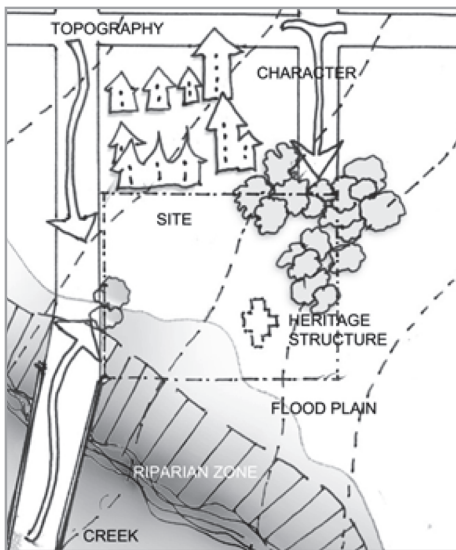


Figure 43

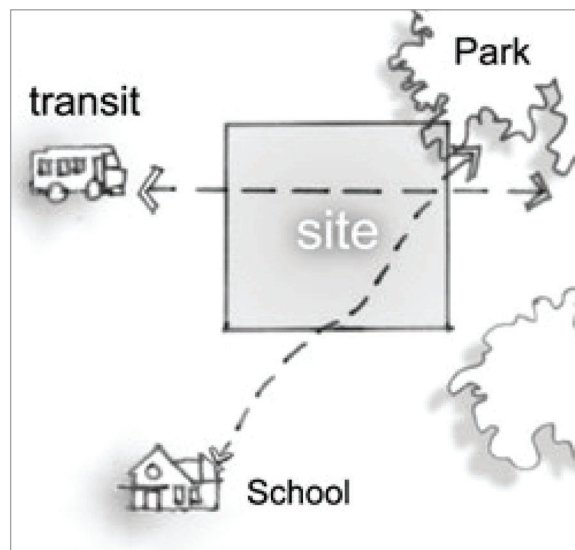


Figure 44

1. Site Planning

B1.1: Context: New development should fit the neighbourhood context. Consideration should be given to the local topography, vegetation and environmental features and to the established character of the built form including heritage buildings and local choices of colours, architectural styling and building materials (see Figure 43).

B1.2: Connectivity: The siting of new development should take into consideration how to enhance the pedestrian, bicycle and vehicle connections in the area, particularly those that lead to key destinations (see Figure 44).

B1.3: Solar Orientation: When siting development, careful consideration should be given to maximizing the benefits of sunshine exposure to public open spaces, and to minimizing the impacts of shading on adjacent properties (see Figure 45). To this end, applications should be accompanied by a shadow analysis that illustrates the impacts on March 21st, June 21st, and September 21st (spring and fall equinox and summer solstice) at 10 am, 12 noon, 2pm and 6pm (see Figure 45). (For high rises, also see related guideline B 4.4 Solar Orientation.)

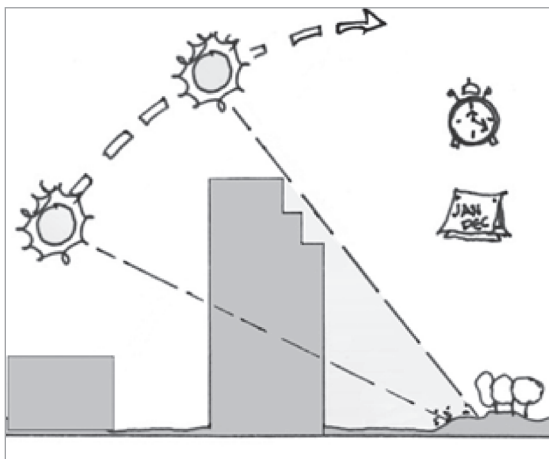


Figure 45

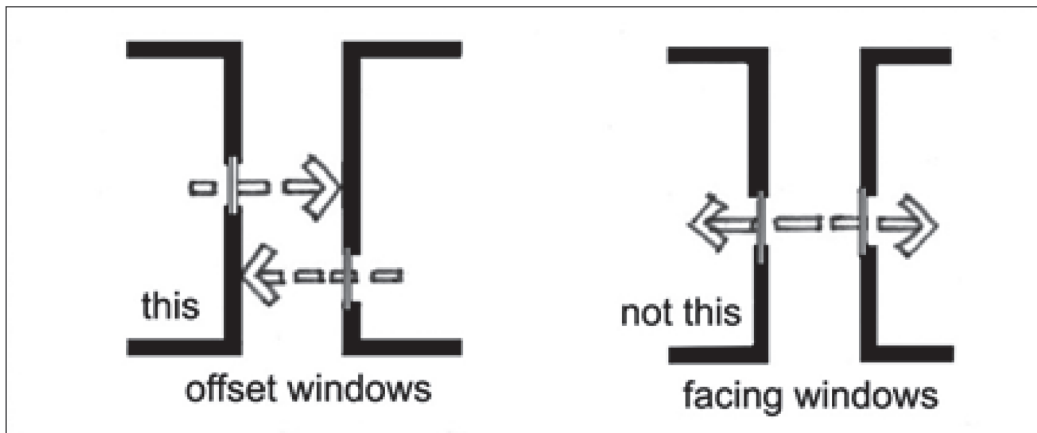


Figure 46

B1.4: Building Separation and Overlook: In order to maintain privacy between residential units, window placement in buildings within 9 metres (30 feet) of each other, or in courtyards, should be offset, not directly facing (see Figure 46).

B1.5: Hierarchy of Public and Private Space: In considering the connections through a development site, the adjacencies to public spaces and public streets, the project must define those spaces that are entirely public, and those which are semi-private and private, and design them accordingly.

B1.6: Common Outdoor Space: Residential developments should consider providing communal outdoor space that is conveniently accessible and in a visible, sunny location with suitable wind protection (see figure 47).

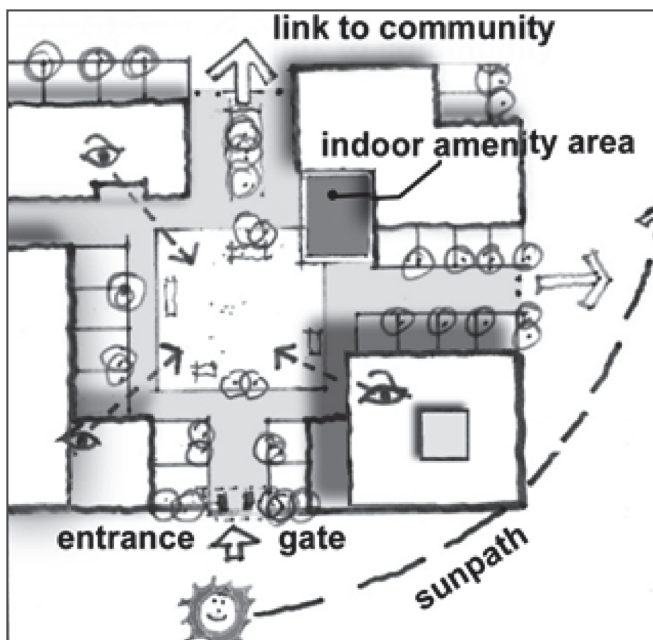


Figure 47

Larger residential projects should also consider providing:

- play structures;
- garden plots;
- dog walk areas; and
- social gathering areas.

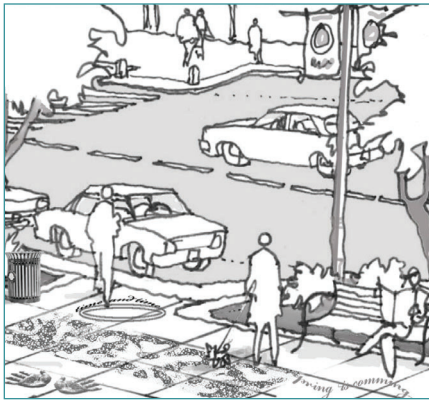


Figure 48



Figure 49

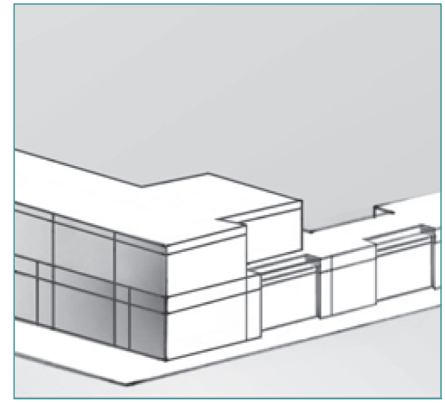


Figure 50

2. Public Realm and Streetscape Elements

B2.1 Unified Streetscape: Within a neighbourhood, a unified streetscape concept for public open spaces, landscaping elements and street furniture (benches, bike racks etc.) should be achieved in order to complement and enhance the neighbourhood's character (see Figure 48).

B2.2: Corner Sites: On corner sites, both frontages should be designed to face the street and the building should address the corner with strong massing (see Figure 49).

Where two intersecting streets have different architectural character (building heights, setbacks and key architectural elements) the building on the corner should make an effort to address both situations as it turns the corner (see Figure 50).

B2.3: Maximum Building Width: In order to create an interesting streetscape, large sites should be broken into multiple buildings. Low or mid-rise buildings should not exceed 45 m in length or width and high-rise buildings should not exceed 30 m in length or width (see Figure 51).

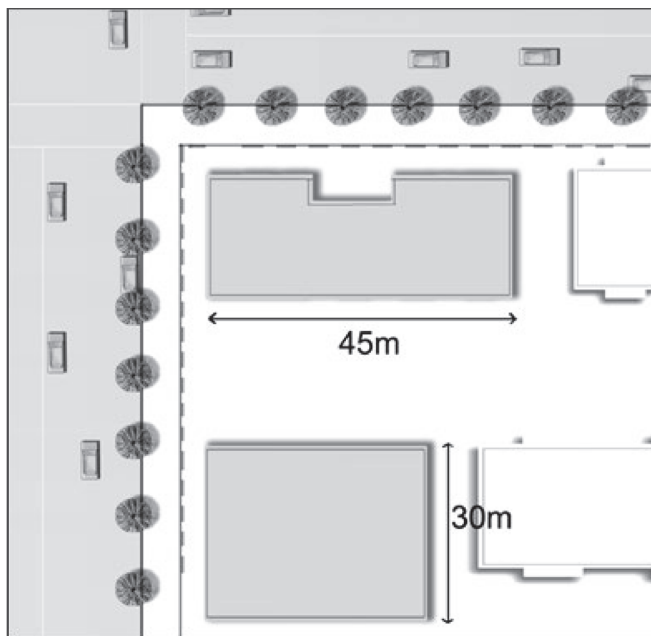


Figure 51

B2.4: Accessible Pedestrian Routes: Pedestrian routes should be smooth, level and clear of encumbrances to ensure direct passage for those with visual impairments or who require mobility aids.

B2.5: Sustainable Landscape Design: Landscape design should be coordinated with building design, site servicing, utility placement and neighbourhood streetscape objectives and should incorporate:

- rainwater management;
- pedestrian way-finding and lighting;
- accessibility design features;
- the right space for the right tree;
- the use of appropriate native species;
- the consideration of species that do not require irrigation after they are established;
- species that provide visual and sensory interest throughout the seasons; and
- consideration of long term maintenance.

B2.6: Building Setback to the Street: To ensure there is sufficient room for a pleasant streetscape building facades should be setback a minimum distance of 4 metres (13 feet) from the ultimate curb face. The setback may be a combination of public and private property, and should be deep enough to accommodate a sidewalk, street trees, street furniture, utilities and semi-private outdoor space. To ensure buildings relate to the street and help “frame” the street buildings should be set back no more than 10 metres (33 feet) from the curb, with the expectation that there is approximately 4 metres from curb edge to property line and up to 6 metres to accommodate front patios and stoops in front of the main building face (see Figure 52).

B2.7: Integrated Streetscape and Parkade: Where an underground parkade will be close to street trees, it should be either stepped back or stepped down, to ensure the street trees and boulevard landscaping have sufficient growing medium to thrive (see figure 53).

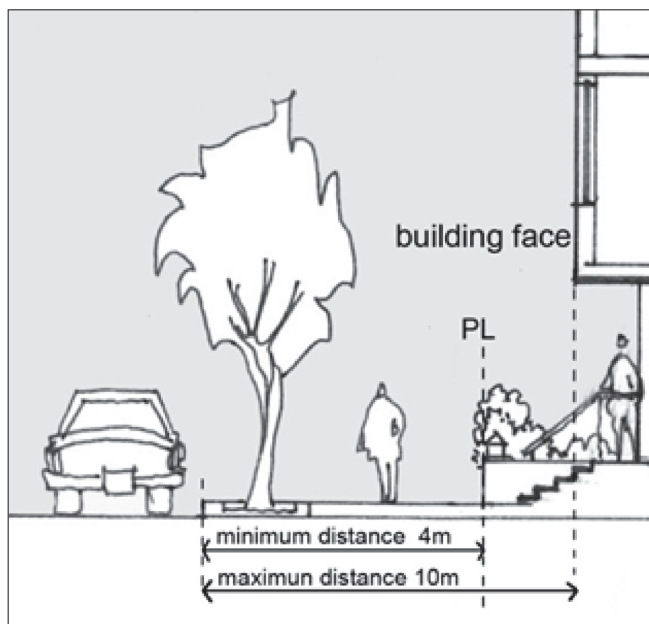


Figure 52

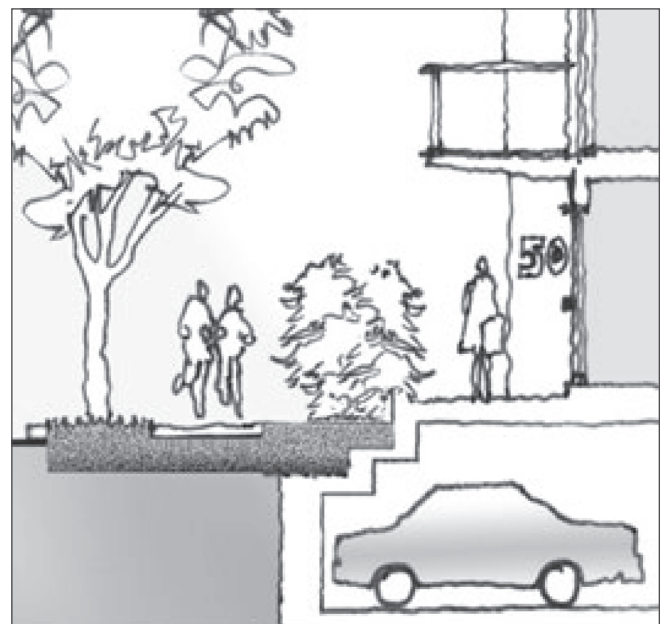


Figure 53

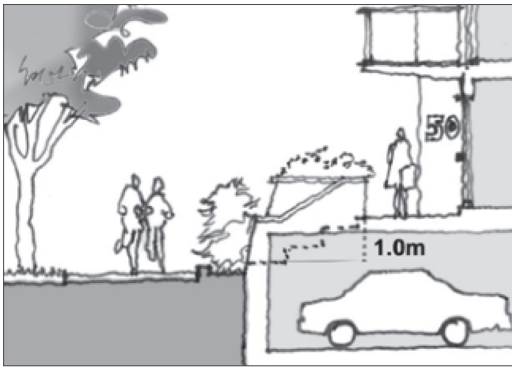


Figure 54

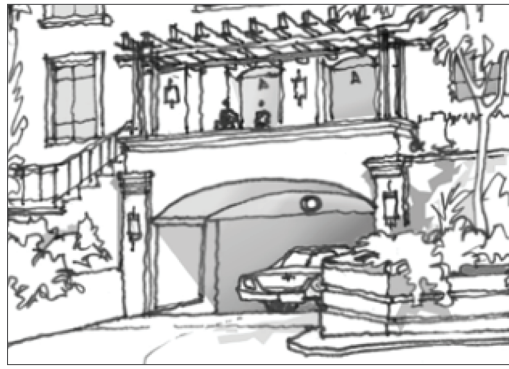


Figure 55

B2.8: Partially Above Grade Parking Structures: If parking structures must be partially above grade, exposed walls should be faced with attractive and durable materials and/or screened with planting. Parkades should not be more than 1 metre (3 feet) above grade (see Figure 54).

B2.9: Parking Structure Entrances: Vehicular entrances to parking structures should be unobtrusive, architecturally integrated and screened from view with landscaping, trellises or through other means (see Figure 55).

B2.10: Designing for Transit Ridership: Where there is an adjacent bus stop, lobbies should be designed to provide direct access and clear sight lines to enhance the safety and comfort of transit riders. Where appropriate, developers should consider designing the bus shelter so that it is coordinated with the building design.

3. Building Form And Architectural Elements

B3.1: Variation in Building Design: There should be subtle design variation between neighbouring buildings to avoid repetition while maintaining a harmony to the streetscape.

B3.2: Scale: New development should relate to, and harmonize with, the height and scale of neighbouring buildings by incorporating complementary building forms and transitional heights (see Figures 56 & 57).

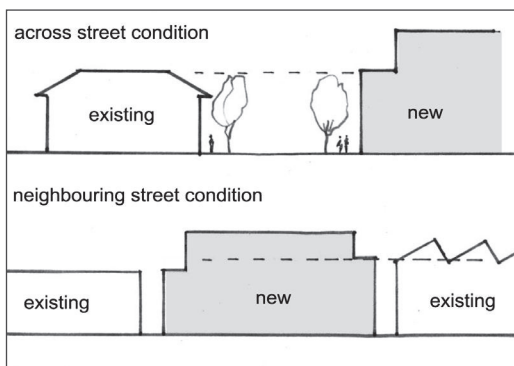


Figure 56

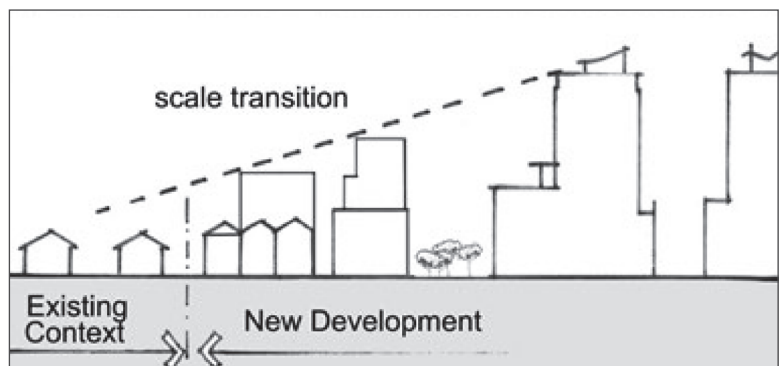


Figure 57

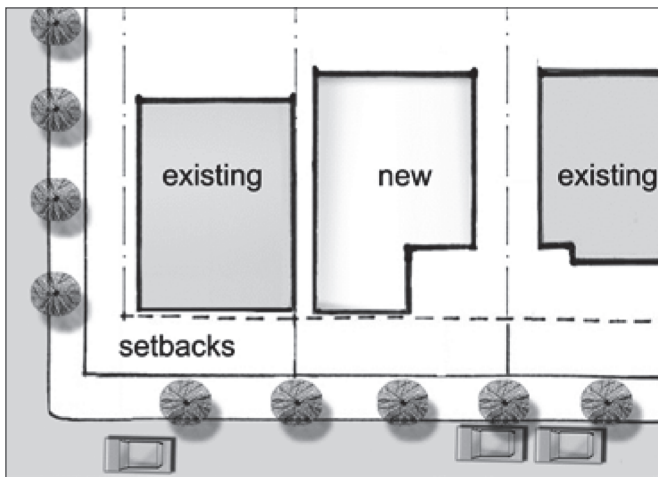


Figure 58

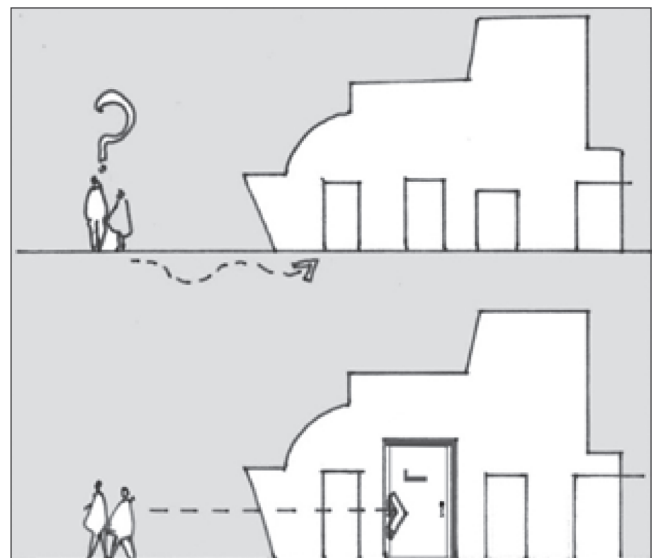


Figure 59

B3.5: Setbacks: Street-front setbacks should relate to, and harmonize with (but not necessarily equal), setbacks of existing adjacent development (see Figure 58).

B3.3: Legibility: Design of new development should ensure the identity, function and access to the building is easily understood (see Figure 59).

B3.4: Unit Identity and Relationship to the Street: Buildings should be designed to provide a rhythm to the street frontage. Ground level units are encouraged to have front doors on the street, and designs that celebrate the unit identity. To add to the “eyes on the street” unit layouts that provide living space that overlooks the street are encouraged (see Figure 60).

B3.6: Stepping down a slope: On sloping sites, building roof lines should step down the slope in keeping with the topography (see Figure 61).



Figure 60

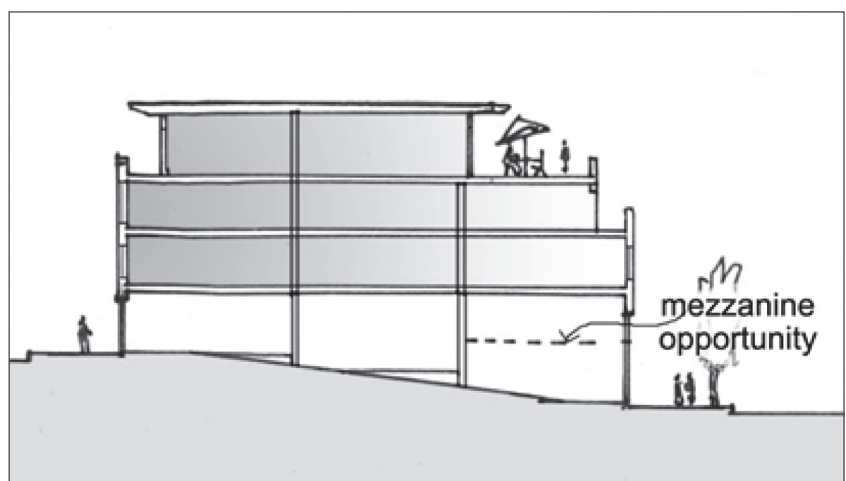


Figure 61

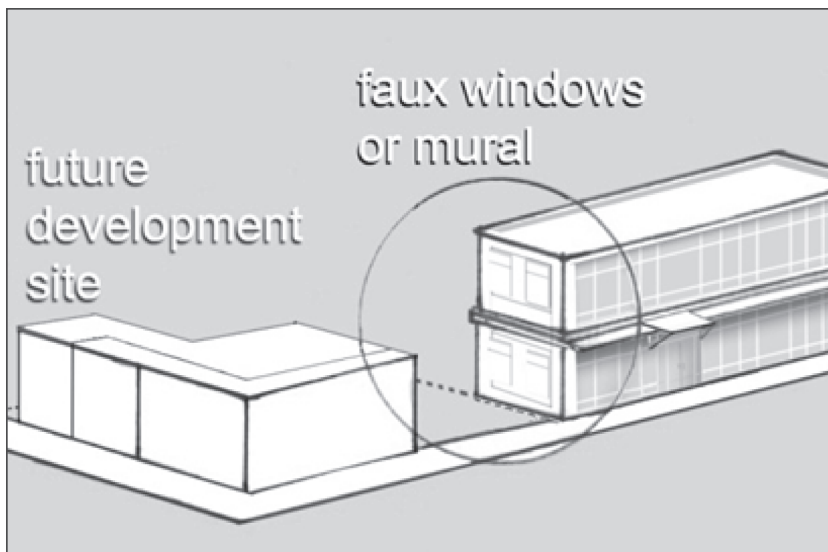


Figure 62

B3.7: Endwalls: Where there is an exposed end-wall, it should be designed and finished to be aesthetically pleasing. Material and texture choices, art, mosaics and green walls are encouraged for this purpose and key architectural elements like cornices, or colour bands should extend around the corner of the building onto the blank face of the wall (see Figure 62).

B3.8: Building Materials and Transitions: Building and structures should be faced with substantial and durable materials such as masonry, stone, ceramic tile, fibre-cement siding, metal and wood. Changes of exterior materials, colours and textures should occur at interior corners and offsets, not in the same horizontal or vertical plane. Detailing should be ample to avoid a “wallpaper” look (see Figure 63).

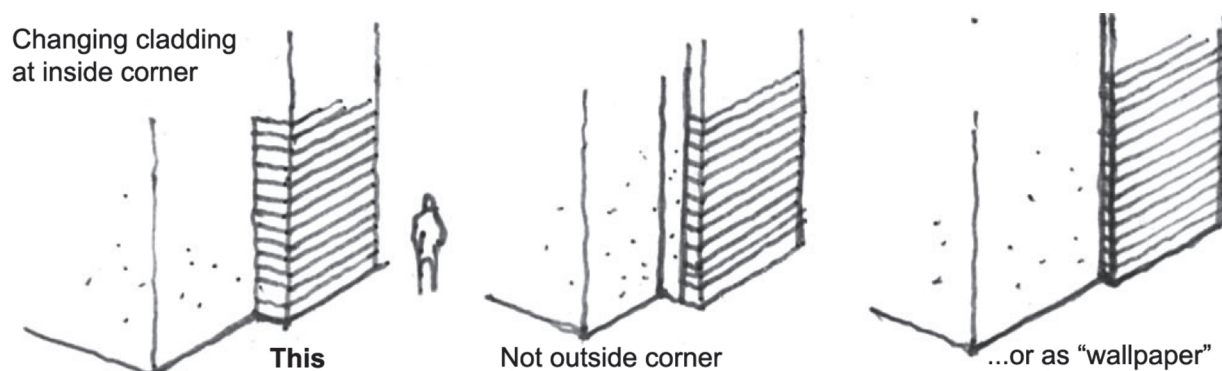


Figure 63



Figure 64



Figure 65

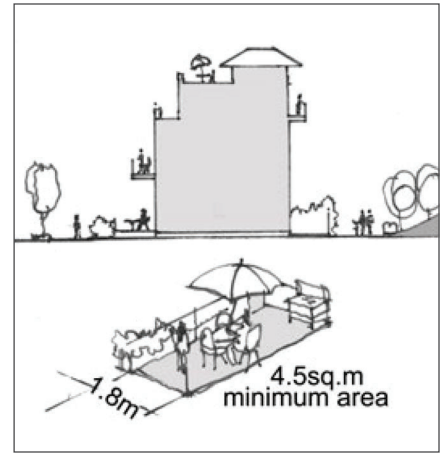


Figure 66

B3.9: Transparent Fronts: Viewing into and out of lobbies is encouraged, especially where lobbies overlook passenger drop off areas or bus stops (see Figure 64).

B3.10: Weather Protection: Weather protection that is architecturally integrated with the building design should be provided at the front doors and lobby entrances (See also B2.10, Designing for Transit Ridership).

B3.11: Lighting: Lighting should be fully considered and integrated with the building design.

B3.12: Signage on a Residential Building: Where live/work units or home based businesses are anticipated, the potential for signage should be considered and integrated with the building design in a manner that does not diminish the residential character of the building (see Figure 65).

B3.13: Adaptable Design: All new development should follow the District's adaptable design standards for designing buildings and units to ensure a supply of adaptable and accessible units is developed.

B3.14: Private Outdoor Space: Private or semi-private outdoor space should be provided for each dwelling unit in the form of patios, balconies or rooftop decks that allow for outdoor seating. The minimum dimensions should be 1.8 m x 2.5 m with a minimum area of 4.5 m² (48 sq. ft) (see Figure 66).

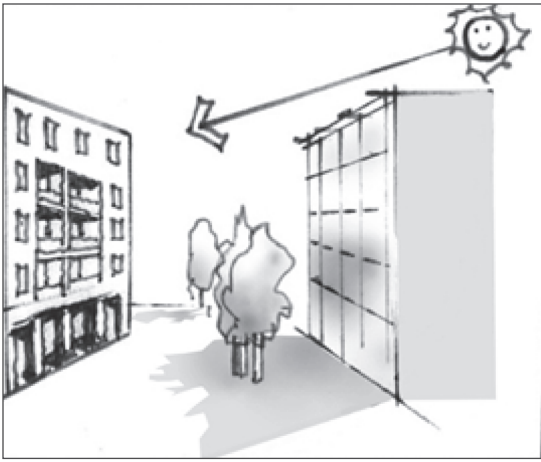


Figure 67

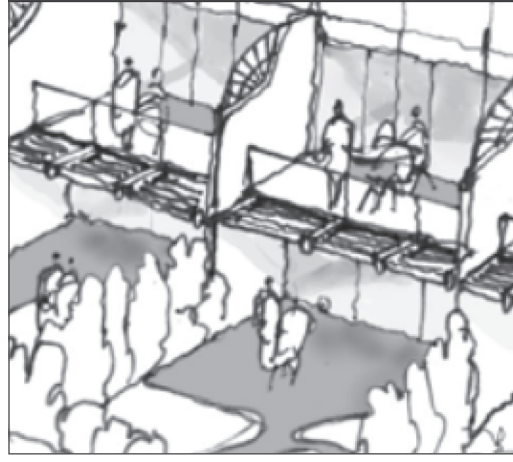


Figure 68

B3.15: Balconies: Balconies facing streets should be recessed into the main building façade. Guardrails should be transparent to maximize exposure to sunlight for each unit (see Figure 67).

B3.16: Privacy of New Units: New development should recognize the contribution to livability that privacy provides, and design windows, patios and balconies accordingly (see Figure 68).

B3.17: Layered Landscaping: Layered landscaping treatments and slightly elevated overlook of the public realm are encouraged to improve residential livability. However, changes in elevation should not exceed 1.5 metres (see Figure 69).

B3.18: Surface Parking: Surface parking, where permitted, should be screened from view with trees, landscaping and architectural elements such as overhangs, trellises and planters (see Figure 70).



Figure 69

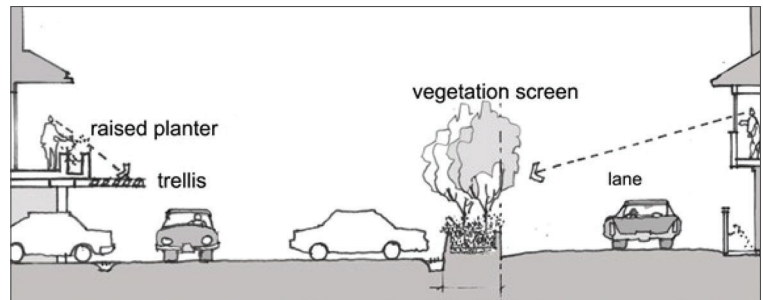


Figure 70

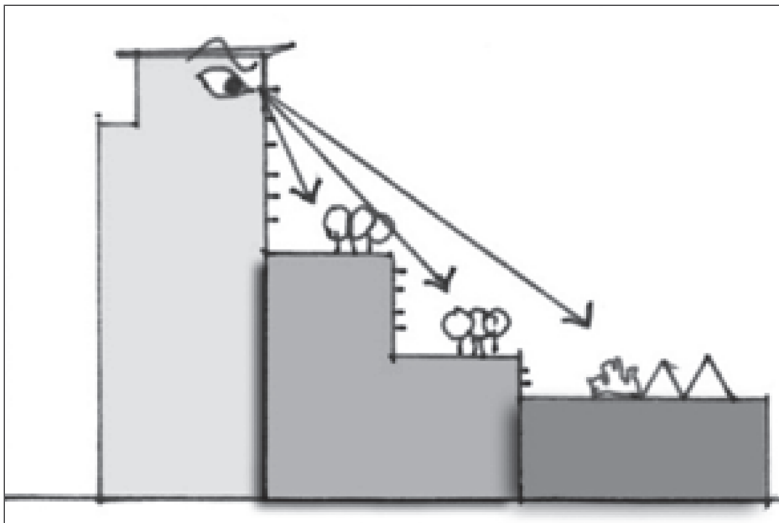


Figure 71

B3.19: Rooftops: Recognizing that rooftops are often visible, mechanical and utility equipment should be screened and integrated into the design and opportunities for roof top gardens should be explored (see Figure 71).

B3.20: Height of Elevator Penthouses and Roof Access Stairs: Elevator penthouses, roof decks and roof access stairs should be kept as low as possible in height and be sited to minimize overlook and view impacts.

B3.21: Noise Levels: Building designs should demonstrate that the A-weighted 24-hour equivalent LEQ sound level (the average sound level over the period of the measurement) in those portions of the dwelling listed below do not exceed the noise levels expressed in decibels set opposite such portions of the dwelling units. Example techniques include the use of triple glazing, or improved insulation.

PORTION OF DWELLING UNIT	NOISE LEVEL (DECIBELS)
bedrooms	35
living, dining, recreation rooms	40
kitchen, bathrooms, hallways	45

B3.22: Rainwater Run-off: In accordance with the Development Services Bylaw and environmental requirements, oil and grit separators are required in all parking and loading areas and should be located so as not to interfere with pedestrian pathways and wheelchair access.

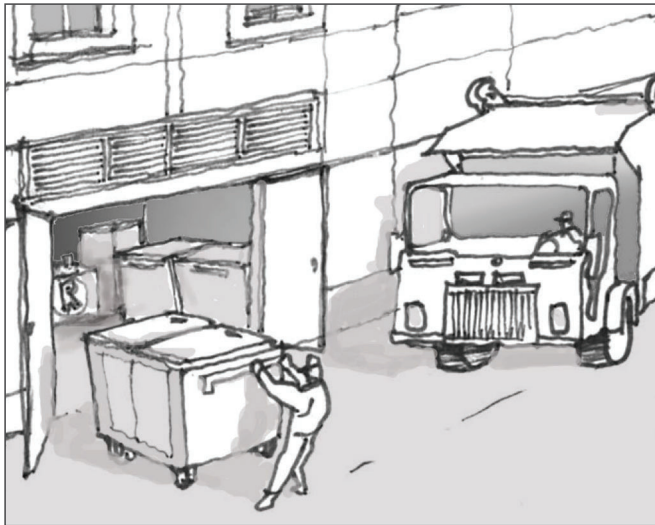


Figure 72



Figure 73

B3.23: Utility and Service installations: New development should be designed to carefully integrate utility installations, communication equipment and garbage, compost and recycling areas into the overall design of the project. These services should:

- be as unobtrusive as possible;
- be easy and safe for residents to use;
- be easy to service;
- be easy to keep clean;
- be animal proof; and
- be situated to minimize their impacts on neighbours. (see Figure 72 & 73).

4. Mid and High Rise Residential Tower Guidelines

In addition to the preceding general residential guidelines that apply to all residential development, tower elements including mid rise towers (6-12 storeys in height) and high rise towers (12 storeys and taller) should also comply with the following guidelines:

B4.1 Minimum Lot Frontage: It is recommended that development sites for towers have a minimum frontage of 60 metres (200 feet).

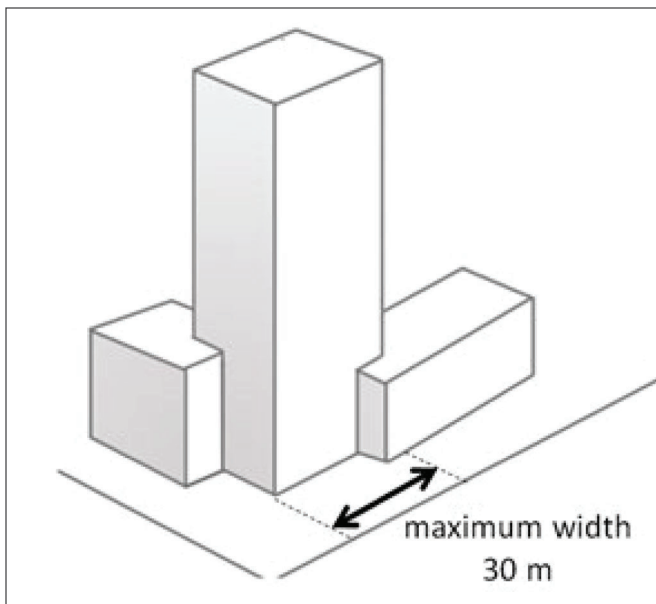


Figure 74

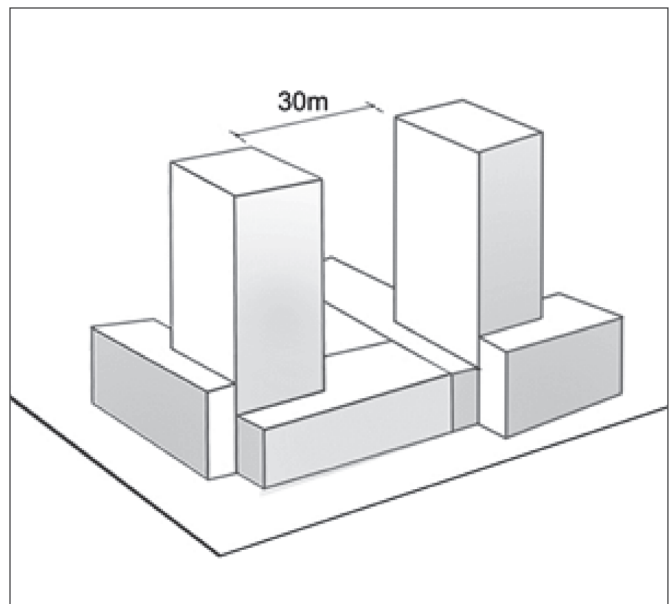


Figure 75

B4.2 Maximum Building Frontage: Further to section B2.3 Maximum Building Width, mid and high rise buildings should not have tower frontages in excess of 30 metres (98.5 feet) (see Figure 74).

B4.3 Building Separation: In order to minimize overlook between residential units, there should be a minimum separation between high rise buildings of at least 30 metres (98.5 feet) (see Figure 75).

B4.4: Solar Orientation: Further to section B1.3 Solar Orientation, which also highlights the need to maximize the benefits of sunshine and minimize the impacts of overshadowing, where towers are proposed that have a long side, that long side is encouraged to have a north-south orientation to reduce the impacts of shading on adjacent areas (See Figure 76).

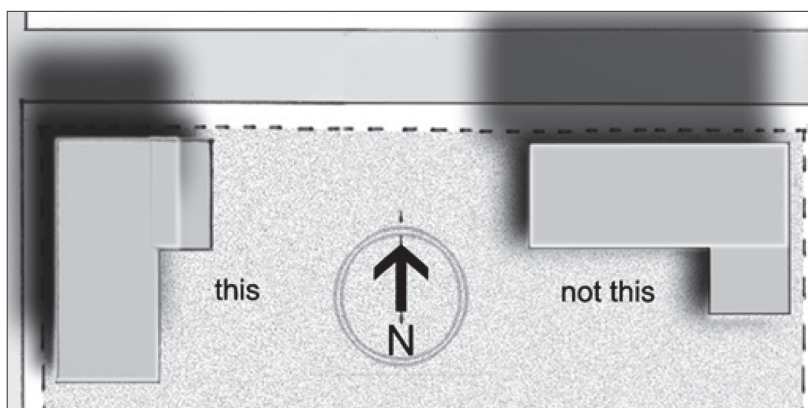


Figure 76

It is also important for towers to reduce the potential for heat gain on southern and western exposures to both ensure units are liveable and reduce energy consumption. This may result in southern and western elevations having different but complementary treatments that may include: reduced glazing, larger balconies, louvers, and cross ventilation.

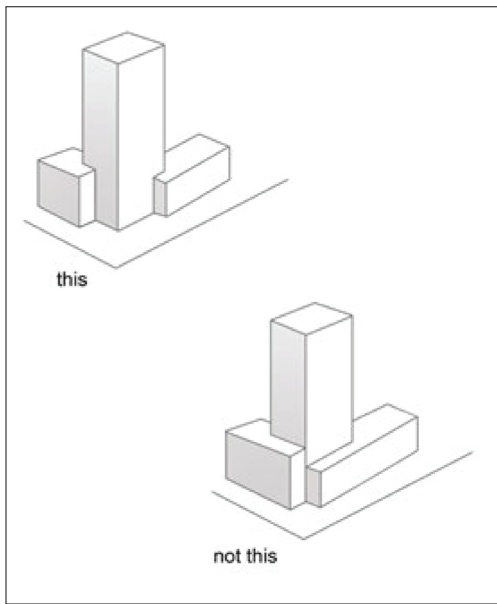


Figure 77

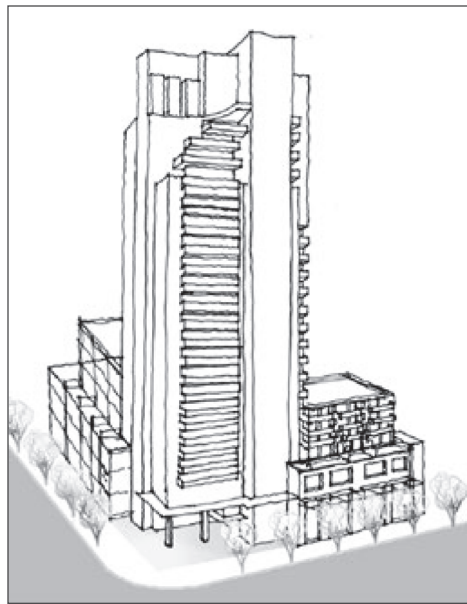


Figure 78

B4.5: Maximum Building Footprint: In order to ensure towers have a slim appearance, the total building footprint for a tower should not exceed 800 square metres (8,600 square feet).

B4.6: Articulation of the Floor-plate/Building Footprint: In addition to B4.5 above, where any portion of a tower footprint exceeds 25 metres x 25 metres (80 x 80 feet), the overall footprint should be articulated, or stepped.

B4.7: Vertical Elements: Architectural elements should connect across the vertical length of the building from top to bottom and towers should connect to the ground plane, and not be completely hidden behind low rise, or town house units (see Figure 77).

B4.8: High Rise – Corner Treatment: Where high rise towers are located at the corner, deeper setbacks from the sidewalk should be considered (see Figure 78).

B4.9: Articulation of the Building: Sculptural elements, banding, building articulation, use of materials and stepping back of portions of the building should be considered to lessen the appearance of bulk and add visual interest. (See Figure 79)

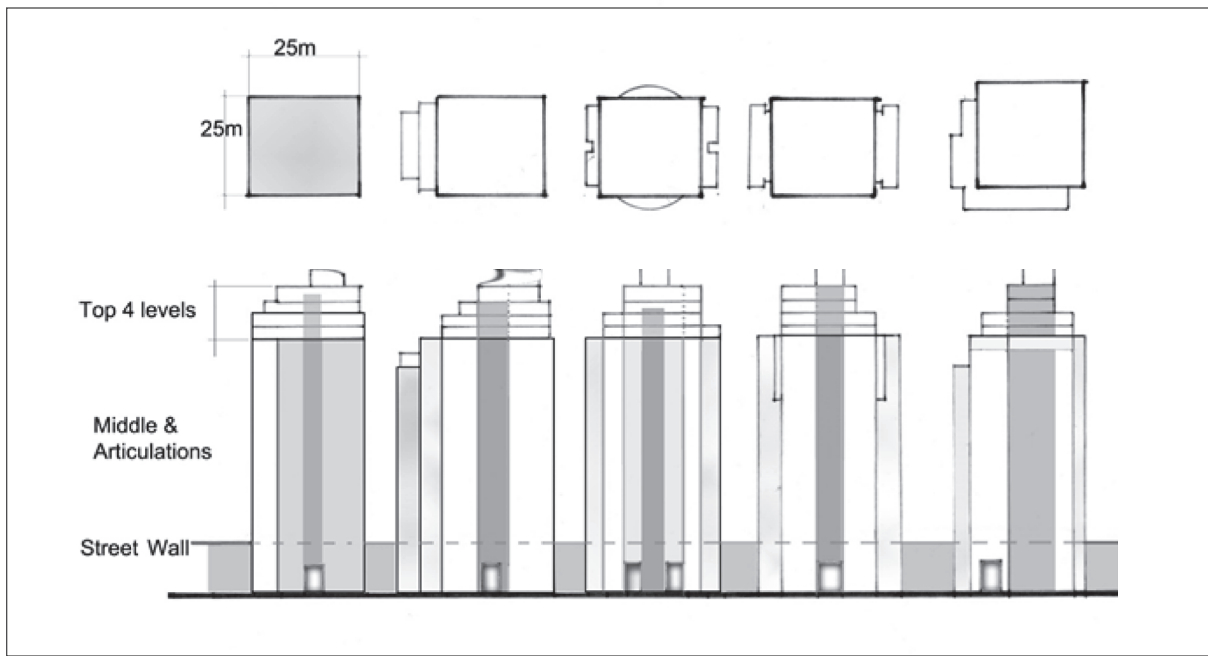


Figure 79

B4.10: Sculpting the Top of the Tower: To ensure buildings have a slim appearance at the skyline, consideration should be given to stepping back the size of the floor-plate of the top 4 stories, so that the upper most storey has a maximum size of 600 square metres (6,460 square feet) (see Figure 79).

B4.11: Balconies: While the inclusion of balconies in high rise development is both desirable and required, it is important that balconies are not so large that they significantly add bulk to the look of the building, and therefore it is recommended that in total balconies do not exceed 10% of the building’s footprint.

Consideration of inseting the balconies to offset their bulk and ensure they are well integrated into the building is encouraged (see Figure 80).

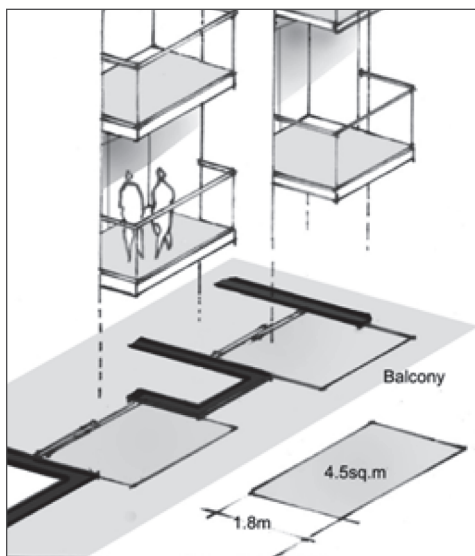
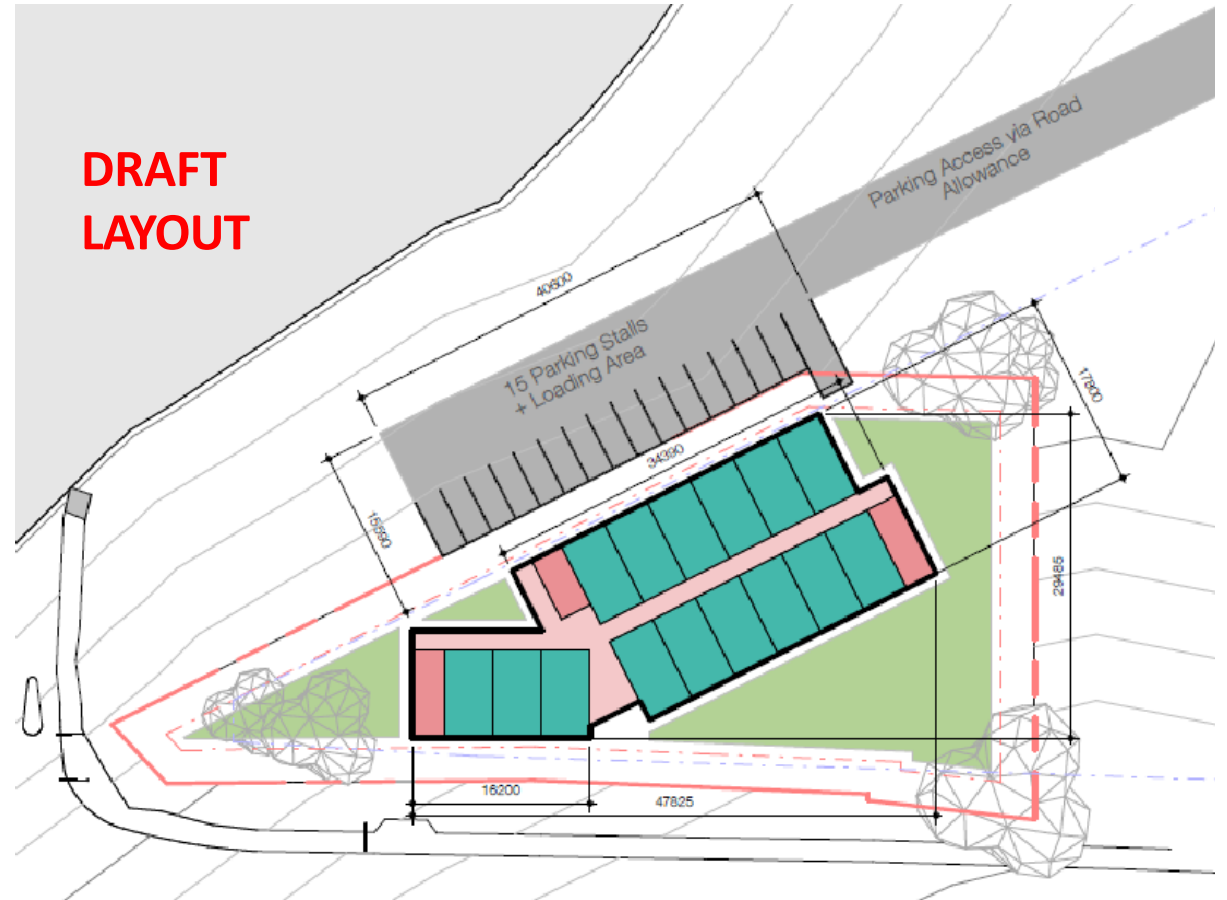


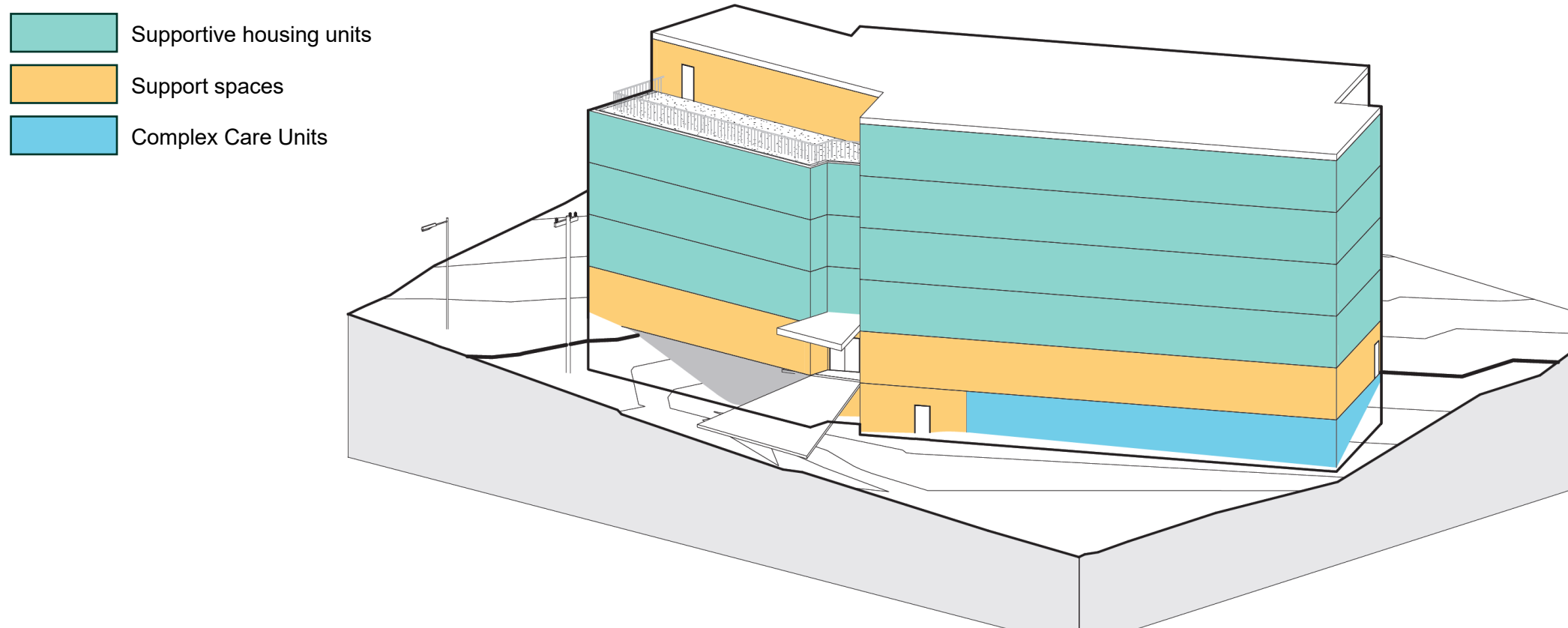
Figure 80

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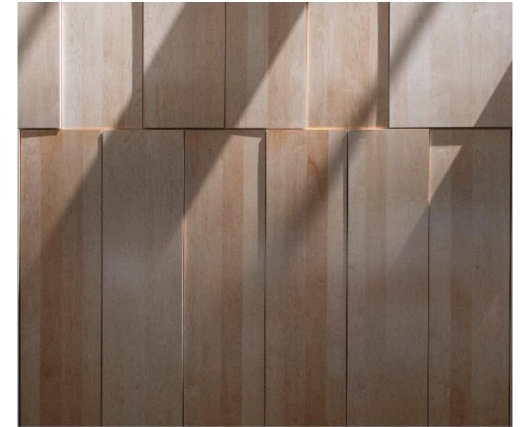
Air Photo of the Site (left), and Draft Site Plan (right)



DRAFT concept showing the proposed massing of the building



Early ideas for building materials



Examples of other supportive housing buildings



Examples from existing supportive housing units



Community Benefits of Supportive Housing

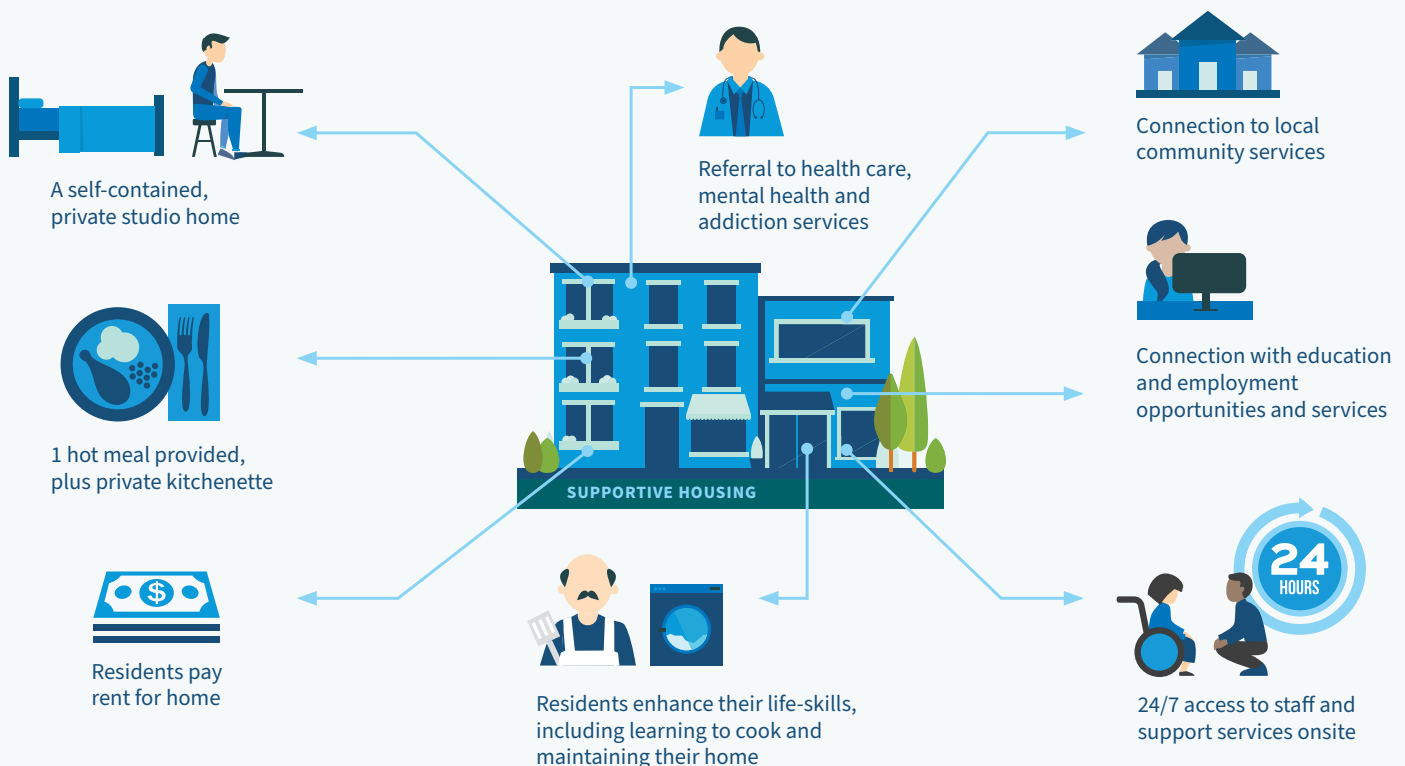
This resource answers questions about Supportive Housing
in your neighbourhood



What is supportive housing?

Provincially-funded supportive housing is for people experiencing homelessness. Supportive housing provides a home with access to on-site supports to ensure people can achieve and maintain housing stability. Residents have access to their own self-contained studio apartment or, in some cases, a secure unit with shared bathroom and amenity spaces. All residents sign either a program or tenancy agreement and participate in programming based on an individualized case plan.

All residents in supportive housing have made a choice to live there and are able to access the services provided by non-profit housing operators, such as life-skills training, and connections to primary health care, mental health and/or substance use services.





Will supportive housing affect property values in my neighbourhood?



Studies show that property values immediately surrounding supportive housing sites typically keep pace with the trends of the surrounding municipality.



Facts and Statistics

- ➔ Research completed in 2019 of 13 B.C. supportive housing sites showed that property values immediately surrounding 10 sites either kept pace or surpassed surrounding municipal trends. Property values for the other three sites were not notably different compared to municipal trends.
- ➔ A study in New York City of 7,500 supportive housing units from 1974 to 2005 found no evidence of a negative impact on property values close to supportive housing.

Sources:

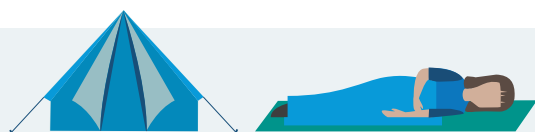
- Insight Specialty Consulting. 2019. *Exploring Impacts of Non-Market Housing on Surrounding Property Values*. BC Housing
- Furman Center for Real Estate & Urban Policy. 2008. *The Impact of Supportive Housing on Surrounding Neighborhoods: Evidence from New York City*. New York University. furmancenter.org/files/FurmanCenterPolicyBriefonSupportiveHousing_LowRes.pdf



Is supportive housing costly for tax-payers?



Studies show the cost of providing supportive housing is less than the cost of providing the health and public safety services needed to address homelessness.



On average, a person **experiencing homelessness** with addictions and/or mental illness used

\$55,000 per year in health care and/or corrections services

VS



On average, a person **in supportive housing** with addictions and/or mental illness used

\$37,000 per year in health care and/or corrections services

Supportive housing residents were **64% less likely** than shelter clients **to use ambulance services**



Average hospital stay for supportive housing residents was **50% less** than shelter clients



Facts and Statistics

- A 2008 B.C. study found that on average a person experiencing homelessness with addictions and/or mental illness used \$55,000 per year in health care and/or corrections services compared to \$37,000 for a person in supportive housing.
- A 2019 B.C. study linking data for more than 450 individuals in BC Housing-funded supportive housing and emergency shelters found:
 - Supportive housing residents were 64 per cent less likely than emergency shelter clients to use ambulance services.
 - The average hospital stay for supportive housing residents was 50 per cent less than for emergency shelter clients.

Sources:

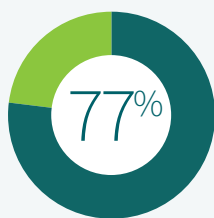
- Patterson, Michelle, Julian Somers, Karen McIntosh, Alan Shiell, Charles James Frankish. 2008. *Housing and Support for Adults with Severe Addictions and/or Mental Illness in British Columbia*. Centre For Applied Research in Mental Health and Addiction, Simon Fraser University www.sfu.ca/carmha/publications/housing-and-support-for-adults-with-severe.html
- Malatest & Associates Ltd. 2019. *Supportive Housing Outcome Evaluation*. BC Housing (Underway).



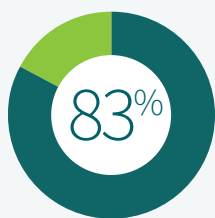
Will supportive housing change my neighbourhood?



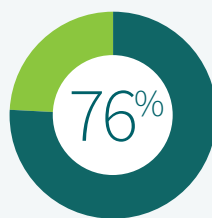
Many supportive housing residents have an existing connection with the neighbourhood and report experiencing positive interactions with neighbours after they moved in. Often the initial concerns from neighbourhoods about supportive housing decrease over time.



of modular supportive housing survey respondents reported **a prior connection** to the neighbourhood



of modular supportive housing survey respondents reported **positive interactions** with neighbours



of modular supportive housing survey respondents reported having **friends or relatives** in the neighbourhood



Supportive housing staff and residents **care about safety and well-being** of their neighbourhoods



Facts and Statistics

- 77 per cent of survey respondents across modular supportive housing sites reported having a prior connection to the neighbourhood before moving into their modular housing unit.
- 83 per cent of survey respondents across modular supportive housing sites reported experiencing positive interactions with neighbours in the surrounding community since they moved in.
- 76 per cent of survey respondents across modular supportive housing sites reported having friends or relatives in the neighbourhood who they can talk to.
- Community Advisory Committees established when developing supportive housing sites often find they no longer need to meet once the sites become operational, as issues and concerns become infrequent. Awareness also increases amongst neighbours to contact the housing provider to address any issues or concerns that do arise.
- Supportive housing staff and residents care about the safety and well-being of their neighbourhoods and are active participants in revitalizing their communities.

Sources:

- BC Housing. 2021. *Modular Supportive Housing Resident Outcomes Study Reports*. www.bchousing.org/research-centre/library/transition-from-homelessness/modular-supportive-housing-resident-outcomes?sortType=sortByDate
- Wolf, A. d. 2008. *We are Neighbours: The Impact of Supportive Housing on Community, Social, Economic and Attitude Changes*. Toronto: Wellesley Institute.
- BC Housing. 2018. *Community Acceptance Series – Supportive Housing Case Study Series: Overview*. www.bchousing.org/research-centre/library/community-acceptance/bk-case-study-series-overview&sortType=sortByDate

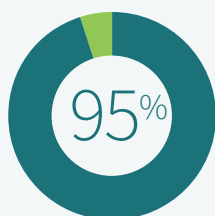


Does supportive housing work to reduce homelessness in my neighbourhood and community?

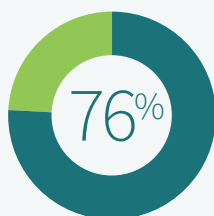


Supportive housing residents are no longer homeless after they are housed. Once in a supportive housing unit, people who previously experienced homelessness report improvements in access to employment, income, education, mental health supports and life-skills.

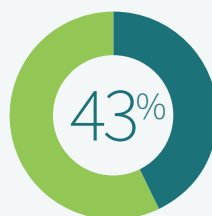
After Six Months:



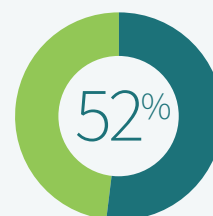
of supportive housing residents
remained housed



of modular supportive housing survey respondents reported
improved overall well-being



of modular supportive housing survey respondents reported
improved access to employment opportunities



of modular supportive housing survey respondents reported
improvements in life skills



Facts and Statistics

- 95 per cent of residents living in BC Housing-funded supportive housing in 2020-21 had been housed for at least six months, including 81 per cent who had been housed for at least one year.
- 76 per cent of survey respondents in modular supportive housing sites reported improvements to their overall well-being.
- 43 per cent of survey respondents in modular supportive housing sites reported improved access to employment opportunities and employment support services.
- 52 per cent of survey respondents in modular supportive housing sites reported improvements in life skills. Staff interviewed said residents life skills improve in terms of cooking, keeping their space tidy, and personal hygiene.

Sources:

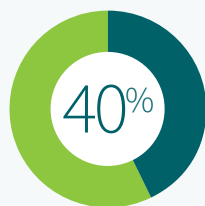
- BC Housing. 2021. *Modular Supportive Housing Resident Outcomes Study Reports*. www.bchousing.org/research-centre/library/transition-from-homelessness/modular-supportive-housing-resident-outcomes?sortType=sortByDate
- BC Housing. 2022. *Supportive Housing Demographics and Outcomes*.



Why does supportive housing allow residents to use addictive substances?



Supportive housing uses a harm reduction approach. “Harm reduction” is a term used to describe an array of strategies aimed at reducing potential harm to individuals and communities associated with substance use. Not everyone who moves into supportive housing has substance use issues.



of modular supportive housing survey respondents reported **improvements in substance use issues** six months after moving in.



Many supportive housing sites have volunteer programs for residents to **help keep the neighbourhoods clean.**

Facts and Statistics:

- ➔ In a study of residents living in BC Housing-funded modular supportive housing, 40 per cent reported improvements in substance use issues six months after moving in. 35 per cent reported that their substance use issues were the same (note: not all residents have substance use issues).
- ➔ Supportive housing providers use several strategies to reduce harm related to substance use. These include access to naloxone, peer involvement, supervised injection rooms, staff training and overdose protocols.
- ➔ Supportive housing can reduce substance use paraphernalia found in neighborhoods. For example, the Clean Team operated by a supportive housing provider in Vancouver, sweeps the neighbourhood, looking for substance use and other drug-related paraphernalia.
- ➔ Many supportive housing sites have volunteer programs for residents to help keep the neighbourhoods clean. This includes picking up garbage and substance use paraphernalia left by people who do not live in supportive housing.
- ➔ About half of residents in BC Housing-funded supportive housing reported having an substance use issue.

Sources:

- Homeless Hub. 2021, October. *Harm Reduction*. Retrieved from Homeless Hub: www.homelesshub.ca/about-homelessness/substance-use-addiction/harm-reduction
- BC Housing. 2021. *Modular Supportive Housing Resident Outcomes Study Reports*. www.bchousing.org/research-centre/library/transition-from-homelessness/modular-supportive-housing-resident-outcomes?sortType=sortByDate
- Urban Health Research Initiative. 2009. *Findings from the evaluation of Vancouver's Pilot Medically Supervised Safer Injecting Facility*. BC Centre for Excellence in HIV/AIDS.
- Cohen, E. 2019. *The Effects of Designated Homeless Housing Sites on Local Communities: Evidence from Los Angeles County*. Los Angeles: UCLA.
- BC Housing. 2018. *Community Acceptance Series – Supportive Housing Case Study Series: Overview*. www.bchousing.org/research-centre/library/community-acceptance/bk-case-study-series-overview&sortType=sortByDate

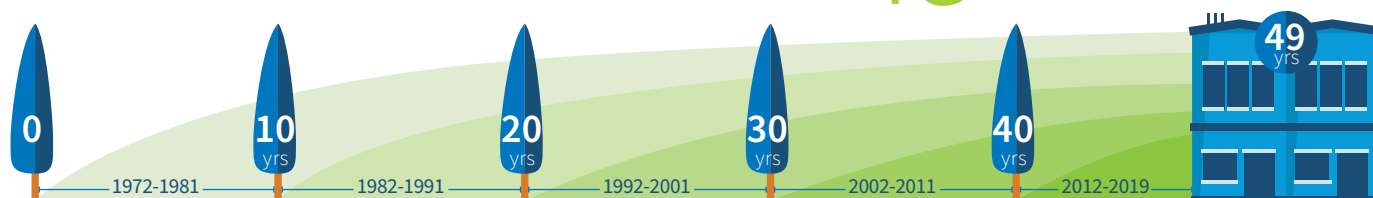


Will supportive housing have an impact on nearby schools in my neighbourhood?



Many supportive housing sites across the province have been operating in their communities and near schools for 10+ years with few issues and support from the community.

Oldest supportive housing site operating for **49** years



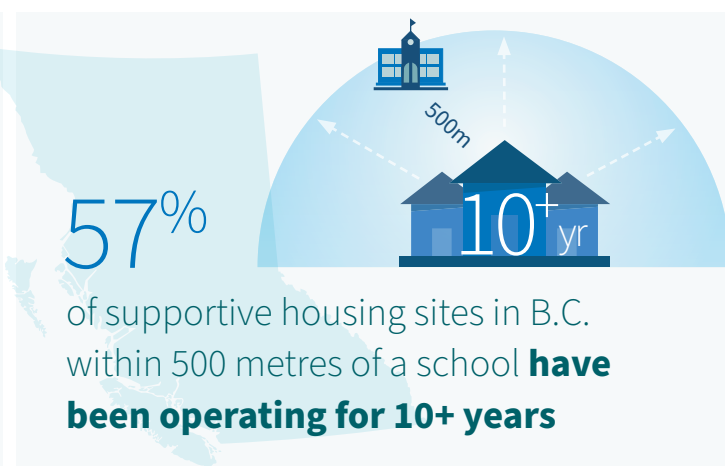
225+

provincially-funded sites operate **within 500 metres** of a school



57%

of supportive housing sites in B.C. within 500 metres of a school **have been operating for 10+ years**



Facts and Statistics

- ➔ The oldest supportive housing site in B.C. has been operating for 49 years.
- ➔ There are over 225 provincially-funded supportive housing sites across the province that are within 500 metres of a school.
- ➔ 57 per cent of provincially-funded supportive housing sites in B.C. within 500 metres of schools have been operating for 10+ years.

Sources:

• BC Housing, 2021. Central Property System.



How will supportive housing contribute to my neighbourhood's local economy?



Residents of supportive housing contribute to the economy of the neighborhoods they live in by spending money at local businesses. The construction and operation of supportive housing also creates local jobs.

Every dollar invested in supportive housing puts

\$4-5

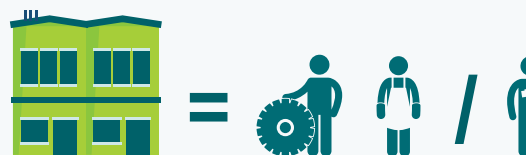
back into the local economy through social and/or economic activities



An Ontario study found for every new residential unit built, an estimated

2-2.5

new jobs are created



Facts and Statistics:

- 2018 B.C. studies showed that every dollar invested in supportive housing creates four to five dollars in social and/or economic value. Neighbourhood benefits include improved well-being and increased local spending.
- A 2008 study of two supportive housing buildings located in the same Toronto community found that the tenants' local economic footprint is modest because of tenants' income. This does, however, result in tenants shopping at local convenience stores, pharmacies, coffee shops and restaurants, contributing to the local economy of the neighborhood.
- An Ontario study found for every new residential unit built, an estimated 2 to 2.5 new jobs are created.

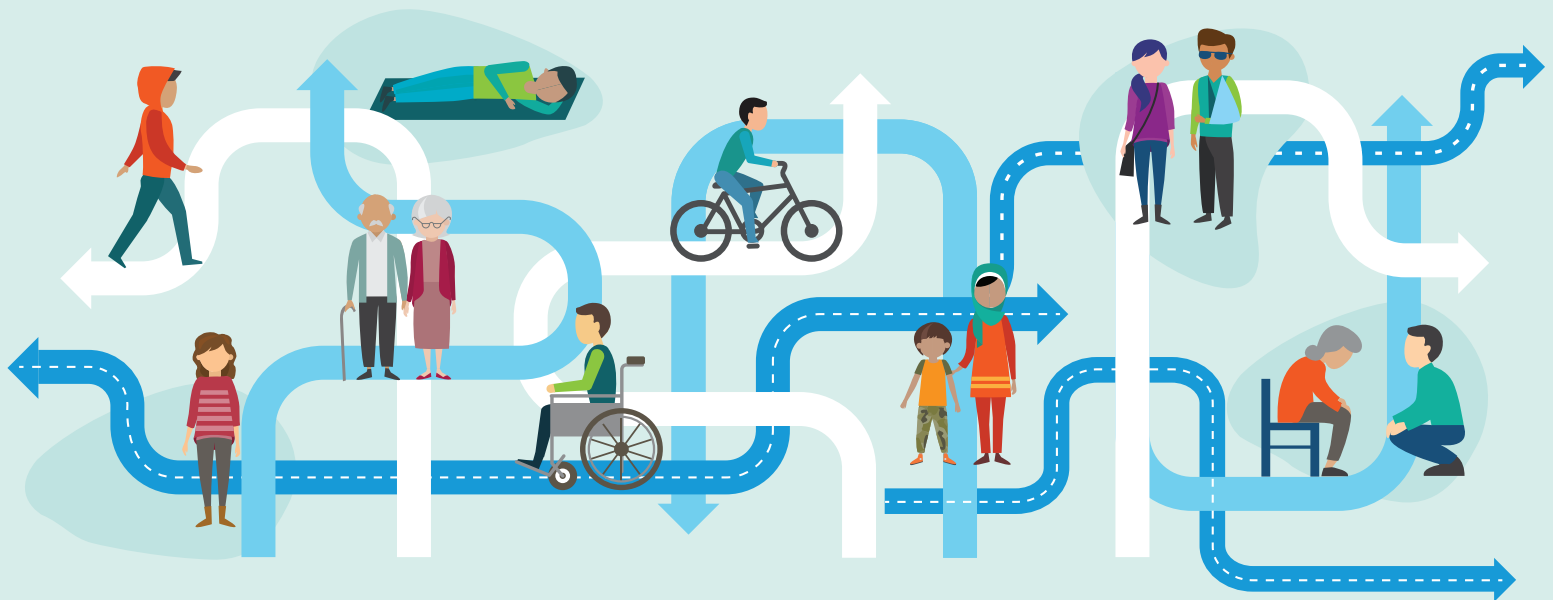
Sources:

- Constellation Consulting Group. 2018. *SROI Analysis: The Social and Economic Value of Dedicated-Site Supportive Housing in B.C.* BC Housing. www.bchousing.org/research-centre/library/tools-developing-social-housing
- Wolf, A. d. 2008. *We are Neighbours: The Impact of Supportive Housing on Community, Social, Economic and Attitude Changes.* Toronto: Wellesley Institute.
- ONPHA, *Affordable Housing as Economic Development: How Housing Can Spark Growth in Northern and Southwestern Ontario.* onpha.on.ca/Content/PolicyAndResearch/Other_Research/Housing_and_Economic_Growth.aspx?WebsiteKey=49cb1e54-80a5-4daf-85fb-a49e833ec60b



Understanding Pathways

The information below provides a brief overview of pathways to homelessness. Often it is a combination of factors.



- ➔ Lack of affordable housing
- ➔ Illness, injury, and job loss
- ➔ Gender-based violence
- ➔ Poverty and wealth distribution
- ➔ Floods, fires, and climate change
- ➔ Discrimination based on race, gender identity, sexual orientation, disability
- ➔ Impact of colonization on Indigenous people
- ➔ Youth aging out of government care
- ➔ Discharge from hospitals and corrections
- ➔ Mental Health
- ➔ Substance Use
- ➔ Barriers to Service

Sources:

- Gaetz, Stephen, Jesse Donaldson, Tim Richter and Tanya Gulliver. *The State of Homelessness In Canada 2013*. A Homeless Hub Research Paper. www.homelesshub.ca/sites/default/files/SOHC2103.pdf

Works Cited

For additional information, methodologies and limitations please see the studies cited.
BC Housing. 2019. Central Property System.

BC Housing. 2019. *Modular Supportive Housing Resident Outcomes Study: Results for First Seven Modular Supportive Housing Developments*.

www.bchousing.org/research-centre/library/transition-from-homelessness/modular-supportive-housing-resident-outcomes?sortType=sortByDate

Constellation Consulting Group. 2018. *SROI Analysis: The Social and Economic Value of Dedicated-Site Supportive Housing in B.C.* BC Housing. www.bchousing.org/research-centre/library/tools-developing-social-housing

Furman Center for Real Estate & Urban Policy. 2008. *The Impact of Supportive Housing on Surrounding Neighborhoods: Evidence from New York City*. New York University. furmancenter.org/files/FurmanCenterPolicyBriefonSupportiveHousing_LowRes.pdf

Gaetz, Stephen, Jesse Donaldson, Tim Richter and Tanya Gulliver.

The State of Homelessness In Canada 2013. A Homeless Hub Research Paper. www.homelesshub.ca/sites/default/files/SOHC2103.pdf

Insight Specialty Consulting. 2019. *Exploring Impacts of Non-Market Housing on Surrounding Property Values*. BC Housing

Malatest & Associates Ltd. 2019. *Supportive Housing Outcome Evaluation*. BC Housing (Underway).

Patterson, Michelle, Julian Somers, Karen McIntosh, Alan Shiell, Charles James Frankish. 2008. *Housing and Support for Adults with Severe Addictions and/or Mental Illness in British Columbia*. Centre For Applied Research in Mental Health and Addiction, Simon Fraser University www.sfu.ca/carmha/publications/housing-and-support-for-adults-with-severe.html

Complex Care HOUSING



Complex care housing is a new program that provides health, mental health and substance use, and other supports in a home environment.



We know that existing housing programs like supportive housing meet the needs of most people who experience homelessness or housing instability. But a growing number of people in our communities require additional health, mental health, social, and other services to help them find and maintain housing. Complex care housing has been created for people at risk of or experiencing homelessness who have complex mental health or substance use issues, and who may also be living with other challenges like acquired brain injury, developmental disability, and histories of trauma.

The intensive services and supports provided through complex care housing will help people with the greatest needs get connected to the housing, care and support they need to thrive.

Services are person-centred. Depending on an individual's needs, services will include things like:



**Team-based
primary care**



Psychiatry



**Overdose prevention
and education**



Counselling






**Addictions
medicine**



**Access to Indigenous
cultural supports**

CCH will use a range of service models to respond to community needs.

		
<p>Distributed</p> <ul style="list-style-type: none"> » Living in multiple supportive housing sites » Supported market rentals » Outreach teams will connect with people where they live 	<p>Multi-unit in supportive housing</p> <ul style="list-style-type: none"> » A dedicated number of units or floor in a larger building » Small, fully dedicated buildings 	<p>Small group homes</p> <ul style="list-style-type: none"> » For people with the highest level of need » Low staff to client ratio

Complex care housing implementation is being led by health authorities and delivered through partnerships with BC Housing, non-profit housing providers, First Nations, Indigenous organizations, and other community partners. People will be able to access complex care housing through multiple referral points, including health authority mental health and substance use services. Health authorities and partners are finalizing access and referral pathways to complex care. If you or someone you know require mental health or substance use services, please contact your local health authority's Mental Health and Substance Use program:

Vancouver Coastal Health	http://www.vch.ca/your-care/mental-health-substance-use/accessing-mental-health-substance-use-services
Fraser Health	https://www.fraserhealth.ca/health-topics-a-to-z/mental-health-and-substance-use
Interior Health	https://www.interiorhealth.ca/services/access-mental-health-and-substance-use-services
Island Health	https://www.islandhealth.ca/our-services/mental-health-substance-use-services
Northern Health	https://www.northernhealth.ca/services/mental-health-substance-use
First Nations Health Authority	https://www.fnha.ca/what-we-do/mental-wellness-and-substance-use/mental-health-and-wellness-supports
Provincial Health Services Authority	http://www.phsa.ca/our-services/programs-services/bc-mental-health-substance-use-services

Complex care housing is a program of the Ministry of Mental Health and Addictions and part of the provincial Homelessness Strategy. For more information visit: gov.bc.ca/complexcarehousing.

Lu'ma Native Housing Society



Lu'ma Native Housing Society

Lu'ma has developed, owns and manages more than 550 affordable housing units for Indigenous individuals and families. Our main goal is to create the necessary health and wellness conditions for the urban Indigenous Peoples of Vancouver.

[Apply for housing](#)

[Frequently asked questions](#)

[Information for tenants](#)



Lu'ma Housing Sites



Lu'ma Group of Companies

Lu'ma Native Housing

We provide housing for:

- Foster children and youth
- Low-income families, individuals and Elders
- Indigenous and Swahili families and seniors
- Indigenous and non-Indigenous individuals experiencing homelessness
- Aboriginal patients and their families visiting from remote communities

Lu'ma

21 housing properties

1,760 housing units

40 years of service

300 years of experience

Supports offered at Lu'ma's housing sites:

- Culturally-appropriate programs and health services
- 24/7 on-site support services
- Meals
- Healing Centres
- Welcome Centres
- Community Food Centres
- Foster and family support services
- Daycares
- Housekeeping services
- Computer access
- Shared common spaces





Indigenous Supportive Housing

New Beginnings honours and validates its tenants. We operate within an authentic engagement model of care where desired outcomes are achieved through culturally safe services and collaborative relationships. Tenants, along with their support networks and allied professionals are at the centre of our practice.

Each home has a bathroom and kitchen, and 12 homes are fully wheelchair accessible. Residents of New Beginnings receive two meals a day and have access to culturally appropriate programs. The homes offer around-the-clock services to residents, including life and employment skills training, health and wellness support services, and volunteer work opportunities.



Frequently Asked Questions

Who can apply for housing through Lu'ma?

What types of housing does Lu'ma provide?

Am I eligible for housing with subsidy?

A photograph of two men in an outdoor setting, possibly a transit station, looking at a clipboard. The man on the right, who has a beard and is wearing a dark jacket over a light blue shirt, is holding the clipboard and a pen. A small house icon is visible on the clipboard. He has a yellow circular logo on his jacket that says 'HOMELESSNESS SERVICES ASSOCIATION OF BC'. The man on the left has curly hair and is wearing a plaid shirt. The background shows a large, curved architectural structure with glass panels. The entire image has a teal overlay.

2023 HOMELESS COUNT IN GREATER VANCOUVER

FINAL DATA REPORT – OCTOBER 2023

Prepared by the Homelessness Services Association of BC
for Reaching Home's Community Entity for Greater Vancouver

ACKNOWLEDGEMENTS

The 2023 Homeless Count in Greater Vancouver took place on the ancestral, traditional and unceded Indigenous land, including the territories of the xʷməθkʷəy̓əm (Musqueam), Skwxwú7mesh Úxwumixw (Squamish), sə́ilwətaʔt (Tsleil-Waututh), Stó:lō, kʷikʷə́ləm (Kwikwetlem), s̓cəwaθən məsteyəxʷ (Tsawwassen), áíćáý (Katzie), áʷɑ:ńłəń (Kwantlen), qíqéyt (Qayqayt), and SEMYOME (Semiahmoo) Nations. They have been custodians of this land for thousands of years and we would like to pay our respect to the elders and knowledge keepers both past and present.

The count is a community-driven initiative of the Reaching Home Designated and Indigenous Community Entity, Lu'ma Native Housing Society, in partnership with Vancity Community Foundation together with the Greater Vancouver Community Advisory Board and the Indigenous Homelessness Steering Committee as well as community groups, individuals, and agencies who work with individuals experiencing homelessness across the region.

**This project is funded in part by the Government of Canada's Reaching Home:
Canada's Homelessness Strategy**

Canada 



LU'MA NATIVE BCH HOUSING SOCIETY



HSABC
Homelessness Services
Association of BC

Vancity
Community Foundation

With Support From



BCNPHA
BC Non-Profit Housing Association

THANK YOU

The Homeless Count (Point in Time Count, PiT Count) is the result of the collaborative efforts of individuals and organizations in both the time they committed to this project, and their ongoing work in the communities they serve.

We Would Like to Thank

- All those individuals experiencing homelessness who took their time to share their experience with us.
- Individuals with lived and living experience of homelessness who made an invaluable contribution to planning and data collection.
- Lauren Warbeck and the team of peer experts at PHS Community Services Society who helped with the mapping of areas in Vancouver, and data collection.
- The 679 volunteers across the region who gave their time to make sure as many people as possible had the opportunity to participate in the survey.
- TransLink for the donation of bus tickets for youth experiencing homelessness.
- The members of the Community Advisory Board and its' subcommittees for helping guide this process and inform survey changes.
- All staff and organizations who dedicated time and resources to completing surveys with their clients, and attending planning sessions.
- The implementation team for the Count, including James Caspersen, Rocky James, Patricia Masur, Stephen D'Souza, Dustin Lupick, Chloe Good, Kelly Thoreson, Sara Black, Carol Ann Flanigan, Teresa Rossiello, Jonquil Hallgate, Peter Greenwell, Mariam Larson, Polly Krier, Jon Kirby, Nicole Kiniski, and Anthony Prior.
- Staff at BCNPHA, notably Erika Sagert and Jackson Freidman for their assistance in knowledge translation from previous Counts and day-of implementation.
- Community staff and volunteers who supported their Local Coordinators in mapping street routes, planning events, and ensuring overall participation in this project was accessible to as many as possible.
- Staff at Fraser Health and Vancouver Coastal Health for helping collect data on patients with no fixed address on the night of the Count.

Introduction and How to Interpret and Use This Report

Point-in-Time Homeless Counts (PiT Counts; Homeless Counts, Counts) have taken place in Greater Vancouver every three years since 2005. These are collaborative efforts by service providers, volunteers, and researchers to enumerate and survey the population experiencing homelessness in the region. This year's Count was conducted in the evening of March 7th in shelters, transition houses, safe houses, hospitals, and police holding cells, and from 6am-midnight on March 8th.

The most important part of interpreting these results are **the trend over time**, and an **understanding of the limitations**. The trend over time is the strength of the PiT methodology. Because the same data collection process was used on March 7th and 8th as was done on Count Day in 2020 and beyond back to 2005, changes are indicators that there is most likely to be an actual change in the population experiencing homelessness in a community. This comparison has been presented in this report for some survey questions and results.

The limitations of this methodology have to do with the timeframe the Count is conducted, and the nature of the process being a voluntary survey. A more thorough discussion of limitations is made here and here, but it is important to understand that this methodology will create a result that is an absolute minimum number of people who are experiencing homelessness on the specific day of the Count, and this methodology means that those who are not currently accessing services or are easily found will most likely be excluded.

For example, people who identify as male, are in an adult age range, identify as white, and heterosexual are more likely to be included in these results than those who do not identify as one or more of these parts of identity, because they are less likely to be experiencing hidden homelessness. The reason for this is that a person experiencing homelessness must be found, either in a sheltered or unsheltered location, to be able to be counted. Those who are not known or found will not be included, and this group is known from other research to include more persons who are made more vulnerable, such as youth, seniors, Indigenous and racialized persons, those in the 2SLGBTQIA+ community, and others detailed in this report.

This report also does not include those who are not experiencing homelessness on March 8th, including those with unstable tenancies or those living in substandard housing, which generally number greater than those experiencing homelessness.

Community members who took part in this process ask that when you review these data, remember that every number represents a person who is unhoused in the region, and took the time to tell their story through the survey to hope to help improve services for all. Also remember that not everyone is included in this report, so decisions about projects or community investments should take into consideration other data sources and the lived experience of persons experiencing homelessness and the organizations who support them, particularly those representing communities made vulnerable, who will have perspectives and data that can complement this report.

How to Cite This Report

To cite this Greater Vancouver Community Entity Report:

Homelessness Services Association of BC (2023). **2023 Homeless Count in Greater Vancouver**. Prepared for the Greater Vancouver Reaching Home Community Entity. Vancouver, BC

Or:

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Website:	https://hsa-bc.ca/_Library/2023_HC/2023_Homeless_Count_for_Greater_Vancouver.pdf

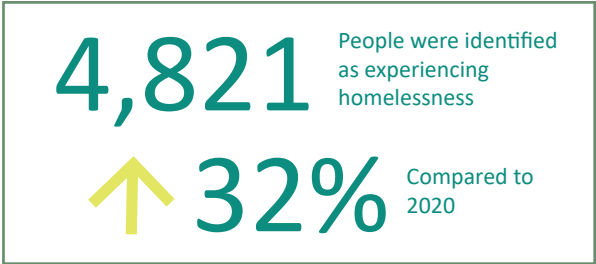
For data requests and requests for more information, email ReachingHome@vancity.com



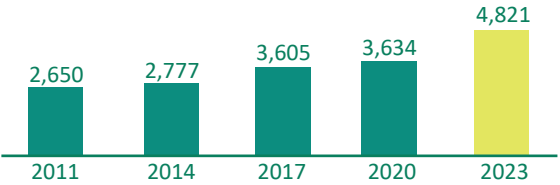
Photographs in this report provided by Oxford Films Media and BC Non-Profit Housing Association

2023 Homeless Count in Greater Vancouver - Summary Infographics

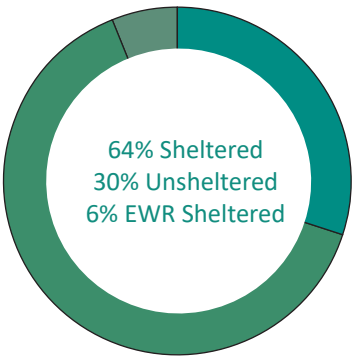
Point-in-Time (PiT) homeless counts provide a snapshot of people who are experiencing homelessness in a 24-hour period, their demographic characteristics, service use and other information. While PiT Counts are an accepted methodological tool, the numbers are understood to be the minimum number of people who are experiencing homelessness on a given day in a community. Percentages are based on numbers of respondents to each question, not the total population experiencing homelessness



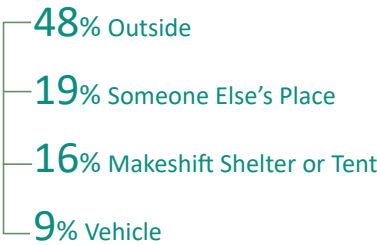
TOTAL NUMBER OF PERSONS COUNTED SINCE 2011



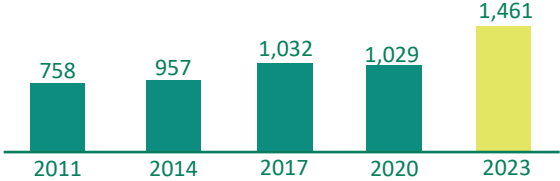
Where did individuals stay the night of the count?



Of Unsheltered Respondents*



UNSHeltered NUMBER OF PERSONS COUNTED SINCE 2011



NEW FOR 2023 - DID UNSHeltered RESPONDENTS FEEL SAFE IN THE PLACE THEY STAYED?



INDIGENOUS IDENTITY

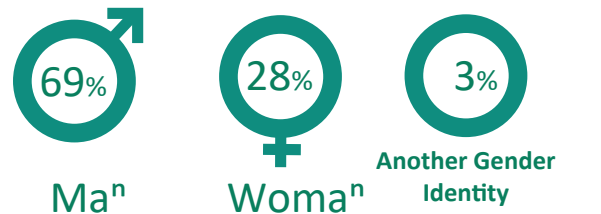


Compared with 2% of the Census population

RESIDENTIAL SCHOOL



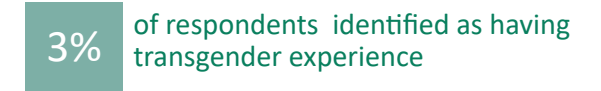
GENDER



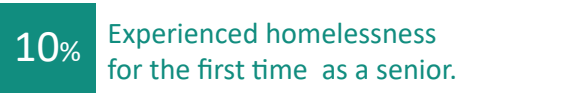
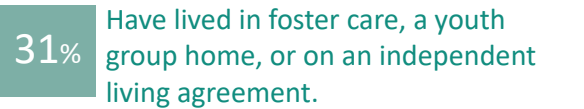
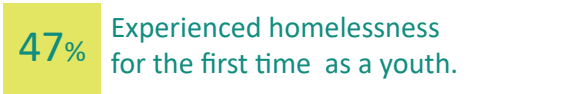
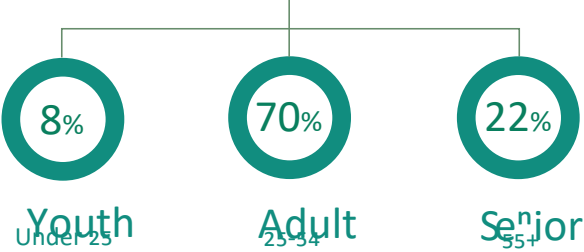
SEXUAL ORIENTATION



TRANSGENDER EXPERIENCE



AGE BREAKDOWN



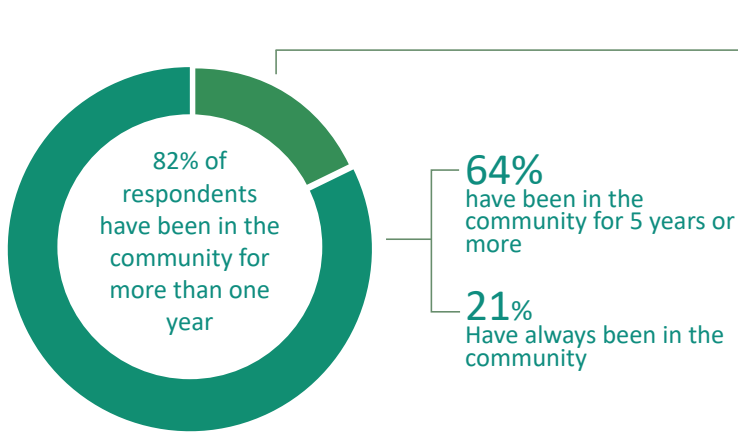
RACIAL IDENTITY*



* Top responses highlighted

LENGTH OF TIME IN COMMUNITY AND COMMUNITY CONNECTION

In these figures, “community” is defined as the Sub-Region of Greater Vancouver the respondent was in when they took the survey (e.g. Vancouver, New Westminster, Tri-Cities, etc.) For more information about the Count Sub-Regions used in this report, see page X



26% of those who had not always been in the community moved from elsewhere in Metro Vancouver

81% of respondents were in the community they currently reside in the last time they were housed

LENGTH OF TIME EXPERIENCING HOMELESSNESS

20% Under 6 months

69% 1 year or more

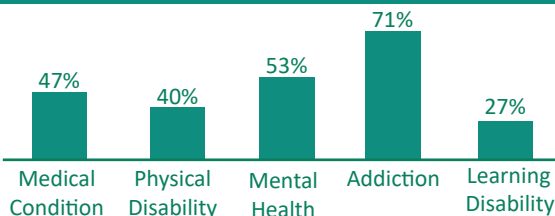
REASONS FOR HOUSING LOSS*

35% Not Enough Income

24% Substance Use Issue

16% Mental Health Issue

HEALTH CONCERNS



30% Reported an acquired brain injury

62% Reported two or more health concerns

NEW FOR 2023 - WAS YOUR HOUSING LOSS CAUSED BY THE COVID-19 PANDEMIC?

15% Yes

85% No

SERVICES ACCESSED*

56% Food Services

53% Emergency Room

46% Hospital (non-Emergency)

NEW FOR 2023 - ARE YOU ON A HOUSING WAIT LIST?

47% Yes

53% No

INCOME SOURCES

53% Income Assistance

30% Disability Benefit

8% CPP or Other Pension

93% Reported having at least one income source

9% Reported having a full or part-time job

OVERNIGHT LOCATIONS IN LAST YEAR*

79% Homeless Shelter

51% Outside

41% Someone Else's Place

NEW FOR 2023 - PREFERRED LANGUAGE*

97% English

2% French

1% Other Language

* Top responses highlighted

A woman with long brown hair, wearing a dark jacket with a yellow 'FIRE' patch on the sleeve, is holding a clipboard and a blue pen. She is looking off to the side. The background shows a window with a view of trees and a building. The image has a blue tint.

1

Key Findings

Key Findings

Below is a selection of key findings from the 2023 Homeless Count in Greater Vancouver. Clicking the heading will skip ahead to the relevant data table(s) and more detailed explanation.

Homelessness Measured in this Project Increased by 32% Compared to 2020

4,821 individuals were identified as experiencing homelessness in this year's count, compared to 3,634. **This is the largest increase measured between Counts since the regional Counts began in 2005.** In this same time frame, housing has been built and tenanted in many Sub-Regions, and the individuals in these units are not counted in this number.

Homelessness Measured in All Count Sub-Regions Increased Compared to 2020

For the first time since Counts began in 2005, all Sub-Regions saw an increase in numbers of individuals identified as experiencing homelessness from 2020. Combining this with the finding below indicates that the increase in homelessness measured in this report is predominantly by people who are now without a home in their own communities.

Most People Experiencing Homelessness Lost Their Housing in The Community They Reside In

All respondents were asked separate questions about how long they had been experiencing homelessness, and how long they had been in the community they were taking the survey in. **81% of people were in the community the last time they were housed.** This indicates that people prefer to access supports in their own community when an experience of homelessness starts, not leave and go to another community.

Economic Pressures, Unmet Mental Health Needs, and the COVID-19 Pandemic Cause Housing Loss

When respondents were asked what caused their most recent housing loss, the most common response was that they did not have enough income (35%). The two other most common reasons were a substance use issue (24%) and a mental health issue (16%). Both of these are treatable medical conditions, and this finding shows that these needs are often unmet in persons who are at risk of housing loss. This unmet health need also prevents return to housing, with 53% of respondents reporting a mental health condition, and 71% reporting an addiction. However, meeting these needs is not sufficient, as income to pay for housing costs remains the most common reason for most recent housing loss, a finding that is consistent with 2020 results.

This year, respondents were also asked if their housing loss was related to the COVID-19 pandemic, in any way. 15% of those who reported losing their housing in the past three years considered the COVID-19 pandemic a reason for their most recent housing loss.

Individuals who Identify as Indigenous Continue to be Overrepresented in Homelessness

Consistent with 2020 results, 33% of respondents identified as Indigenous, compared with 2% of the Census population. As in previous Counts, a specific Indigenous Count was carried out in parallel with this Count.

The Indigenous Count Report can be found [here](#).

64% of Indigenous Respondents had Lived or Generational Experience of Residential School

New for this Count, in partnership with the Indigenous Homelessness Steering Committee and the Indian Residential School Survivor's Society, respondents were asked if they, a parent, or grandparent had attended a Residential School. For more information about Indigenous homelessness, see [here](#). For more information about indigenous homelessness in this Count, see [here](#).

2SLGBTQIA+ Overrepresentation Continues

Members of the 2SLGBTQIA+ community continue to be overrepresented in homelessness in the region. 282, or 12% of all respondents, identified as part of this community, an increase from 220 and 11% in the 2020 Count.

Racial Overrepresentation Continues

When asked a specific question about their racial identity 154 respondents identified as Black (6%), 84 identified as Latin American (3%), 57 identified as East Asian (2%), 52 identified as South-East Asian (2%), 76 identified as South Asian (3%), 50 identified as West Asian (2%), and 1 identified as Arab (less than 1%). Compared to 2020, when this question was included for the first time, 98 people identified as Black (6%), 52 identified as Latin American (3%) and 19 identified as Arab (1%).

Numbers of Youth and Seniors Increased

In this year's Count, 8% of respondents were youth (under the age of 25), and 22% were seniors (55 years or older). While this is a slight decrease from 2020, when 9% were youth and 24% were seniors, because the overall number of persons counted increased, this represents an increase for both groups, with 196 youth, and 568 seniors identified in this Count. It is important to note that these age groups are more likely to be experiencing hidden homelessness, and less likely to be found on Count Day.

Number of Reported Health Needs Increased

The overall proportions of individuals who identified as having each of a medical condition, physical disability, mental health issue, addiction, learning disability or cognitive impairment, or an acquired brain injury remained relatively consistent from 2020, however the overall number for people with each increased. This represents a continued need for health service integration with homelessness services to help meet these needs.

Men Continue to Be More Likely to Be Included

69% of respondents in this year's Count identified as male. It is important when interpreting this to note the limitations presented in the introduction and limitations sections. There are more shelter beds available to men, and men are more likely to be found living unsheltered, meaning this methodology overrepresents men as a proportion of the population experiencing homelessness.

Locations in the Last Year

In previous counts, respondents were asked if they had stayed in a shelter in the past year. In the 2023 Count, this question was changed to ask if respondents had stayed in any of a list of locations in the past year, that included various shelter, housing, treatment, and unsheltered options to better highlight the role of these locations in experiences of homelessness. 79% of respondents identified as having stayed in a shelter in the past year, 41% reported staying at someone else's place, and 20% reported staying overnight in a vehicle. Other responses are reported in this question's section further in the report.

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2



About

About the 2023 Homeless Count in Greater Vancouver

This year's Count was conducted in the evening of March 7th in shelters, transition houses, safe houses, hospitals, and police holding cells, and from 6am-midnight on March 8th. This collaborative effort began planning stages in August, 2022, and was conducted in a method consistent with previous counts that have been held in Greater Vancouver every three years since 2005. The previous count in 2020 was held approximately a week before the COVID-19 pandemic was declared a public health emergency in BC, so this report represents a timely update in the homelessness situation through the pandemic period.

In total, the 2023 Homeless Count involved the participation of 679 community volunteers, approximately 200 shelter staff and outreach workers, and for the first time, almost 100 persons with lived and living experience of homelessness. This team was led by 11 Local Coordinators, and a dedicated Volunteer Coordinator in the City of Vancouver, supported and directed by the HSABC team.

Using a Point-in-Time (PiT) Count method, the 2023 Count provides a 24-hour snapshot of the **minimum** number of people experiencing homelessness in Metro Vancouver. The numbers presented in this report will always be an undercount of the experience of homelessness in the region. The purpose of the count is to estimate the number of people experiencing homelessness, obtain a demographic profile of those individuals, and identify trends that can be comparable to previous counts that used similar methodology.

The definition of homelessness used in this report is someone who does not have a place to pay rent. Rent is considered a regular monthly payment of money to a landlord, who is a person or a corporation, for the ability to stay in a place of your own (or shared with roommates) for 30 days or more.

To be included in the results, an individual must have either completed a survey on March 8th and indicated that they do not have a place where they pay rent, or have stayed in a homeless shelter, transition house, or health or correctional facility the night of March 7th and not have a place to pay rent to return to. Based on where they stayed, respondents are considered to be either “sheltered” or “unsheltered.”

Individuals were counted if they:

- **Stayed overnight on March 7th** in homeless shelters, including transition houses for women fleeing violence and youth safe houses, people with no fixed address (NFA) staying temporarily in hospitals, jails or detox facilities (defined as “sheltered”); or,
- **Were found by interviewers on March 8th**, and stayed in a place where they did not pay rent the previous night. This includes those staying outside in alleys, doorways, parkades, parks, vehicles, temporarily at someone else's place (couch surfing), or will be evicted before the end of the month.

Those who stayed in shelters and transition houses had the option to complete a demographic survey if they wanted, but they were added to the enumerated as experiencing homelessness simply by staying there. Those who were considered unsheltered completed screening questions to ensure that individuals were not double counted.

Some important considerations about the survey:

- Participation is anonymous, confidential, and voluntary. This is one reason the PiT Count will be an undercount – if an individual does not want to participate, and were unsheltered, they are not counted. However, volunteers were trained to encourage respondents to complete the screening questions (the first four questions) to be counted.
- Participation relies on an individual being found; either staying in a transition house or shelter or found on March 8th by an interviewer. If they are not found or did not attend a community event to complete the survey, these individuals would not be counted. Youth, seniors, Indigenous and racialized persons, those in the 2SLGBTQIA+ community, and those who do not access homelessness services are populations understood to be underrepresented in the Count.

Similarity to Previous PiT Counts is Important

Similar to previous Counts, this project was coordinated in parallel with a designated Indigenous Count, coordinated by InFocus Consulting on behalf of the Indigenous Homelessness Steering Committee. Resources including mapping routes, training sessions, and printing and material preparation, were shared between both Counts. Both projects used the same survey, which was developed in collaboration with a sub-committee of the Community Advisory Board.

The Count was coordinated at a regional level, and 11 Local Coordinators were responsible for implementing the day of the Count in each of 11 Sub-Regions. These Sub-Regions are based on areas that have been grouped together previously, who share a Community Homeless Table. These Sub-Regions are:

- The North Shore (incl. District of North Vancouver, City of North Vancouver, and District of West Vancouver)
- The City of Vancouver
- Richmond
- Delta
- Burnaby
- Surrey
- New Westminster
- Langley (incl. City of Langley and Township of Langley)
- Tri-Cities (incl. Port Coquitlam, Port Moody, and Coquitlam)
- Ridge Meadows (Maple Ridge and Pitt Meadows)
- White Rock



Figure 1 - Geography of the Count Area and Sub-Regions

One of the strongest values of the PiT Count methodology is its comparability over time, and although the result is always an undercount (see “Limitations”), the trend over time in the overall total number and the demographic questions provides valuable information for government and local organizations in their advocacy and grant writing processes.

That said, each Count efforts are made to better include people who are left out of the process previously, because of the potential for this advocacy work. As a result of this work, three new strategies were implemented as part of the 2023 Count.

What is new in the 2023 PiT Count?

The School and Youth strategy, based on work by BCNPHA and their teams in the 2020 Homeless Count in Metro Vancouver and the 2018 Youth Homeless Count in Metro Vancouver, was formalized and broadened to include dozens of new youth-serving agencies and schools who serve youth over the age of 13. Dedicated youth magnet events were held in Surrey, Ridge Meadows, Tri Cities, Langley, and Vancouver. The support of the TRUUST network helped include new organizations who would survey their own youth clients in the City of Vancouver.

A Marginalized Gender Strategy included engagement with agencies serving this population throughout the region in planning and implementation stages of the Count. In the planning stage, changes were made to the survey, including:

- Addition of “A client’s place” for persons who engaged in sex work to identify they were staying with a client the night of the count. These individuals were included as “unsheltered”.
- Addition of “Sex work” as an option as an income source.
- Addition of a question to the unsheltered survey that asks whether the person felt safe in the location they stayed the night of the count.

In the implementation phase, magnet events were held specifically to encourage women to complete the survey in Vancouver and Surrey. The Count Date coincided with International Women’s Day, which reduced the capacity for some organizations to support their own staff, but the HSABC team helped mitigate this by supporting with their own staff and volunteers.

A Vehicle, Peer, and Encampment Strategy involved survey administration by project team staff at a dedicated event in Crab Park, outreach workers from The City of Vancouver’s Carnegie Outreach Team for the Hastings Encampment, and dedicated outreach and peer teams who received additional training to approach vehicles and encampments in Vancouver, the North Shore, Richmond, Burnaby, New Westminster, the Tri Cities, Ridge Meadows, Delta, Surrey, and Langley.

This additional training involved the use of a revised script that avoided the word “homeless” when approaching vehicles, and safety considerations specific to approaching vehicles and encampments. Only individuals who normally work with persons experiencing homelessness in vehicles and encampments were assigned to these routes.

As part of this strategy over **100 peers with lived and living experience of homelessness** were engaged in each community in conducting the survey and supporting events across the region. Separate training and a mapping session were provided in Vancouver in partnership with the PHS, and peers were assigned to conduct surveys at a handful of their locations individuals would access during the day of the count. In all other Sub-Regions, peers were supported through the main volunteer training. Honoraria were provided for time at training and at the day of the count.

The **icebreakers** are an important part of the Count. These are small gifts provided to interviewers to give to individuals experiencing homelessness to start a conversation. These are not incentives for doing the survey. As in 2020, tobacco ties were prepared by the Indigenous Homelessness Steering Committee and their member organizations and provided to all interviewers. New for 2023, in order to be able to provide a more substantial and meaningful food option than were used before, white chocolate dipped Oreo cookies were purchased from [Hype Chocolate](#), an Indigenous owned, independent vendor.

All Sub-Regions held magnet events with food available to anyone, regardless of whether they completed a survey. Interviewers were also provided contact information for an outreach worker or system navigator in each community to help direct respondents to services if needed; only one call was made across the region. This call resulted in a successful referral to services.

Overall, the project team considers the implementation of these strategies a success and recommends their integration in future PiT Counts.

Survey Changes

There were other changes to the survey based on feedback from either Community Advisory Board sub-committee members, to align with the Provincial Homelessness Count, or Infrastructure Canada's Reaching Home program. These changes were:

- “A client’s place” was added for persons who engaged in sex work to identify they were staying with a client the night of the count. These individuals were included as “unsheltered”.
- Adding the question “Do you prefer to access services in English, French or another language?” Interviewers were trained to emphasize the word prefer in this question; someone who can access services in English may prefer Spanish, and the response in that case would be recorded as “Spanish.”
- Replacing the question “Have you stayed in a homeless shelter in the last 12 months?” with “Have you spent at least one night in any of the following locations in the past year?” This was a check all that apply question, and included options for shelter, transitional housing, an encampment, and others.
- Adding “Experienced abuse by child/dependent” to the list of reasons housing might be lost.
- Added two new options for income sources: “Sex Work” and “Honoraria” (ad-hoc payment either for casual employment with homelessness service programs or as recognition of volunteer work).
- Adding a question about lived or generational experience of Residential School and adding a question about safety at the place the respondent stayed the night of the count for those who took the daytime survey on March 8th; both of which are detailed further below.

Residential School Question

A new question “Did you, your parents, or grandparents ever attend residential school?” in partnership with the Indigenous Homelessness Steering Committee and the Indian Residential School Survivor’s Society. Interviewers were trained to prompt with “can I ask you a question about residential school?” before asking the question. Additionally, the Indian Residential School Survivor’s Society, and local organizations, were available to support interviewers and respondents who might want to talk more about this experience and what emotional response might come up. There were no reported cases where this support was needed.

While this question was asked to everyone, due to reports from interviewers about confusion with this question in some respondents who did not identify as Indigenous, notably confusion of Residential Schools operated by Indian Affairs Canada, with boarding schools common in some communities. Therefore, only individuals who identified as Indigenous are included in the analysis. The recommendation for future counts is to explicitly use the term “Indian Residential School”.

Safety Question

A new pilot question “Did you feel safe there?” was asked on the daytime survey used on March 8th, immediately following the question of “Where did you stay last night?” This question was omitted from the survey used in shelters, out of concern of a perceived power imbalance between the client and the interviewer. This question was included out of interest in trying to include those who choose to not stay in shelter, and instead choose to stay in unsafe temporary or transactional relationships.

Interviewers were instructed that this question is optional and will not affect the respondent’s screening. Training also clarified that “safety” is an inherently subjective assessment, and can include things like neighborhood safety, physical safety, safety of belongings, emotional safety, and others.

3

**Number of Individuals
Experiencing
Homelessness**



Number of Individuals Experiencing Homelessness

It is important to highlight when discussing the total number of persons identified as experiencing homelessness using the PiT Methodology is that it is always an undercount, and those who access services and shelters are more likely to be included than those who do not.

However, because the methodology is relatively consistent every time a PiT Count takes place, the trend over time is a useful piece of information **when framed with local context**. For example, since 2020, more shelter spaces have been opened in response to the COVID-19 pandemic, many of which remained open on March 8th, 2023, in many municipalities. This means that more people who would otherwise be experiencing unsheltered homelessness and are not always found on the day of the PiT Count, are instead in shelter, where they are enumerated automatically.

On the other hand, there are municipalities that had housing open since 2020, and have since housed individuals who would otherwise be experiencing homelessness. This should also be considered along with the trend over time.

Total Number of Individuals Experiencing Homelessness

This table presents the results of the total number of individuals identified as experiencing homelessness in each Sub-Region.

Note the separation of EWR from Shelters; EWR shelters are temporary shelters that are only open on the coldest nights of the year, from around November to April. If the weather had been warmer the night of the Count and these shelters closed, those in the EWR category would be unsheltered.

Similarly, the number of individuals categorized as having **No Fixed Address (NFA)** are staying in health facilities or police holding cells, with the vast majority – 266 across the region – being in health facilities with no place to return to when they are discharged, and that discharge is expected in around 30 days or less from March 8th.

Total sheltered and unsheltered individuals experiencing homelessness by sub-region (2023)

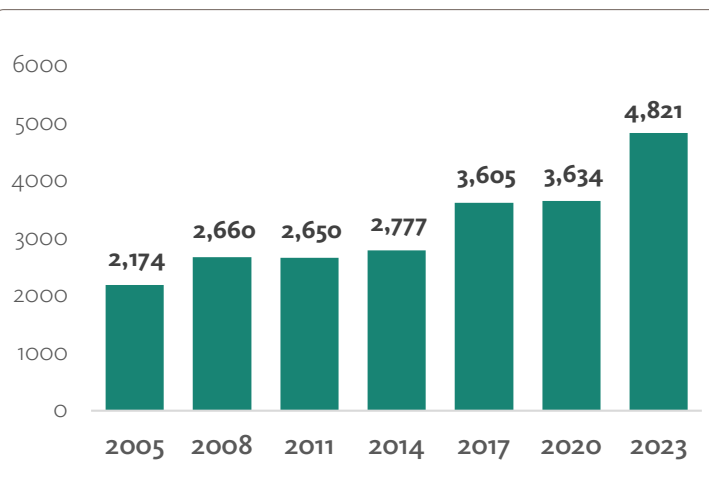
Sub-region	Unsheltered Total	Sheltered				Total
		EWR	Shelters	No Fixed Address	Total	
Burnaby	77	14	92	26	132	209
Delta	27	6	10	1	17	44
Langley	133	15	76	11	102	235
New Westminster	57	0	110	36	146	203
North Shore	51	11	104	2	117	168
Richmond	80	32	46	4	82	162
Ridge Meadows	49	7	62	17	86	135
Surrey	301	109	589	61	759	1,060
Tri-Cities	62	10	80	8	98	160
Vancouver	605	96	1,599	120	1,815	2,420
White Rock	11	0	0	6	6	17
UEL*	8	0	0	0	8	8
Total	1,461	300	2,768	292	3,360	4,821

*UBC Campus Security, in partnership with on-campus groups, conducted an independent count on March 8th on the University Endowment Lands using the same survey as the rest of the 2023 Count, but was not funded by Reaching Home.

Changes in the Number of Individuals Experiencing Homelessness by Sub-Region

Most communities saw an all-time high number of people identified as experiencing homelessness in this Count. This is the absolute minimum number of persons experiencing homelessness in each Sub-Region on March 8th. It excludes anyone who did not complete a survey or stay in a shelter, transition house, safe house, or health or police facility and did not have a place to return to when released (individuals categorized as NFA).

Please Note: In White Rock, a shelter program was closed in the weeks before the Count and opened in South Surrey. These 12 individuals were counted in the Surrey-Sub Region, but most regularly spent the days in White Rock.



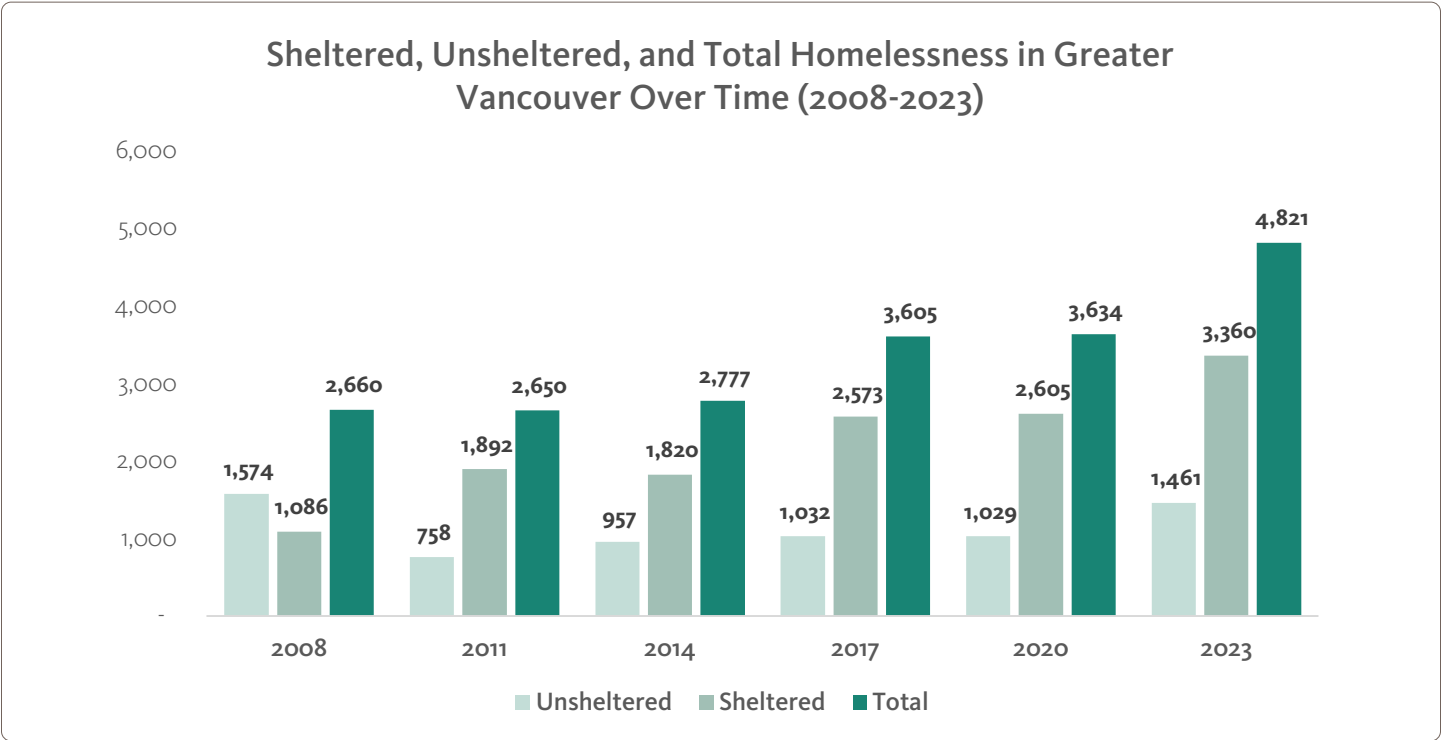
Changes in the number of individuals experiencing homelessness by sub-region (2005-2023)

Sub-region	2005	2008	2011	2014	2017	2020	2023	2020-2023 Change	
								#	%
Burnaby	42	86	78	58	69	124	209	85	69%
Delta	n/a	n/a	n/a	n/a	19	17	44	27	159%
White Rock	n/a	n/a	n/a	n/a	27	16	17	1	6%
Langley	57	86	103	92	206	209	235	26	12%
New Westminster	97	124	132	106	133	123	203	80	65%
North Shore	90	127	122	119	100	121	168	47	39%
Richmond	35	56	49	38	70	85	162	77	91%
Ridge Meadows	44	90	110	84	124	114	135	21	17%
Surrey	392	402	400	403	602	644	1060	416	65%
Tri-Cities	40	94	48	55	117	86	160	74	86%
Vancouver	1,364	1,576	1,581	1,803	2,138	2,095	2,420	325	16%
UEL	-	-	-	-	-	-	8	8	-
Unspecified	1	2	13	0	0	0	0	-	-
Total	2,174	2,660	2,650	2,777	3,605	3,634	4,821	1,187	32%

Changes in Sheltered and Unsheltered Homelessness

Please Note (as on the previous page): In White Rock, a shelter program was closed in the weeks before the Count and opened in South Surrey. These 12 individuals were counted in the Surrey-Sub Region, but most regularly spent the days in White Rock.

Unsheltered and sheltered homelessness - trends (2008-2023)												
Type of Experience of Homelessness	2008		2011		2014		2017		2020		2023	
	#	%	#	%	#	%	#	%	#	%	#	%
Unsheltered	1,574	59%	758	29%	957	34%	1,032	29%	1,029	28%	1,461	30%
Sheltered	1,086	41%	1,892	71%	1,820	66%	2,317	64%	2,364	65%	3,060	63%
EWR - Sheltered							256	7%	241	7%	300	6%
Total	2,660	100%	2,650	100%	2,777	100%	3,605	100%	3,634	100%	4,821	100%



Unsheltered Homelessness

This table includes those who were unsheltered on the night of the Count (sleeping outside, in makeshift shelters or tents, in vacant buildings, in vehicles, or staying informally with others).

Changes in unsheltered homelessness by sub-region (2020-2023)			
Sub-region	2020 Unsheltered Total	2023 Unsheltered Total	Absolute Change
Burnaby	19	77	+58
Delta	9	27	+18
Langley	108	133	+25
New Westminster	41	57	+16
North Shore	46	51	+5
Richmond	25	80	+55
Ridge Meadows	35	49	+14
Surrey	173	301	+128
Tri-Cities	24	62	+38
Vancouver	547	605	+58
White Rock	2	11	+9
UEL	-	8	+8
Total	1,029	1,461	+432

Sheltered Homelessness

This table presents those who were sheltered on the night of the Count in either sheltering facilities (shelters, transition houses, safe houses), or who were in hospital or police holding cells without a place to return to when they left and would most likely leave in less than 30 days (No fixed address; NFA). Note that some of this change will correspond with new shelter spaces made available since 2020.

Note that individual shelter programs vary in terms of hours of operation, layout, services available, and other factors. Individuals who are sheltered at this point in time may be unsheltered at other points in the year, or other times of day. In particular, those who are in EWR shelters would have been unsheltered if the weather was warmer on Count Day.

Changes in sheltered homelessness by sub-region (2020-2023)						
Sub-region	2020 Sheltered			2023 Sheltered		
	Shelters & NFAs	EWR	Total	Shelters & NFAs	EWR	Total
Burnaby	97	8	105	118	14	132
Delta	5	3	8	11	6	17
Langley	101	n/a	101	87	15	102
New Westminster	71	11	82	146		146
North Shore	57	18	75	106	11	117
Richmond	60	0	60	50	32	82
Ridge Meadows	67	12	79	79	7	86
Surrey	403	68	471	650	109	759
Tri-Cities	58	4	62	88	10	98
Vancouver	1,443	105	1,548	1,179	96	1,815
White Rock	2	12	14	6	n/a	6
Total	2,364	241	2,605	3,060	300	3,360

A photograph of two men in an outdoor setting. The man on the left is wearing a dark jacket, a blue baseball cap worn backward, and glasses. He is looking down at a small piece of food in his hand. The man on the right is wearing a light green hoodie, a grey baseball cap, and a yellow circular badge with a black silhouette of a person. He is holding a clipboard and a pen, appearing to be taking notes. The background is slightly blurred, showing what looks like a building with windows.

4

Profile of Individuals Experiencing Homelessness

Profile of Individuals Experiencing Homelessness

This section presents the findings of the demographic questions on this survey. It is important to note that each of these questions are voluntary, so respondents can choose to skip any question they want or end the survey at any time. The **percentages presented are of those who answered each question, not of the total number of persons identified as experiencing homelessness**. It is also important to consider that like the total number of persons experiencing homelessness, many of the demographics will be under representations as well. See Limitations for more information.

Indigenous Identity

Respondents were asked “Do you identify as Indigenous, including First Nations (with or without status, Treaty/Non-Treaty), Métis, or Inuit, or do you have other North American Indigenous ancestry?”

Responses were categorized as “yes” or “no,” with additional option to specify First Nations, Métis, Inuit, or other North American Indigenous ancestry.

- In total, 821 respondents identified as Indigenous.
- While the overall percentage of respondents identifying as Indigenous remains the same as in 2020 (33%), note that because the total number of respondents also increased, an additional 110 persons were counted identifying as Indigenous in 2023 than 2020.
- It is important to note that Indigenous persons continue to be overrepresented in populations experiencing homelessness.

Indigenous Identity						
	Sheltered		Unsheltered		Total	
	#	%	#	%	#	%
Indigenous	341	26%	480	41%	821	33%
Not Indigenous	983	74%	693	59%	1,676	67%
Total Respondents	1,324	100%	1,173	100%	2,497	100%
Don't Know/ No Answer	1,917		273		2,324	
Total	3,241		1,446		4,821	

Changes in homelessness by Indigenous identity (2008-2023)						
Indigenous Identity	2008	2011	2014	2017	2020	2023
Indigenous	688	394	582	746	711	821
Percentage of Total Respondents	32%	27%	31%	34%	33%	33%

Residential School Experience

New for this year's Count, and in consultation with the Indigenous Homelessness Steering Committee, respondents were asked "Have you, a parent, or grandparent ever attended Residential School?" The Indigenous Homelessness Steering Committee member organizations and the Indian Residential School Survivor's Society made sure supports were available for interviewers and respondents if needed.

The impact of Residential Schools is profound, and continues to be felt today. This excerpt from The [National Centre for Truth & Reconciliation's](#) Residential School History teaching resource provides this background:

"For a period of more than 150 years, First Nations, Inuit and Métis Nation children were taken from their families and communities to attend schools which were often located far from their homes. More than 150,000 children attended Indian Residential Schools. Many never returned.

The Truth and Reconciliation Commission of Canada (TRC) concluded that residential schools were "a systematic, government-sponsored attempt to destroy Aboriginal cultures and languages and to assimilate Aboriginal peoples so that they no longer existed as distinct peoples." The TRC characterized this intent as "cultural genocide."

The schools hurt the children. The schools also hurt their families and their communities. Children were deprived of healthy examples of love and respect. The distinct cultures, traditions, languages, and knowledge systems of First Nations, Inuit and Métis peoples were eroded by forced assimilation.

The damages inflicted by Residential Schools continue to this day."

Note in the table on the following page the numbers of respondents who identified a parent or grandparent having attended residential school, which highlights the generational experience of Residential School. The Truth and Reconciliation Commission's [What We Have Learned Report](#) discusses the generational impact of Residential Schools:

"Many students were permanently damaged by residential schools. Separated from their parents, they grew up knowing neither respect nor affection. A school system that mocked and suppressed their families' cultures and traditions destroyed their sense of self-worth and attachment to their own families. Poorly trained teachers working with an irrelevant curriculum left them feeling branded as failures. Children who had been bullied and physically or sexually abused carried a burden of shame and anger for the rest of their lives. Overwhelmed by this legacy, many succumbed to despair and depression. Countless lives were lost to alcohol and drugs. Families were destroyed, and generations of children have been lost to child welfare.

The Survivors are not the only ones whose lives have been disrupted and scarred by the residential schools. The legacy has also profoundly affected the Survivors' partners, their children, their grandchildren, their extended families, and their communities. Children who were abused in the schools sometimes went on to abuse others. Some students developed addictions as a means of coping. Students who were treated and punished as prisoners in the schools sometimes graduated to real prisons."

The table below presents the results of this question for all respondents who identified as Indigenous who answered it.

Some notes:

- The proportion of those who has an experience with Residential School, either lived or generational (those who identified a parent or grandparent having attended Residential School) was about the same for those who were sheltered and those who were unsheltered.
- This table only represents those who answered the question; those who skipped this question or ended the survey before this point are not included, so these can be considered to be underestimates.

Experience with Residential School (Indigenous respondents)						
	Sheltered		Unsheltered Total		Total	
	#	%	#	%	#	%
Yes	169	63%	245	64%	414	64%
Yes - self	15	6%	22	6%	37	6%
Yes - parent	84	31%	128	34%	212	33%
Yes - grandparent	96	36%	128	34%	224	34%
No	101	37%	135	36%	236	36%
Total Respondents	270	100%	380	100%	650	100%
Don't Know/ No Answer	3,090		1,081		4,171	
Total	3,360		1,461		4,821	

Count Project Team member and Indigenous scholar Rocky James, himself a generational survivor of Residential School, shares his reflection on these results:

“I almost don’t even know how to respond except the legacy of the Indian Residential School system continues to have a profound impact on Indigenous health disparities. It really does need to be addressed through an upstream approach. It moves the narrative on disparities from abstract to ongoing living experiences with systemic oppression, injustice, and a failure to reconcile with Indigenous people on equitable access to housing. If we are to see housing as a human right, than this data represents the ongoing violation of Indigenous human rights to access safe, affordable, and culturally appropriate housing.”

For more information about Residential Schools, child welfare systems, and Indigenous Homelessness, see this report from the Surrey Indigenous Leadership Committee [here](#).

Racial Identity

After responding to the question of “Do you identify as Indigenous?” respondents were asked “In addition to your response, what racial groups do you identify with (e.g. Black, South Asian, White, etc.)?” An option was included for the respondent to identify as Indigenous only. Categories were created for comparability to categories used by the Census.

Interviewers were trained to follow up with respondents who identified as “Canadian”, or with another cultural identity, to see if they wanted to choose an option from the list. “Not Listed” includes mostly respondents who chose to write in a cultural identity. This was a check all that apply question; many of those who responded as such did include another response.

For more information about racial identity and homelessness in Canada, see this topic on the Homeless Hub [here](#).

Racial Identity						
	Sheltered		Unsheltered		Total	
	#	%	#	%	#	%
Arab	31	2%	5	0%	36	1%
Asian - East	36	3%	21	2%	57	2%
Asian - South East	33	3%	19	2%	52	2%
Asian - South	60	5%	16	1%	76	3%
Asian - West	41	3%	9	1%	50	2%
Black	111	9%	43	4%	154	6%
<i>Black - Caribbean and Latin America</i>	29	2%	12	1%	41	2%
<i>Black - African</i>	57	4%	19	2%	76	3%
<i>Black - Canadian/American</i>	37	3%	17	1%	54	2%
Latin American	52	4%	32	3%	84	3%
White	787	60%	766	67%	1,553	63%
Not Listed	52	4%	48	4%	100	4%
Total Respondents	1,305		1,148		2,453	
	1,936		298		2,368	
Total	3,241		1,446		4,821	

Age

Respondents were asked “How old are you, or what year were you born?” with only one response being required. Note that youth and seniors are more likely to experience hidden homelessness, and thus not be included in the Count, than adults. Age-related health problems are an important consideration in homelessness supports.

To learn more about youth homelessness in Canada, click [here](#). For this topic on the Homeless Hub, and to learn more about homelessness in seniors in Canada, click [here](#).

Age (groups)						
	Sheltered		Unsheltered		Total	
	#	%	#	%	#	%
Youth (Under 25 Years)	96	7%	100	8%	196	8%
Adult (25-54 Years)	899	66%	921	75%	1,820	70%
Senior (55+)	366	27%	202	17%	568	22%
Total Respondents	1,361	100%	1,223	100%	2,584	100%
Don't Know/ No Answer	1,880		223		2,237	
Total	3,241		1,446		4,821	

Age						
	Sheltered		Unsheltered		Total	
	#	%	#	%	#	%
Under 19 Years	15	1%	34	3%	49	2%
19-25 Years	81	6%	66	5%	147	6%
25-34 Years	284	21%	296	24%	580	22%
35-44 Years	300	22%	356	29%	656	25%
45-54 Years	315	23%	269	22%	584	23%
55-64 Years	260	19%	155	13%	415	16%
65-74 Years	90	7%	41	3%	131	5%
75+ Years	16	1%	6	0%	22	1%
Total Respondents	1,361	100%	1,223	100%	2,584	100%
Don't Know/ No Answer	1,880		223		2,237	
Total	3,241		1,446		4,821	

Changes in homelessness by age groups (2008-2023)

Age groups	2008 Total		2011 Total		2014 Total		2017 Total		2020 Total		2023 Total	
	#	%	#	%	#	%	#	%	#	%	#	%
Youth (under 25 years)	364	15%	397	24%	410	20%	386	16%	193	9%	196	8%
Adults (25-54 years)	1,823	76%	1,000	60%	1,257	62%	1,509	63%	1,463	67%	1,820	70%
Seniors (55 years or over)	212	9%	268	16%	371	18%	518	22%	513	24%	568	22%
<i>Total respondents</i>	2,399	100%	1,665	100%	2,038	100%	2,408	100%	2,169	100%	2,584	100%
Don't know/No answer	261		985		739		1,197		1,465		2,237	
Total	2,660		2,650		2,777		3,605		3,634		4,821	

Changes in homelessness by age (2011-2023)

Age Groups	2011		2014		2017		2020		2023	
	#	%	#	%	#	%	#	%	#	%
Under 19 years	102	6%	191	9%	199	8%	54	2%	49	2%
19-24 years	221	13%	219	11%	179	8%	139	6%	147	6%
Youth - unknown age	74	4%	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
25-34 years	275	17%	332	16%	419	18%	422	19%	580	22%
35-44 years	328	20%	413	20%	504	21%	508	23%	656	25%
45-54 years	397	24%	512	25%	524	22%	533	25%	584	23%
55-64 years	210	13%	281	14%	380	16%	380	18%	415	16%
65+ years	58	3%	90	4%	176	7%	133	6%	n/a	n/a
65-74 years	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	131	5%
75+ years	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	22	1%
<i>Total respondents</i>	1,665	100%	2,038	100%	2,381	100%	2,169	100%	2,584	100%
Don't Know/No Answer	985		739		1,224		1,465		2,237	
Total	2,650		2,777		3,605		3,634		4,821	

Number of Seniors Experiencing Homelessness 2008-2023



Gender Identity and Transgender Experience

Respondents were asked “What gender do you identify with?” Response options were: agender, man, non-binary, two-spirit, woman, and an option for not listed for the respondent to specify. Gender identity and trans experience are important when discussing homelessness for many reasons, including how to improve safety in spaces, and understanding needs for supports that are welcoming and effective for everyone.

- 70% of respondents identified as men. It is important to note that men are most likely to be observed and “found” to be experiencing homelessness, and as such tend to be overrepresented in the PiT Methodology.
- 26% of respondents identified as women.
- The proportion of those who identifies as women and men remained relatively consistent with the previous PiT Count (73% and 25% respectively).
- Note that the number of individuals who identified as non-binary, agender, or two spirit was higher in the unsheltered population than those in shelters.

Gender						
	Sheltered		Unsheltered		Total	
	#	%	#	%	#	%
Man	931	69%	863	70%	1,794	69%
Woman	396	29%	322	26%	718	28%
Agender	1	0%	8	1%	9	0%
Non-binary	10	1%	21	2%	31	1%
Two-spirit	12	1%	13	1%	25	1%
Not listed	7	1%	7	1%	14	1%
<i>Total Respondents</i>	1,357	100%	1,234	100%	2,591	100%
Don't know / no answer	1884		212		2,230	
Total	3,241		1,446		4,821	

This table presents the change in homelessness by gender over time since 2011. Note that in 2011 and 2014, “transgender” was a response option. Since then, there has been a separate question that asks if an individual identifies as having trans experience, either in the past or present, which is reported below.

Changes in homelessness by gender identity (2011-2023)										
Gender Identity	2011		2014		2017		2020		2023	
	#	%	#	%	#	%	#	%	#	%
Man	1,452	69%	1,419	73%	1,688	72%	1,570	73%	1,794	69%
Woman	652	31%	527	27%	628	27%	546	25%	718	28%
Non-binary	n/a	n/a	n/a	n/a	25	1%	42	2%	80	3%
Transgender	8	0%	9	0%	n/a	n/a	n/a	n/a	n/a	n/a
<i>Total respondents</i>	2,112	100%	1,955	100%	2,341	100%	2,158	100%	2,591	100%
Don't Know/No Answer	538		822		1,264		1,476		2,230	
Total	2,650		2,777		3,605		3,634		4,821	

As a separate question, respondents were asked whether they identify as someone with trans experience (meaning their gender identity is different than what they were assigned at birth).

	Sheltered		Unsheltered		Total	
	#	%	#	%	#	%
Trans Experience	37	3%	40	3%	77	3%
No Trans Experience	1,282	97%	1,119	97%	2,401	97%
<i>Total Respondents</i>	1,319	100%	1,159	100%	2,478	100%
Don't know / no answer / unclear	2,035		302		2,343	
Total	3,354		1,461		4,821	

Sexual Orientation

Respondents were asked “How do you describe your sexual orientation, for example gay, straight, lesbian?” As with the question on gender, sexual orientation is an important consideration when planning support and homelessness prevention services.

2SLGBTQIA+ includes those who identified as asexual, bisexual, gay, lesbian, pansexual, two-spirit, questioning, or queer.

For more information about sexual orientation and homelessness in Canada, click [here](#).

	Sheltered		Unsheltered		Total	
	#	%	#	%	#	%
Straight/ Heterosexual	1,149	89%	957	85%	2,106	88%
2SLGBTQA+	133	10%	156	14%	289	12%
Another response (not listed/ multiple responses)	6	0%	4	0%	10	0%
<i>Total Respondents</i>	1,292	100%	1,124	100%	2,405	100%
Don't Know/ No Answer	2,062		337		2,416	
Total	3,354		1,461		4,821	

Changes in homelessness by sexual orientation (2020-2023)				
Sexual orientation	2020		2023	
	#	%	#	%
2SLGBTQA+	220	11%	289	12%
Straight/Heterosexual	1,850	89%	2,106	88%
Other	n/a	n/a	10	0%
<i>Total respondents</i>	2,070	100%	2,405	100%
Don't know/No answer	1,564		2,416	
Total	3,634		4,821	

Length of Time Experiencing Homelessness

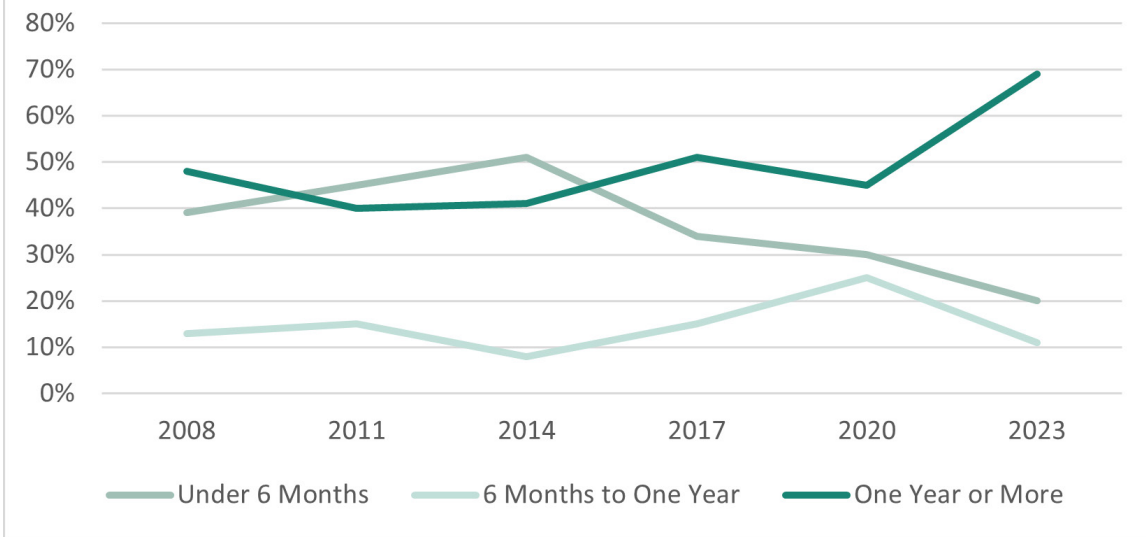
Respondents were asked “How long have you been without a place of your own?” with interviewers trained to specify that this means how long has it been since you had a place where you paid rent, not how long have you lived with roommates or another communal living arrangement.

	Sheltered		Unsheltered		Total	
	#	%	#	%	#	%
Under 6 months	313	26%	158	14%	471	20%
<i>Up to and including 7 days</i>	29	2%	18	2%	47	2%
<i>8 days to < 1 Month</i>	85	7%	31	3%	116	5%
<i>1 month < 6 months</i>	199	17%	109	10%	308	13%
6 months to < 1 year	145	12%	107	10%	252	11%
1 year and over	745	62%	852	76%	1,597	69%
<i>Total Respondents</i>	1,203	100%	1,117	100%	2,320	100%
Don't know / no answer / unclear	2,151		344		2,501	
Total	3,354		1,461		4,821	

Compared to 2020, a higher proportion of respondents had experiences of chronic homelessness, those greater than one year, in this year's survey.

Changes in length of time experiencing homelessness (2008-2020)												
Length of time experiencing homelessness	2008 Total		2011 Total		2014 Total		2017 Total		2020 Total		2023 Total	
	#	%	#	%	#	%	#	%	#	%	#	%
Under 6 months	828	39%	685	45%	921	51%	778	34%	548	30%	471	20%
<i>Under 1 month</i>	272		233		337		190		151		163	
<i>1 month to under 6 months</i>	556		452		584		588		397		308	
6 months to under 1 year	271	13%	222	15%	145	8%	331	15%	443	25%	252	11%
1 year or more	1,017	48%	610	40%	751	41%	1,153	51%	810	45%	1,597	69%
<i>Total respondents</i>	2,116	100%	1,517	100%	1,817	100%	2,262	100%	1,801	100%	2,320	100%
Don't know/No answer	544		1,133		960		1,343		1,833		2,501	
Total	2,660		2,650		2,777		3,605		3,634		4,821	

Percentage of Respondents by Length of Time Experiencing Homelessness 2008-2023



As a separate question, respondents were asked “In total, for how much time have you experienced homelessness over the past year?” 41% of respondents indicated they had not experienced homelessness for the entire year.

	Sheltered		Unsheltered		Total	
	#	%	#	%	#	%
Under 6 months	382	34%	200	21%	582	28%
<i>Up to and including 7 days</i>	25	2%	6	1%	31	1%
<i>8 days to < 1 Month</i>	74	7%	37	4%	111	5%
<i>1 month < 6 months</i>	283	25%	157	16%	440	21%
6 months to <1 year	139	12%	121	13%	260	13%
1 year	592	53%	643	67%	1,235	59%
<i>Total Respondents</i>	1,113	100%	964	100%	2,077	100%
Don't know / no answer / unclear	2,241		497		2,744	
Total	3,354		1,461		4,821	

Length of Time in Community

Respondents were asked “How long have you been in (community)?” with **community** replaced by the Sub-Region the survey took place in.

It is important to note that persons experiencing homelessness, like anyone, travel throughout the region for a variety of reasons. In 2020, 60% of individuals identified as being in the community they took the survey in for 5 years or more. This year, 64% identified as such. In addition to this, **81% of people were in the community they reside in the last time they were housed**, suggesting that any new shelters or initiatives through the COVID-19 pandemic did not cause large groups of individuals to choose to move to another community and that individuals experiencing homelessness prefer to access services in their home community.

Length of time in Community						
	Sheltered		Unsheltered		Total	
	#	%	#	%	#	%
Under 1 Year	273	23%	123	12%	396	18%
1 year to under 5 years	210	18%	185	18%	395	18%
5 years to under 10 years	124	10%	130	13%	254	11%
10 years or more	361	30%	348	34%	709	32%
Always been here	231	19%	227	22%	458	21%
Total Respondents	1,199	100%	1,013	100%	2,212	100%
Don't know / no answer	2,155		448		2,609	
Total	3,354		1,461		4,821	

Location When Homelessness Started	
In Community Survey Took Place	81%
Not In Community Survey Took Place	19%
Total	100%

Health Conditions

Respondents were asked about each of the health conditions included below separately, for example “Do you identify as having a medical condition or illness?” then “Do you identify as having a physical disability?” and so on. Interviewers were trained to provide prompts if needed, including:

- A medical condition, **such as diabetes or asthma,**
- A mental health issue, **such as depression or anxiety.**

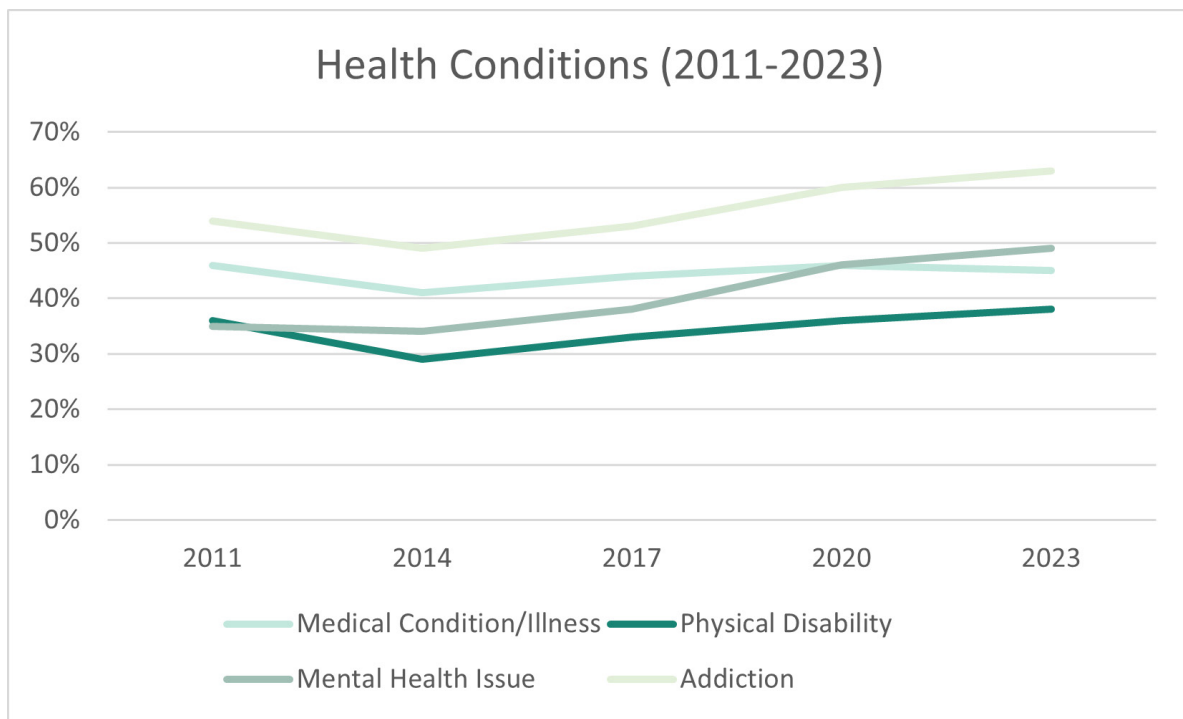
All health conditions were self-reports. If a respondent said they thought they had a medical condition, but they haven’t; been treated or diagnosed, the interviewer was trained to ask “would you say you have that medical condition?”

“Addictions Issue” can include, if the respondent identified as such, both substance and behavioural addictions. Substances used include alcohol, tobacco, cannabis, stimulants, and opiates. Behavioural addictions can include gambling, shopping, and many others.

While it was not asked in this survey, in [2019 the Point in Time Count in the City of Vancouver](#) asked respondents who identified as having an addiction what substances they use. The most common substance indicated was cigarettes.

Health Conditions						
	Sheltered		Unsheltered		Total	
	#	%	#	%	#	%
Medical Condition/Illness	583	44%	532	47%	1,115	45%
Physical Disability	481	36%	455	40%	936	38%
Mental Health Issue	595	45%	603	53%	1,198	49%
Addictions Issue	733	55%	809	71%	1,542	63%
Learning Disability or Cognitive Impairment	254	19%	286	25%	540	22%
<i>Total Respondents</i>	1,331	100%	1,136	100%	2,467	
Don't Know/ No Answer	2,023		325		2,354	
Total	3,354		1461		4,821	

Changes in health conditions (2011-2023)										
Health conditions (more than one response possible)	2011 Total		2014 Total		2017 Total		2020 Total		2023 Total	
	#	%	#	%	#	%	#	%	#	%
Medical condition/illness	608	46%	723	41%	967	44%	991	46%	1,115	45%
Physical disability	470	36%	507	29%	742	33%	786	36%	936	38%
Mental health issue	463	35%	610	34%	848	38%	990	46%	1,198	49%
Addiction	712	54%	871	49%	1,172	53%	1,306	60%	1,542	63%
Learning disability or cognitive impairment	n/a	n/a	n/a	n/a	n/a	n/a	506	23%	540	22%
<i>Total respondents</i>	1,314		1,775		2,221		2,160		2,467	
Don't know/No answer	1,336		1,002		1,384		1,474		2,354	
Total	2,650		2,777		3,605		3,634		4,821	



Number of Health Concerns						
	Sheltered		Unsheltered		Total	
	#	%	#	%	#	%
No Health Concerns	252	19%	112	10%	364	15%
One Health Concern	316	24%	258	23%	574	23%
Two Health Concerns	282	21%	254	22%	536	22%
Three Health Concerns	232	17%	228	20%	460	19%
Four Health Concerns	175	13%	185	16%	360	15%
Five Health Concerns	74	6%	99	9%	173	7%
Total Respondents	1,331	100%	1,136	100%	2,467	100%
Don't know / no answer / unclear	2,023		325		2,354	
Total	3,354		1,461		4,821	

Acquired Brain Injury						
	Sheltered		Unsheltered		Total	
	#	%	#	%	#	%
Acquired brain injury	321	25%	384	36%	705	30%
No acquired brain injury	964	75%	686	64%	1,650	70%
Total Respondents	1,285	100%	1,070	100%	2,355	100%
Don't Know/ No Answer	2,069		391		2,466	
Total	3,354		1,461		4,821	

Age First Time Experiencing Homelessness

Respondents were asked “How old were you the first time you experienced homelessness?” If needed, interviewers clarified that this meant how old they were when they did not have a place of their own, or how old they were when their family did not have a place of their own.

As in previous years, it is most common for a respondent who is experiencing homelessness now to have had a first experience before the age of 25.

Age First Homeless						
	Sheltered		Unsheltered		Total	
	#	%	#	%	#	%
Youth (Under 25 Years)	456	38%	577	56%	1,033	47%
Adult (25-54 Years)	566	48%	393	38%	959	43%
Senior (55+)	164	14%	52	5%	216	10%
Total Respondents	1,186	100%	1,022	100%	2,208	100%
Don't Know/ No Answer	2,055		424		2,613	
Total	3,241		1,446		4,821	



Sources of Income

Respondents were asked “What are your sources of income?” Interviewers were trained to show and read this list to the respondent. This is a check all that apply question. Some notes:

- “Honoraria” was added to the survey this year, and is defined as a type of income individuals receive on an ad-hoc basis either for casual employment with homelessness service programs, or as recognition of volunteer work.
- “Sex work” was added to the survey this year. Previously, sex work was recorded in the “Other” field.
- 10% of individuals identified as having full or part time employment.

	Sheltered		Unsheltered		Total	
	#	%	#	%	#	%
Welfare/ Income Assistance	669	51%	623	55%	1,292	53%
Disability benefit (e.g. PWD, PPMB)	410	31%	328	29%	738	30%
GST/HST refund	188	14%	112	10%	300	12%
Informal Employment	79	6%	174	15%	253	10%
Money from family/ friends	89	7%	112	10%	201	8%
No Income	103	8%	96	9%	199	8%
Job Casual (e.g. Contract work)	100	8%	97	9%	197	8%
CPP or other pension	124	9%	60	5%	184	8%
Other Sources	77	6%	93	8%	170	7%
Job Part Time	73	6%	61	5%	134	6%
Job Full Time	61	5%	31	3%	92	4%
Sex work	33	3%	56	5%	89	4%
Old Age Security (OAS)/ guraranteed income supplement	58	4%	26	2%	84	3%
Honouraria	29	2%	37	3%	66	3%
Employment Insurance	20	2%	11	1%	31	1%
Child and Family Tax Benefit	23	2%	8	1%	31	1%
Youth Agreement	2	0%	7	1%	9	0%
Veteran VAC benefits	4	0%	4	0%	8	0%
Total Respondents	1,308	100%	1,126	100%	2,434	
Don't know / no answer / unclear	2,046		335		2,387	
Total	3,354		1,461		4,821	

38% of respondents identified as having two or more income sources.

	Sheltered		Unsheltered		Total	
	#	%	#	%	#	%
No Income Source Identified	92	7%	79	7%	171	7%
One Income Source	717	55%	620	55%	1,337	55%
Multiple Income Sources	499	38%	427	38%	926	38%
Total Respondents	1,308	100%	1,126	100%	2,434	100%
Don't know / no answer / unclear	2,046		335		2,387	
Total	3,354		1,461		4,821	



Service Usage

Respondents were asked “What services have you used in the past 12 months?” Interviewers were trained to show and read this list to the respondent. This is a check all that apply question. Some notes:

- A Supervised Consumption Site is an umbrella term that covers both safe injection and safe smoking sites. These programs are designed for individuals to bring their own substances and use them under supervision by staff if an overdose occurs. Some offer drug testing.
- Some dental care is provided as a benefit for individuals receiving Persons With Disabilities (PWD) or Persons With Persistent Multiple Barriers (PPMB) benefits from the Ministry of Social Development and Poverty Reduction.

	Sheltered		Unsheltered		Total	
	#	%	#	%	#	%
Food Services	695	54%	652	59%	1,347	56%
Emergency Room	681	53%	579	53%	1,260	53%
Hospital (non-emergency)	604	47%	507	46%	1,111	46%
Housing Services	623	48%	408	37%	1,031	43%
Health Clinic	555	43%	423	39%	978	41%
Ambulance	525	41%	426	39%	951	40%
Employment and Financial Services	432	33%	339	31%	771	32%
Mental Health Services	394	30%	316	29%	710	30%
Legal Services	355	27%	281	26%	636	27%
(Other) addiction services	287	22%	308	28%	595	25%
Supervised Consumption Site	262	20%	332	30%	594	25%
Dental Clinic or dentist	327	25%	224	20%	551	23%
Cultural Services	139	11%	120	11%	259	11%
Other Services	74	6%	76	7%	150	6%
No services Accessed	60	5%	60	5%	120	5%
Total Respondents	1,292		1,098		2,390	100%
Don't know / no answer / unclear	2,062		363		2,431	
Total	3,354		1,461		4,821	

Housing Wait List Status – New for 2023

Respondents were asked “Are you on a housing wait list?” This was defined as any housing wait list, including the BC Housing Registry, as well as individual wait lists for specific programs.

These tables suggest that measures of numbers of individuals on housing wait lists does not include everyone.

	Sheltered		Unsheltered		Total	
	#	%	#	%	#	%
Yes	579	53%	371	40%	950	47%
No	520	47%	560	60%	1,080	53%
<i>Total Respondents</i>	1,099	100%	931	100%	2,030	100%
Don't Know/ No Answer	2,255		530		2,791	
Total	3,354		1,461		4,821	

Reasons for Most Recent Housing Loss (Following Page)

Respondents were asked “What happened that caused you to lose your housing most recently?” Interviewers were trained to ask this as an open-ended question, to listen to the story that the person told, and then check responses as they hear them come up in the story. After, interviewers checked responses with respondents to make sure everything they wanted to include was included. This is a check all that apply question. This year, response options were added for:

- “Guest policy” to reflect housing loss from conflict with landlord/housing operator’s guest policy.
- “Experienced abuse by child/dependent” to reflect this type of abuse, that is different from abuse by a partner or parent.

It is important to note that the causes of homelessness are multifaceted and complex. It is rare for a person to cite one cause of their housing loss, and even for those who list one cause, there are other factors that contribute to housing loss in most cases. Some of these factors are included as responses, and others include structural factors such as housing affordability, employment stability, and connection to supports and resources.

	Sheltered		Unsheltered Total		Total	
	#	%	#	%	#	%
Not enough income for housing	433	35%	359	34%	792	35%
Addiction/ substance use issue	268	22%	287	28%	555	24%
Landlord/ Tenant conflict	194	16%	169	16%	363	16%
Mental health issue	180	14%	179	17%	359	16%
Conflict with spouse/ partner	192	15%	154	15%	346	15%
Physical health issue	144	12%	134	13%	278	12%
Other reason	128	10%	132	13%	260	11%
Unfit/Unsafe housing condition	128	10%	127	12%	255	11%
Conflict with parent/guardian	110	9%	104	10%	214	9%
conflict with other	100	8%	88	8%	188	8%
Experienced abuse by spouse/ partner	106	9%	66	6%	172	8%
Death or departure of family member	70	6%	93	9%	163	7%
Building sold or renovated	75	6%	64	6%	139	6%
Incarceration (jail or prison)	74	6%	65	6%	139	6%
Experienced discrimination	52	4%	63	6%	115	5%
Hospitalization or treatment program	65	5%	47	5%	112	5%
Left the community	66	5%	45	4%	111	5%
Complaint (E.g. Pets/noise/ damage)	37	3%	43	4%	80	4%
Experienced abuse by parent/ guardian/ caregiver	41	3%	39	4%	80	4%
Experienced abuse by Other	28	2%	19	2%	47	2%
Owner moved in	23	2%	18	2%	41	2%
Guest policy	17	1%	24	2%	41	2%
Rent supplement expired	22	2%	14	1%	36	2%
Place not physically accessible	13	1%	17	2%	30	1%
Experienced abuse by child/ dependent	7	1%	6	1%	13	1%
Rent supplement expired	22	2%	14	1%	36	2%
Unfit/Unsafe housing condition	128	10%	127	12%	255	11%
Building sold or renovated	75	6%	64	6%	139	6%
Owner moved in	23	2%	18	2%	41	2%
Landlord/ Tenant conflict	194	16%	169	16%	363	16%
Guest policy	17	1%	24	2%	41	2%
Complaint (E.g. Pets/noise/ damage)	37	3%	43	4%	80	4%
Place not physically accessible	13	1%	17	2%	30	1%
Left the community	66	5%	45	4%	111	5%
Conflict with spouse/ partner	192	15%	154	15%	346	15%
Conflict with parent/guardian	110	9%	104	10%	214	9%
Conflict with other	100	8%	88	8%	188	8%
Experienced abuse by spouse/ partner	106	9%	66	6%	172	8%
Experienced abuse by parent/ guardian/ caregiver	41	3%	39	4%	80	4%
Experienced abuse by child/ dependent	7	1%	6	1%	13	1%
Experienced abuse by Other	28	2%	19	2%	47	2%
Death or departure of family member	70	6%	93	9%	163	7%
Experienced discrimination	52	4%	63	6%	115	5%
Physical health issue	144	12%	134	13%	278	12%
Mental health issue	180	14%	179	17%	359	16%
Addiction/ substance use issue	268	22%	287	28%	555	24%
Hospitalization or treatment program	65	5%	47	5%	112	5%
Incarceration (jail or prison)	74	6%	65	6%	139	6%
Other reason	128	10%	132	13%	260	11%
Total Respondents	1,244		1,041		2,285	
Don't Know/ No Answer	2,110		420		2,536	
Total	3,354		1,461		4,821	

Most Recent Housing Loss Caused by COVID-19 – New for 2023

As a separate question after the question above about housing loss, respondents were asked “Was your most recent housing loss caused by the COVID-19 Pandemic?” Volunteers were trained to explain this could mean caused by the COVID-19 pandemic in any way, including illness, public health measures, landlord’s use of their unit, loss of in-person supports, isolation, or any others.

Of those whose experiences of homelessness were three years or less, 15% of respondents identified that the COVID-19 pandemic contributed to their housing loss.

Ministry Care

Respondents were asked “As a child or youth, were you ever in foster care, in a youth group home, on an Independent Living Agreement?” This is a check one question, so a yes to any of these options is a yes to the question. This includes experience with any child welfare-like system, in BC or elsewhere.

As in previous counts, individuals with experience with Ministry Care are overrepresented in the population experiencing homelessness. Katherine McParland, co-founder and former CEO of A Way Home Kamloops, described foster care as “the superhighway to homelessness.” If foster homes are not meeting kids’ needs, they tend to run away but have nowhere to go. *“They are making decisions with their feet. They are running away from these placements and are told they are choosing homelessness. I beg to differ. I say they are choosing to find a sense of belonging and we, as communities, need to create this for them.”*

	Sheltered		Unsheltered		Total	
	#	%	#	%	#	%
Yes	331	26%	402	37%	733	31%
No	966	74%	699	63%	1,665	69%
Total Respondents	1,297	100%	1,101	100%	2,398	100%
Don't Know/ No Answer	2,057		360		2,423	
Total	3,354		1,461		4,821	

Veterans of the Canadian Armed Forces or RCMP

Respondents were asked “Have you ever had any service in the Canadian Forces? (Includes army, navy, air force, - regular forces and reserve, RCMP, or Canadian Rangers)”. Responses for both Yes – Canadian Forces and Yes - RCMP are combined as Yes in the table below.

Interviewers were trained to specify that this is the definition used by Veterans Affairs Canada; excluding, for example, municipal police or another country’s military service.

For more information about Veterans experiencing homelessness in Canada, click [here](#).

	Sheltered		Unsheltered		Total	
	#	%	#	%	#	%
Yes	67	5%	74	7%	141	6%
No	1,235	95%	1,005	93%	2,240	94%
Total Respondents	1,302	100%	1,079	100%	2,381	100%
Don't Know/ No Answer	2,052		382		2,440	
Total	3,354		1,461		4,821	



Immigrants or Refugees to Canada

Respondents were asked “Did you come to Canada as an immigrant, refugee or a refugee claimant (e.g. applied for refugee status after coming to Canada), or on a temporary visa?” In 2020, 14% of respondents, or 290 people identified as coming to Canada as an immigrant or refugee, representing an increase in the 2023 Count. At the same time, the number of individuals who had arrived in Canada and have been here for less than 5 years decreased from 17% in 2020 to 5% in this year’s Count. Three respondents across the region identified that they were from Ukraine and had arrived within the last year.

To learn more about homelessness among newcomers to Canada, click [here](#).

Newcomers - Immigrants or Refugee						
	Sheltered		Unsheltered		Total	
	#	%	#	%	#	%
Immigrant or Refugee	281	22%	114	10%	395	17%
Non-Immigrant/ Refugee	1,013	78%	983	90%	1,996	83%
Total Respondents	1,294	100%	1,097	100%	2,391	100%
Don't Know/ No Answer	2,060		364		2,430	
Total	3,354		1,461		4,821	

This table presents a comparison of sheltered and unsheltered respondents who entered Canada by their immigration status upon arrival.

Newcomers - Entry into Canada						
	Sheltered		Unsheltered		Total	
	#	%	#	%	#	%
Immigrant	167	60%	79	72%	246	63%
Refugee	40	14%	18	16%	58	15%
Refugee Claimant	51	18%	4	4%	55	14%
Work Visa	7	3%	4	4%	11	3%
Student Visa	10	4%	3	3%	13	3%
Temporary Foreign Visa	4	1%	2	2%	6	2%
Total Newcomer Respondents	279	100%	110	100%	389	100%
Don't know / no answer	3,075				3,944	
Total	3,354		1,461		4,333	

Of note, 42% of individuals who identified as arriving in Canada as an immigrant, refugee, or refugee claimant have been in Canada for more than 10 years.

Newcomers - Time in Canada						
	Sheltered		Unsheltered		Total	
	#	%	#	%	#	%
Under 1 Year	60	5%	8	1%	68	3%
1 year to under 5 years	33	3%	4	0%	37	2%
5 years to under 10 years	18	1%	7	1%	25	1%
10 years or more	124	10%	55	5%	179	8%
Non-Immigrant/ Refugee	1,013	81%	983	93%	1,996	87%
Total Respondents	1,248	100%	1,057	100%	2,305	100%
Don't know / no answer	2,106		404		2,516	
Total	3,354		1,461		4,821	



Accompanying People Experiencing Homelessness

Respondents were asked “Do you have family members or anyone else who stayed with you last night?” If the respondent identified as having a child under the age of 19 with them the night of the count, these individuals were added as accompanied children. If the respondent identified as having any adults staying with them who also met the definition of homeless, the interviewer asked them to get in touch with that other person and encourage them to complete a survey that day.

With someone the night of the count						
	Sheltered		Unsheltered Total		Total	
	#	%	#	%	#	%
With Someone	170	13%	281	2.4%	451	18%
Partner	56	4%	127	11%	183	7%
Child/Children	73	5%	21	2%	94	4%
Pet(s)	15	1%	48	4%	63	3%
Not listed	26	2%	75	7%	101	4%
Not Specified	11	1%	33	3%	44	2%
Alone	1,174	87%	871	76%	2,045	82%
Total Respondents	1,344	100%	1,152	100%	2,496	100%
Don't Know/ No Answer	2,010		309		2,325	
Total	3,354		1,461		4,821	



Preferred Language – New for 2023

New for 2023, respondents were asked “Do you prefer to access services in English, French or another language?”

Volunteers were trained to specify the importance of the word prefer in this question. For example, if someone was able to access services in English but would prefer French, the response would be French.

In interpreting this response, consider that most services are provided in English, and people who are connected to services are more likely to be counted in this methodology.

Preferred Language						
	Sheltered		Unsheltered		Total	
	#	%	#	%	#	%
English	1,257	96%	1,099	98%	2,356	97%
French	25	2%	29	3%	54	2%
Other preferred language	59	5%	21	2%	80	3%
Total Respondents	1,306		1,119		2,425	100%
Don't Know/ No Answer	2,048		342		2,396	
Total	3,354		1,461		4,821	

This table presents the written in “other” options, in alphabetical order, as they were written in, for languages with more than one response:

Language	Count
Spanish	29
Farsi	15
Arabic	7
Cantonese or Chinese written in	7
Punjabi	7
Portuguese	5
Vietnamese	4
Amharic	2
Esperanto	2
Tagalog	2
Ukrainian	2
All other languages with one response each	9

Where the Unsheltered Respondents Stayed

This year, the survey had three new options for respondents to identify where they stayed on the night of the Count; two options for hotel, and one option for “a client’s place,” meaning staying with a person who had paid the respondent for sex.

“Not listed” includes those who may have stayed in an overnight drop-in centre that is not designated as a shelter, in their own place they will be evicted from in less than 30 days, or those who reported that they did not sleep.

Location on March 7th	Unsheltered	
	#	%
Outside	697	48%
Someone else's place or couch surfing	270	19%
Makeshift shelter or tent	233	16%
Vehicle	124	9%
Abandoned/vacant building	36	2%
Not listed	32	2%
A client's place	14	1%
Hotel/ motel where I pay to stay for less than 30 days	15	1%
Hotel/ motel where an organization pays	10	1%
Parent or Guardian's place - This is a temporary situation and I do not have a house or apartment I can safely return to	15	1%
<i>Total Respondents</i>	1,446	100%
Don't know / no answer / unclear	15	
Total	1,461	

Safety Question – New for 2023

A new pilot question “Did you feel safe there?” was asked on the daytime survey used on March 8th, immediately following the question of “Where did you stay last night?” This question was omitted from the survey used in shelters, out of concern of a perceived power imbalance between the client and the interviewer. This question was included out of interest in trying to include those who choose to not stay in shelter, and instead choose to stay in unsafe temporary or transactional relationships.

Interviewers were instructed that this question is optional and will not affect the respondent’s screening. Training also clarified that “safety” is an inherently subjective assessment, and can include things like neighborhood safety, physical safety, safety of belongings, emotional safety, and others.

This table presents the results of this question for all respondents. Shelter is excluded, because individuals were not asked this question on the shelter survey, so responses are not representative.

	Unsheltered		Felt Safe There - Yes
	#	%	%
Outside	697	48%	48%
Makeshift shelter or tent	233	16%	55%
Abandoned/vacant building	36	2%	55%
Vehicle	124	9%	76%
Someone else's place or couch surfing	270	19%	77%
A client's place	14	1%	67%
Hotel/ motel, where the respondent pays to stay for less than 30 days	15	1%	83%
Hotel/ motel, where an organization pays	10	1%	89%
Parent or Guardian's place - This is a temporary situation and the respondent does not have a house or apartment they can safely return to	15	1%	78%
Not listed	32	2%	63%
Total Respondents	1,446	100%	58%
Don't know / no answer / unclear	15		
Total	1,461		

Below presents the percentages of respondents who said yes, they felt safe at each location, and identified as women.

Of those who identified as agender, non-binary, or two-spirit, only 48% of respondents said they felt safe in the location they stayed the night before.

Felt Safe There -Women	
	% Felt Safe There - Yes
Outside	37%
Makeshift shelter or tent	45%
Abandoned/vacant building	33%
Vehicle	43%
Someone else's place or couch surfing	78%
A client's place	80%
Hotel/ motel, where the respondent pays to stay for less than 30 days	100%
Hotel/ motel, where an organization pays	80%
Parent or Guardian's place - This is a temporary situation and the respondent does not have a house or apartment they can safely return to	67%
Not listed	45%
Total Respondents	58%



Locations Stayed in the Past Year – Updated for 2023

In previous Counts, respondents were asked “Have you stayed in a homeless shelter in the past 12 months?” with response options of Yes, No, or Don’t Know/No Answer.

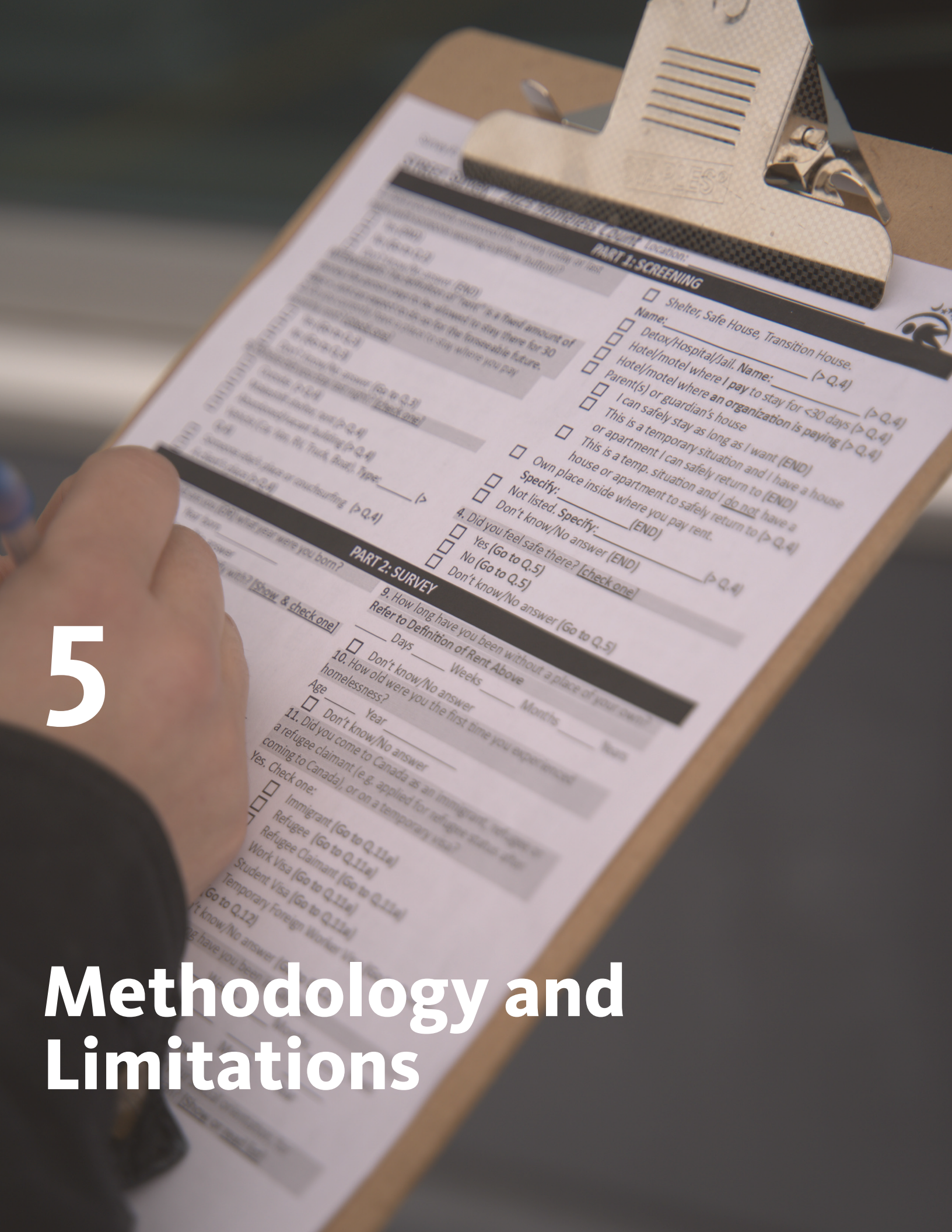
This year, a new format of this question was piloted. All respondents were asked “Have you spent at least one night in any of the following locations in the past year?” with response options presented in the table below. This was a check all that apply question. Some notes:

- “Homeless Shelter” included temporary and permanent homeless shelters, transitions for women fleeing domestic violence, and youth safe houses.
- There were two options for “Second Stage Housing.” One was for the type of second stage housing people access after attending a transition house for women fleeing domestic violence. The other was for the type of second stage housing people access after attending a residential substance use treatment program. These types of second stage housing involve sober living agreements.
- “Transitional Housing” includes temporary modular housing, and other housing options accessed by persons exiting homelessness that are meant to be lived in on a temporary basis, usually a number of years.
- “Hotel/Motel” was specifically for those who stayed in hotels that an organization or government paid for, which was common as part of the COVID-19 response.

	Sheltered		Unsheltered		Total	
	#	%	#	%	#	%
Homeless shelter	1,196	92%	681	63%	1,877	79%
Outside or unsheltered in a public place	549	42%	661	61%	1,210	51%
Someone else's place or couch surfing	440	34%	550	51%	990	41%
Encampment	239	18%	362	33%	601	25%
Vehicle	213	16%	274	25%	487	20%
Hotel/ motel (funded by government organization)	243	19%	212	20%	455	19%
Transitional housing	104	8%	62	6%	166	7%
Second stage housing - AFTER transition house	56	4%	39	4%	95	4%
Second stage housing - AFTER addictions treatment	50	4%	37	3%	87	4%
None of the listed	13	1%	33	3%	46	2%
Total Respondents	1,302		1,087		2,389	100%
Don't know / no answer / unclear	2,052		374		2,432	
Total	3,354		1,461		4,821	

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Methodology and Limitations



Methodology and Limitations

Point-In-Time Methodology

Shelter Count

The shelter count took place on the evening of Tuesday, March 7th, 2023. This part of the Count involved obtaining information from individuals staying overnight in emergency homelessness shelters, Emergency Weather Response shelters (EWRs), transition houses for women and children fleeing violence, safe houses, detox facilities, and people with No Fixed Address (NFA) staying in hospitals and jails.

As in past years, transition houses, youth safe houses and detox facilities had staff conduct the interviews. New for 2023, shelter organizations were encouraged to conduct surveys themselves, and honoraria were provided to organizations to help cover costs as needed.

To ensure that the Count was as accurate as possible, each emergency shelter, transition house for women and children fleeing violence, youth safe house and detox facility was asked to complete a “shelter statistics form” to record the total number of people who stayed overnight on 7th. Not all clients in the shelters agreed to or were available to be surveyed; however, because of the shelter statistics form, the total number of people staying in a shelter facility was available. The shelter statistics form includes information on the capacity and total number of occupants for adults, unaccompanied youth and accompanied children. The number of individuals experiencing sheltered homelessness is solely derived from the shelter statistics form to ensure no one is double counted if they are interviewed the day after the Shelter Count.

Similar to the shelter statistics form, police holding cells and hospitals conducted a person-by-person tally of individuals with No Fixed Address (NFA) staying overnight on the night of March 7th.

Street Count

Planning this 24-hour event started in September, to ensure that the survey was available to as many individuals who were experiencing sheltered or unsheltered homelessness as possible. The three main activities used to make the survey available in each community were:

- Volunteer teams walking pre-mapped routes in the community from 6am to midnight in some communities.
- Peers with lived and living experience walking pre-mapped routes, or stationed at locations where they had rapport with individuals who would take the survey.
- Outreach workers tasked with supporting these volunteers, or finding their clients to offer the survey.
- Magnet events, or volunteers stationed at regular community meals, to help encourage people to come to a designated place to complete a survey.

Planning these activities was the responsibility of a local coordinator in each Sub-Region. Routes were mapped with experts, including RCMP, Bylaw staff, outreach workers, and peers with lived and living experience in January-February.

From February 21st to March 6th, the HSABC team led 20 community training sessions across Greater Vancouver, and an additional 20 training sessions in-house at various agencies, most notably being school district staff across the region. Local Coordinators were also provided scripts for day-of refresher training on how to approach people, and how to use icebreakers to encourage conversation. Over 900 survey packages were prepared for the count.

Volunteer Interviewers

As in previous counts, volunteers were an important part of making sure as many areas as possible were covered. In total, 679 volunteers participated across the region. The implementation team is grateful to their contribution of time and expertise that was foundational to being able to present the results in this report.

This number is smaller than in 2020 because:

- Volunteers were asked how long they wanted to volunteer, with most selecting more than 4 hours. In past counts, volunteers were by default assigned one two-hour shift.
- Increased interest in staff surveying their own clients, potentially due to previous isolation and scaling down of some volunteer programs from the COVID-19 pandemic.

There was better coverage of routes and activities as a result of these compared to 2020.

Survey Participation

A response rate can only be calculated for the Shelter Count. Of 3,071 individuals counted in shelters and other sites where they had the opportunity to complete a survey, 1,092 surveys were completed, a response rate is 36%. This is lower than the response rate of 41% in 2020.

Limitations

While the Point in Time homeless count methodology is generally considered to produce an undercount of those experiencing homelessness, various other factors may have also impacted the accuracy of the 2023 Homeless Count in Greater Vancouver. The value of the Count remains the comparison of trends over time.

Community Geography

Seventeen distinct communities participate in the Metro Vancouver homeless count and with a wide variety of local terrain, certain circumstances may impact a community's ability to locate and include all those experiencing homelessness in their community.

Low-density neighbourhoods, forests, shorelines, and park land are especially difficult for volunteers to cover even with teams being deployed in cars and on bicycles. Professional park rangers and by-law officers provide some support for the count in many communities, but even so, areas with more complex terrain may see lower count numbers given the nature of the space that needs to be covered, and the decreased likelihood of these individuals accessing services.

Weather

Weather can impact homeless counts in a variety of ways and can pose a challenge to the accuracy of longitudinal comparability between count years. For example, the 2017 Homeless Count in Metro Vancouver took place during a rain/snow storm, while the 2020 Homeless Count took place on an unexpectedly sunny and relatively warm day, though it had been forecasted to be cold. The weather on Count Day in 2023 was clear and about seasonal temperature for most of the day.

Emergency Weather Response Shelters

Had the weather been different, more individuals may have been counted as sheltered (as opposed to unsheltered) and in general. It is not possible to fully account for the impact of weather.

Survey-based Methodology and Hidden Homelessness

Like any survey, an individual must come across a survey to be able to complete it. As has been discussed throughout this report, those who cannot be found living unsheltered, those who do not access services, and those who do not stay in shelters are less likely to be found by an interviewer than those who do. This particularly impacts those in communities made vulnerable, including those who are racialized, do not identify as male, are members of the 2SLGBTQIA+ community, or are youth or seniors.

List of Shelters

Organization Name	Shelter Name	Spaces/ Units	City
Vancouver Aboriginal Friendship Centre Society	Aboriginal Shelter / 240 Northern	88	Vancouver
Catholic Charities of the Archdiocese of Vancouver	Catholic Charities Men's Hostel	95	Vancouver
The Vi Fineday Family Shelter Society	Vi Fineday Family Shelter	18	Vancouver
Lookout Housing and Health Society	Lookout Yukon St Shelter	71	Vancouver
Lookout Housing and Health Society	Lookout Al Mitchell Shelter	46	Vancouver
First United Church Community Ministry Society	First United Church Shelter	49	Vancouver
Raincity Housing and Support Society	RainCity HPP & Triage Emergency Shelter	28	Vancouver
The Bloom Group Community Services Society	Springhouse Shelter	32	Vancouver
The Downtown Eastside Women's Centre Association	Downtown Eastside Women's Shelter	57	Vancouver
The Bloom Group Community Services Society	Powell Place Emergency Shelter	52	Vancouver
PHS Community Services Society	The Lark	14	Vancouver
PHS Community Services Society	New Fountain Shelter	60	Vancouver
The Governing Council of the Salvation Army in Canada, Vancouver	Belkin House	75	Vancouver
The Governing Council of the Salvation Army in Canada, Vancouver	Belkin House - Community Court	6	Vancouver
The Governing Council of the Salvation Army in Canada, Vancouver	The Haven	34	Vancouver
The Governing Council of the Salvation Army in Canada, Vancouver	The Beacon	66	Vancouver
The Governing Council of the Salvation Army in Canada, Vancouver	Crosswalk	36	Vancouver
Covenant House Vancouver	Covenant House	22	Vancouver
Atira Women's Resource Society	Pierce House	6	Vancouver
The Governing Council of The Salvation Army in Canada, Vancouver	Temp Shelter - Harbour Light, Anchor	40	Vancouver
Atira Women's Resource Society	Temp Shelter - SistersShelter	16	Vancouver
Atira Women's Resource Society	Temp - Capacity Expansion - Sisterhood	21	Vancouver
Catholic Charities of the Archdiocese of Vancouver	Temp Shelter - Men's Hostel	16	Vancouver
City of Vancouver	Temp Shelter - Gathering Place	34	Vancouver
City of Vancouver	Temp Shelter - Evelynne Saller	42	Vancouver
Community Builders Benevolence Group	Temp Shelter - 1st Ave	32	Vancouver
Community Builders Benevolence Group	Temp Shelter - Winter 1st Ave	20	Vancouver
Community Builders Benevolence Group	Temp Shelter - 1401 Hornby St	40	Vancouver
Community Builders Benevolence Group	Temp Shelter - Metson	38	Vancouver
Family Services of Greater Vancouver	Temp Shelter - Directions Youth Services Centre	12	Vancouver
Lu'ma Native BCH Housing Society	Temp Shelter - Terminal	60	Vancouver
PHS Community Services Society	Temp Shelter - Osborn	59	Vancouver
PHS Community Services Society	Temp Shelter - Winter Osborn	40	Vancouver

The Downtown Eastside Women's Centre Association	Temp - Capacity Expansion 265 Hastings	32	Vancouver
Wish Drop-In Centre Society	Temp Shelter - WISH	23	Vancouver
Lookout Housing and Health Society	Temp - Capacity Expansion - Lookout Walton Hotel	15	Vancouver
Lookout Housing and Health Society	Temp Shelter - Lookout Tenth Church	25	Vancouver
Lookout Housing and Health Society	EWR - Lookout Langara YMCA	30	Vancouver
Lookout Housing and Health Society	EWR - Lookout Cascades Church	10	Vancouver
Family Services of Greater Vancouver	EWR - Directions Youth Resource Centre	10	Vancouver
The Governing Council of the Salvation Army in Canada, Vancouver (Belkin House)	EWR - Belkin House	20	Vancouver
PHS Community Services Society	EWR - PHS Osborn	18	Vancouver
Atira Women's Resource Society	ERC Vancouver 1	68	Vancouver
Atira Women's Resource Society	ERC Vancouver 2	10	Vancouver
Community Builders Benevolence Group	ERC Vancouver 3	13	Vancouver
Lu'ma Native BCH Housing Society	ERC Vancouver 4	120	Vancouver
Elizabeth Fry Society of Greater Vancouver	Rosewood	60	Surrey
Options Community Services Society	Options Community Services Society (Hyland House)	45	Surrey
Lookout Housing and Health Society	Lookout Gateway Shelter and Outreach	40	Surrey
Options Community Services Society	Bill Reid Place	16	Surrey
Elizabeth Fry Society of Greater Vancouver	Sheena's Place	10	Surrey
Elizabeth Fry Society of Greater Vancouver	Cynthia's Place	14	Surrey
Raincity Housing and Support Society	Foxglove Shelter	27	Surrey
Atira Women's Resource Society	Katherine's House - Expansion Program	10	Surrey
Atira Women's Resource Society	Maxxine Wright Shelter	12	Surrey
Lookout Housing and Health Society	CES - Lookout Guildford	6	Surrey
Lookout Housing and Health Society	Temp Shelter Lookout Guildford	40	Surrey
Lookout Housing and Health Society	Temp Shelter Lookout Parkway	40	Surrey
Options Community Services Society	Temp Shelter - Cloverdale	25	Surrey
Options Community Services Society	Temp Shelter - South Surrey & White Rock	25	Surrey
Surrey Urban Mission Society	Temp Shelter - SUM	40	Surrey
Surrey Urban Mission Society	Temp Shelter - The Cove	43	Surrey
Surrey Urban Mission Society	Temp Shelter - The Olive Branch	45	Surrey
Atira Women's Resource Society	EWR - Shimai House	6	Surrey
Lookout Housing and Health Society	EWR - Lookout Fleetwood Reform Church	14	Surrey
Lookout Housing and Health Society	EWR - Lookout Surrey Alliance	30	Surrey
Pacific Community Resources Society	EWR - PCRS	10	Surrey
Surrey Urban Mission Society	EWR - SUMs NightShift	15	Surrey
Surrey Urban Mission Society	EWR - SUMs Nourish	15	Surrey
Options Community Services Society	ERC Surrey 1	29	Surrey
Options Community Services Society	ERC Surrey 2	24	Surrey
The Governing Council of the Salvation Army in Canada, Richmond	Richmond House Emergency Shelter	30	Richmond
The Governing Council of the Salvation Army in Canada, Richmond	Temp - Capacity Expansion Richmond House Emergency Shelter	15	Richmond

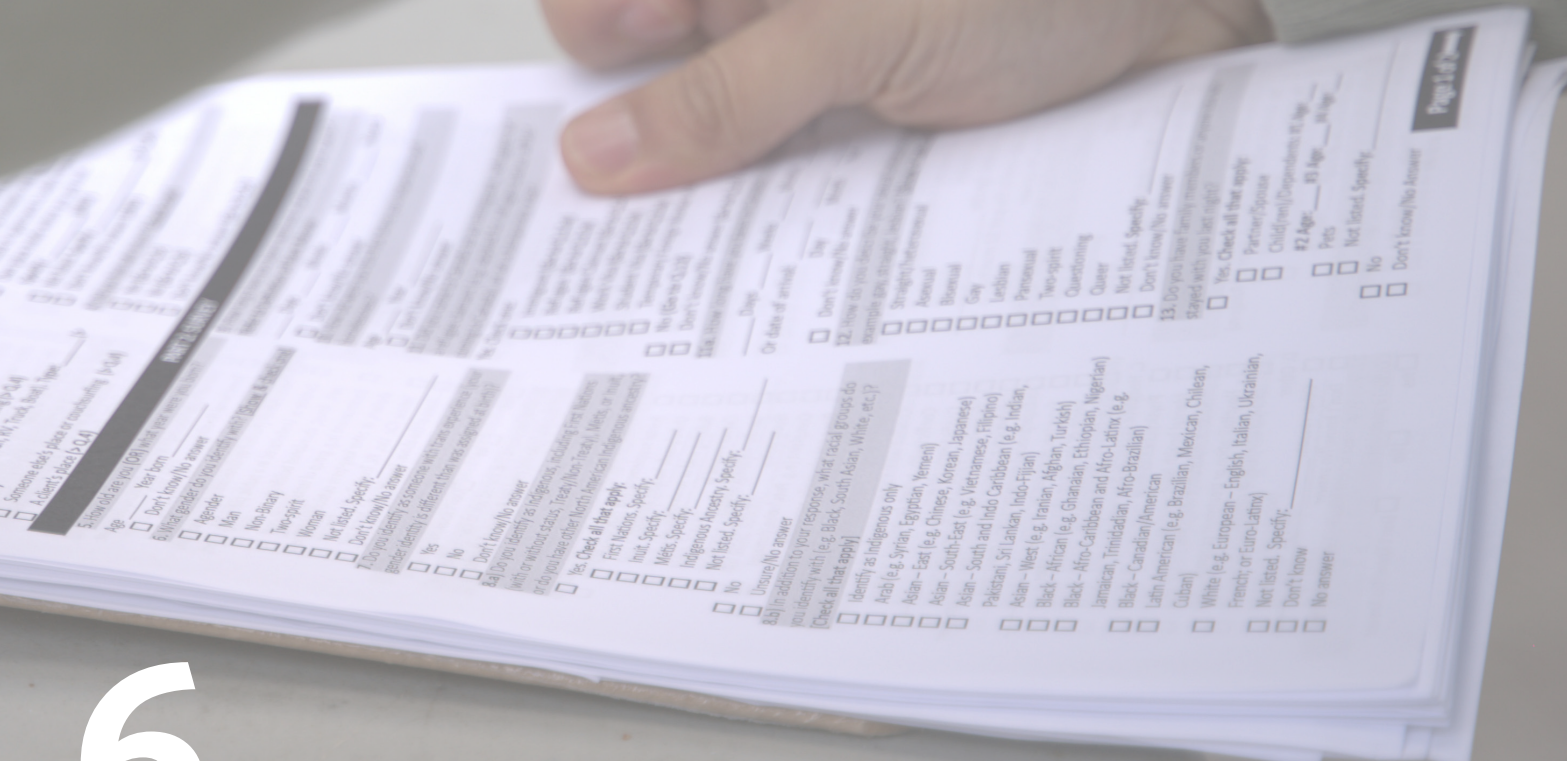
The Governing Council of the Salvation Army in Canada, Richmond	South Arm Warming Centre	20	Richmond
Turning Point Recovery Society	Brighthouse Warming Centre	20	Richmond
Phoenix Drug & Alcohol Recovery and Education Society	EWR - Tri-Cities	15	Port Moody
Lookout Housing and Health Society	Lookout North Shore Shelter and Outreach	45	North Vancouver
Lookout Housing and Health Society	EWR - Lookout North Shore 705 2nd W	20	North Vancouver
Lookout Housing and Health Society	EWR - Lookout North Shore 225 2nd E	16	North Vancouver
Lookout Housing and Health Society	ERC North Vancouver	30	North Vancouver
Fraserside Community Services Society	Fraserside Emergency Shelter	12	New Westminster
Lookout Housing and Health Society	Lookout New West Shelter and Outreach	15	New Westminster
The Governing Council of the Salvation Army in Canada, New Westminster	Stevenson House	14	New Westminster
Elizabeth Fry Society of Greater Vancouver	Elizabeth Gurney House	12	New Westminster
The Lower Mainland Purpose Society for Youth and Families	Army and Navy	50	New Westminster
The Governing Council of the Salvation Army in Canada, Maple Ridge	Ridge Meadows Ministries	25	Maple Ridge
The Governing Council of the Salvation Army in Canada, Maple Ridge	Temp Shelter - Ridge Meadows Ministries	30	Maple Ridge
Coast Foundation Society (1974)	EWR - Maple Ridge Coast	30	Maple Ridge
The Governing Council of the Salvation Army in Canada, Langley South	Gateway of Hope	30	Langley
The Governing Council of the Salvation Army in Canada, Langley South	Temp Shelter - Gateway of Hope	30	Langley
Lookout Housing and Health Society	EWR - Lookout Langley	30	Langley
The Governing Council of the Salvation Army in Canada, Langley South	EWR - Gateway of Hope	15	Langley
Lookout Housing and Health Society	EWR - Lookout New Hope Church	15	Delta
Options Community Services Society	EWR - Ladner United Church	9	Delta
Raincity Housing and Support Society	3030 Gordon	30	Coquitlam
Tri-City Transitions Society	Joy's Place	14	Coquitlam
Raincity Housing and Support Society	Temp - Capacity Expansion 3030 Gordon	12	Coquitlam
The Progressive Housing Society	Temp Shelter - Tri-Cities	25	Coquitlam
Phoenix Drug & Alcohol Recovery and Education Society	ERC Coquitlam	28	Coquitlam
The Progressive Housing Society	Temp Shelter - Progressive Housing	40	Burnaby
Lookout Housing and Health Society	EWR - Lookout Burnaby 7540 6th	27	Burnaby
Lookout Housing and Health Society	EWR - Lookout Burnaby 7135 Walker	20	Burnaby
The Progressive Housing Society	ERC Burnaby	40	Burnaby

List of No Fixed Address Sites

Type	Name	City
Hospital	Lion's Gate	Vancouver
Hospital	St. Paul's	Vancouver
Hospital	Vancouver General	Vancouver
Hospital	UBC	Vancouver
Hospital	Mount St. Joseph	Vancouver
Hospital	Richmond	Richmond
Detox	Vancouver	Vancouver
Detox	Harbour Light	Vancouver
Detox	Onsite	Vancouver
Hospital	Surrey Memorial	Surrey
Detox	Creekside	Surrey
Sobering Assessment Centre	Quibble Creek	Surrey
Hospital	Royal Columbian	New Westminster
Hospital	Delta	Delta
Hospital	Peace Arch	White Rock
Hospital	Langley Memorial	Langley
Hospital	Eagle Ridge	Tri-Cities
Hospital	Ridge Meadows	Ridge Meadows
Hospital	Burnaby	Burnaby Hospital
Corrections	Surrey RCMP	Surrey
Corrections	Delta Police	Delta
Corrections	Ridge Meadows RCMP	Ridge Meadows
Corrections	Vancouver Police	Vancouver
Corrections	Richmond RCMP	Richmond
Corrections	Burnaby RCMP	Burnaby

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Appendices



Appendix A. Survey Instrument

Survey #:

Interviewer Name: _____



STREET Survey | 2023 Homeless Count Location: _____

PART 1: SCREENING

1. Have you already answered this survey today or last night (with someone wearing a yellow button)?

- ☐ Yes (END)
☐ No (Go to Q.2)
☐ Don't know/No answer (END)

INTERVIEWER: The definition of "rent" is a fixed amount of money the person pays to be allowed to stay there for 30 days +, and can expect to do so for the foreseeable future.

2. Do you currently have a place to stay where you pay monthly rent? [check one]

- ☐ Yes (Go to Q.3)
☐ No (Go to Q.3)
☐ Don't know/No answer (Go to Q.3)

3. Where did you stay last night? [check one]

- ☐ Outside (> Q.4)
☐ Makeshift shelter, tent (> Q.4)
☐ Abandoned/vacant building (> Q.4)
☐ Vehicle (Car, Van, RV, Truck, Boat). Type: _____ (> Q.4)
☐ Someone else's place or couchsurfing (> Q.4)
☐ A client's place (> Q.4)

☐ Shelter, Safe House, Transition House.

Name: _____ (> Q.4)

☐ Detox/Hospital/Jail. Name: _____ (> Q.4)

☐ Hotel/motel where I pay to stay for <30 days (> Q.4)

☐ Hotel/motel where an organization is paying (> Q.4)

Parent(s) or guardian's house

☐ I can safely stay as long as I want (END)

☐ This is a temporary situation and I have a house or apartment I can safely return to (END)

☐ This is a temp. situation and I do not have a house or apartment to safely return to (> Q.4)

☐ Own place inside where you pay rent.

Specify: _____ (END)

☐ Not listed. Specify: _____ (> Q.4)

☐ Don't know/No answer (END)

4. Did you feel safe there? [check one]

- ☐ Yes (Go to Q.5)
☐ No (Go to Q.5)
☐ Don't know/No answer (Go to Q.5)

PART 2: SURVEY

5. How old are you (OR) what year were you born?

Age _____ Year born _____

☐ Don't know/No answer

6. What gender do you identify with? [Show & check one]

- ☐ Agender
☐ Man
☐ Non-Binary
☐ Two-spirit
☐ Woman
☐ Not listed. Specify: _____
☐ Don't know/No answer

7. Do you identify as someone with trans experience (your gender identity is different than was assigned at birth)?

- ☐ Yes
☐ No
☐ Don't know/No answer

8.a) Do you identify as Indigenous, including First Nations (with or without status, Treaty/Non-Treaty), Métis, or Inuit, or do you have other North American Indigenous ancestry?

- ☐ Yes. Check all that apply:
☐ First Nations. Specify: _____
☐ Inuit. Specify: _____
☐ Métis. Specify: _____
☐ Indigenous Ancestry. Specify: _____
☐ Not listed. Specify: _____

- ☐ No
☐ Unsure/No answer

8.b) In addition to your response, what racial groups do you identify with (e.g. Black, South Asian, White, etc.)? [Check all that apply]

- ☐ Identify as Indigenous only
☐ Arab (e.g. Syrian, Egyptian, Yemeni)
☐ Asian – East (e.g. Chinese, Korean, Japanese)
☐ Asian – South-East (e.g. Vietnamese, Filipino)
☐ Asian – South and Indo Caribbean (e.g. Indian, Pakistani, Sri Lankan, Indo-Fijian)
☐ Asian – West (e.g. Iranian, Afghan, Turkish)
☐ Black – African (e.g. Ghanaian, Ethiopian, Nigerian)
☐ Black – Afro-Caribbean and Afro-Latinx (e.g. Jamaican, Trinidadian, Afro-Brazilian)
☐ Black – Canadian/American
☐ Latin American (e.g. Brazilian, Mexican, Chilean, Cuban)
☐ White (e.g. European – English, Italian, Ukrainian, French; or Euro-Latinx)
☐ Not listed. Specify: _____
☐ Don't know
☐ No answer

9. How long have you been without a place of your own?

Refer to Definition of Rent Above

_____ Days _____ Weeks _____ Months _____ Years
(#) (#) (#) (#)

☐ Don't know/No answer

10. How old were you the first time you experienced homelessness?

Age _____ Year _____

☐ Don't know/No answer

11. Did you come to Canada as an immigrant, refugee or a refugee claimant (e.g. applied for refugee status after coming to Canada), or on a temporary visa?

Yes. Check one:

- ☐ Immigrant (Go to Q.11a)
☐ Refugee (Go to Q.11a)
☐ Refugee Claimant (Go to Q.11a)
☐ Work Visa (Go to Q.11a)
☐ Student Visa (Go to Q.11a)
☐ Temporary Foreign Worker Visa (Go to Q.11a)
☐ No (Go to Q.12)
☐ Don't know/No answer (Go to Q.12)

11a. How long have you been in Canada?

_____ Days _____ Weeks _____ Months _____ Years
(#) (#) (#) (#)

Or date of arrival: _____
Day Month Year

☐ Don't know/No answer

12. How do you describe your sexual orientation, for example gay, straight, lesbian? [Show or read list]

- ☐ Straight/heterosexual
☐ Asexual
☐ Bisexual
☐ Gay
☐ Lesbian
☐ Pansexual
☐ Two-spirit
☐ Questioning
☐ Queer
☐ Not listed. Specify: _____
☐ Don't know/No answer

13. Do you have family members or anyone else who stayed with you last night?

- ☐ Yes. Check all that apply:
☐ Partner/Spouse
☐ Child(ren)/Dependents: #1 Age: _____
#2 Age: _____ #3 Age: _____ #4 Age: _____
☐ Pets
☐ Not listed. Specify: _____
☐ No
☐ Don't know/No Answer

Page 1 of 2 ➔

PART 2: SURVEY (CONTINUED)

14. Do you identify as having the following health challenges at this time? **[Read list & Check all that apply]**

	Yes	No	Don't know/ No Answer
Medical Condition/Illness	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Physical Disability	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Mental Health Issue	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Addiction	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Learning Disability or Cognitive Impairment	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

15. Do you identify as having an acquired brain injury that happened after birth? (e.g. from injury related to an accident, violence, an overdose, stroke or brain tumour)
☐ Yes ☐ No ☐ Don't Know/No Answer

16. How long have you been in (city name)?
 _____ Days _____ Weeks _____ Months _____ Yrs **(Go to Q.16a)**

(#) (#) (#) (#)
☐ Always been here **(Go to Q.17)**
☐ Don't know/No answer **(Go to Q.17)**

16a. Where did you live before you came here (i.e. city)?

Community: _____ AND province: _____

OR country: _____

☐ Don't know/No answer

17. As a child or youth, were you ever in foster care, in a youth group home, on an Independent Living Agreement?

☐ Yes
☐ No
☐ Don't know/No answer

INTERVIEWER: The following question is sensitive and can be prefaced by asking for consent ("can I ask you a question about residential school?")

18. Did you, your parents, or grandparents ever attend residential school?

☐ Yes. **Check all that apply:**
☐ I did
☐ One or more parents did
☐ One or more grandparents did
☐ No
☐ Don't know/No answer

19. What services have you used in the past 12 months?

[Read list & Check all that apply]

☐ Cultural Supports
☐ Ambulance
☐ Emergency room
☐ Hospital (non-emergency)
☐ Dental clinic or dentist
☐ Mental health services
☐ Safe consumption site (e.g. OPS)
☐ (Other) addiction services
☐ Health clinic
☐ Food Services
☐ Legal Services
☐ Employment and Financial services
☐ Housing Services
☐ Other Services. **Specify:** _____
☐ No services used in the past 12 months
☐ Don't know/No answer

20. Do you prefer to access services in English, French or another language?

☐ English
☐ French
☐ Other Preferred Language: _____
☐ Don't know/no answer

21. Have you ever had any service in the Canadian Forces? (Includes army, navy, airforce, - regular forces and reserve, RCMP, or Canadian Rangers). **[Check all that apply]**

☐ Yes, Canadian military (reg forces, reserve, Rangers)
☐ Yes, RCMP
☐ No
☐ Don't know/No answer

22. In total, for how much time have you experienced homelessness over the PAST YEAR (the last 12 months)?

_____ Days _____ Weeks _____ Months
☐ Don't know/No answer

23. What are your sources of income? **[Read list & Check all that apply]**

☐ Welfare/income assistance
☐ Job full time
☐ Job part time
☐ Job casual (e.g. Contract work)
☐ Honoraria
☐ Informal employment (binning, panhandling)
☐ Sex Work
☐ Money from family/friends
☐ Employment insurance
☐ Disability benefit (e.g. PWD, PPMB)
☐ Old age security (OAS)/ guaranteed income supplement (GIS)
☐ CPP or other pension
☐ Youth agreement
☐ Veteran/VAC benefits
☐ Child and family tax benefits
☐ GST/HST refund
☐ Other source(s): _____
☐ No income
☐ Don't know/No answer

24. Have you spent at least one night in any of the following locations in the past year? **[Check all that apply]**

☐ Homeless Shelter (Emergency Shelter, Family Shelter, Transition House)
☐ Second Stage Housing - AFTER Transition House
☐ Second Stage Housing - AFTER Addictions Treatment
☐ Transitional Housing
☐ Someone else's place or couchsurfing
☐ Hotel/Motel (Funded by Government/Organization)
☐ Outside or Unsheltered in a public place (e.g. street, park, forest, abandoned building)
☐ Encampment (e.g. group of tents, makeshift shelters, or other long-term outdoor settlement)
☐ Vehicle (Car, Van, RV, Truck, Boat)
☐ None of the above. Specify: _____
☐ Don't know/No answer

25. Are you on a housing wait list?

☐ Yes ☐ No ☐ Don't Know/No Answer

26. What happened that caused you to lose your housing most recently? **[Do not read list & Check all that apply]**

A. Housing and Financial Issue:

☐ Not enough income for housing (e.g. Lost benefit, Income, or job)
☐ Rental supplement (HPP, HOP, etc.) expired
☐ Unfit/unsafe housing condition
☐ Building sold or renovated
☐ Owner moved in
☐ Landlord/tenant conflict
☐ Guest policy
☐ Complaint (e.g. Pets/noise/damage)
☐ Place not physically accessible
☐ Left the community

B. Interpersonal and Family Issues

☐ Conflict with: spouse / partner
☐ Conflict with: parent / guardian / caregiver
☐ Conflict with: other: _____
☐ Experienced abuse by: spouse / partner
☐ Experienced abuse by: parent / guardian / caregiver
☐ Experienced abuse by: child / dependent
☐ Experienced abuse by: other: _____
☐ Death or departure of family member
☐ Experienced discrimination

C. Health or Corrections

☐ Physical health issue
☐ Mental health issue
☐ Addiction/substance use issue
☐ Hospitalization or treatment program
☐ Incarceration (jail or prison)

D. Other

☐ Other reason: _____
☐ Don't know/No answer

27. Was your most recent housing loss related to the COVID-19 pandemic?

☐ Yes ☐ No ☐ Don't Know/No Answer

Survey #:

SHELTER Survey | 2023 Homeless Count



Interviewer Name: _____

Facility Name: _____

PART 1: SCREENING

1. Have you already answered this survey today or last night (with someone wearing a yellow button)?

- ☐ Yes (END)
☐ No (Go to Q.2)
☐ Don't know/No answer (END)

2. Will you be sleeping here tonight? [check one]

- ☐ Yes (Go to Q.3)
☐ No (END)
☐ Don't know/No answer (END)

INTERVIEWER: The definition of "rent" is a fixed amount of money the person pays to be allowed to stay there for 30 days +, and can expect to do so for the foreseeable future.

3. Do you currently have a place to stay where you pay monthly rent?

- ☐ Yes (Go to Q.4)
☐ No (Go to Q.4)
☐ Don't know/No answer (Go to Q.4)

PART 2: SURVEY

4. How old are you (OR) what year were you born?

Age _____ Year born _____

- ☐ Don't know/No answer

5. What gender do you identify with? [Show & check one]

- ☐ Agender
☐ Man
☐ Non-Binary
☐ Two-spirit
☐ Woman
☐ Not listed. Specify: _____
☐ Don't know/No answer

6. Do you identify as someone with trans experience (your gender identity is different than was assigned at birth)?

- ☐ Yes
☐ No
☐ Don't know/No answer

7.a) Do you identify as Indigenous, including First Nations (with or without status, Treaty/Non-Treaty), Métis, or Inuit, or do you have other North American Indigenous ancestry?

- ☐ Yes. Check all that apply:
☐ First Nations. Specify: _____
☐ Inuit. Specify: _____
☐ Métis. Specify: _____
☐ Indigenous Ancestry. Specify: _____
☐ Not listed. Specify: _____
☐ No
☐ Unsure/No answer

7.b) In addition to your response, what racial groups do you identify with (e.g. Black, South Asian, White, etc.)? [Check all that apply]

- ☐ Identify as Indigenous only
☐ Arab (e.g. Syrian, Egyptian, Yemeni)
☐ Asian – East (e.g. Chinese, Korean, Japanese)
☐ Asian – South-East (e.g. Vietnamese, Filipino)
☐ Asian – South and Indo Caribbean (e.g. Indian, Pakistani, Sri Lankan, Indo-Fijian)
☐ Asian – West (e.g. Iranian, Afghan, Turkish)
☐ Black – African (e.g. Ghanaian, Ethiopian, Nigerian)
☐ Black – Afro-Caribbean and Afro-Latinx (e.g. Jamaican, Trinidadian, Afro-Brazilian)
☐ Black – Canadian/American
☐ Latin American (e.g. Brazilian, Mexican, Chilean, Cuban)
☐ White (e.g. European – English, Italian, Ukrainian, French; or Euro-Latinx)
☐ Not listed. Specify: _____
☐ Don't know
☐ No answer

8. How long have you been without a place of your own? Refer to Definition of Rent Above

_____ Days _____ Weeks _____ Months _____ Years
(#) (#) (#) (#)

- ☐ Don't know/No answer

9. How old were you the first time you experienced homelessness?

Age _____ Year _____

- ☐ Don't know/No answer

10. Did you come to Canada as an immigrant, refugee or a refugee claimant (e.g. applied for refugee status after coming to Canada), or on a temporary visa?

Yes. Check one:

- ☐ Immigrant (Go to Q.10a)
☐ Refugee (Go to Q.10a)
☐ Refugee Claimant (Go to Q.10a)
☐ Work Visa (Go to Q.10a)
☐ Student Visa (Go to Q.10a)
☐ Temporary Foreign Worker Visa (Go to Q.10a)
☐ No (Go to Q.11)
☐ Don't know/No answer (Go to Q.11)

10a. How long have you been in Canada?

_____ Days _____ Weeks _____ Months _____ Years

(#) (#) (#) (#)
Or date of arrival: _____
Day Month Year

- ☐ Don't know/No answer

11. How do you describe your sexual orientation, for example gay, straight, lesbian? [Show or read list]

- ☐ Straight/heterosexual
☐ Asexual
☐ Bisexual
☐ Gay
☐ Lesbian
☐ Pansexual
☐ Two-spirit
☐ Questioning
☐ Queer
☐ Not listed. Specify: _____
☐ Don't know/No answer

12. Do you have family members or anyone else who stayed with you last night?

- ☐ Yes. Check all that apply:
☐ Partner/Spouse
☐ Child(ren)/Dependents: #1 Age: _____
#2 Age: _____ #3 Age: _____ #4 Age: _____
☐ Pets
☐ Not listed. Specify: _____
☐ No
☐ Don't know/No answer

PART 2: SURVEY (CONTINUED)

13. Do you identify as having the following health challenges at this time? **[Read list & Check all that apply]**

	Yes	No	Don't know/ No Answer
Medical Condition/Illness	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Physical Disability	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Mental Health Issue	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Addiction	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Learning Disability or Cognitive Impairment	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

14. Do you identify as having an acquired brain injury that happened after birth? (e.g. from injury related to an accident, violence, an overdose, stroke or brain tumour)
☐ Yes ☐ No ☐ Don't Know/No Answer

15. How long have you been in (city name)?

Days _____ Weeks _____ Months _____ Yrs (Go to Q.15a)
 (#) (#) (#) (#)

- ☐ Always been here (Go to Q.16)
☐ Don't know/No answer (Go to Q.16)

15a. Where did you live before you came here (i.e. city)?

Community: _____ AND province: _____
 OR country: _____

- ☐ Don't know/No answer

16. As a child or youth, were you ever in foster care, in a youth group home, on an Independent Living Agreement?

- ☐ Yes
☐ No
☐ Don't know/No answer

INTERVIEWER: The following question is sensitive and can be prefaced by asking for consent ("can I ask you a question about residential school?")

17. Did you, your parents, or grandparents ever attend residential school?

- ☐ Yes. **Check all that apply:**
☐ I did
☐ One or more parents did
☐ One or more grandparents did
☐ No
☐ Don't know/No answer

18. What services have you used in the past 12 months?

[Read list & Check all that apply]

- ☐ Cultural Supports
☐ Ambulance
☐ Emergency room
☐ Hospital (non-emergency)
☐ Dental clinic or dentist
☐ Mental health services
☐ Supervised Injection Site
☐ (Other) addiction services
☐ Health clinic
☐ Food Services
☐ Legal Services
☐ Employment and Financial services
☐ Housing Services
☐ Other Services. **Specify:** _____
☐ No services used in the past 12 months
☐ Don't know/No answer

19. Do you prefer to access services in English, French or another language?

- ☐ English
☐ French
☐ Other Preferred Language: _____
☐ Don't know/no answer

20. Have you ever had any service in the Canadian Forces? (Includes army, navy, airforce, - regular forces and reserve, RCMP, or Canadian Rangers). **[Check all that apply]**

- ☐ Yes, Canadian military (reg forces, reserve, Rangers)
☐ Yes, RCMP
☐ No

21. In total, for how much time have you experienced homelessness over the PAST YEAR (the last 12 months)?

_____ Days _____ Weeks _____ Months
☐ Don't know/No answer

22. What are your sources of income? **[Read list & Check all that apply]**

- ☐ Welfare/income assistance
☐ Job full time
☐ Job part time
☐ Job casual
☐ Honoraria
☐ Informal employment (binning, panhandling)
☐ Sex work
☐ Money from family/friends
☐ Employment insurance
☐ Disability benefit (e.g. PWD, PPMB)
☐ Old age security (OAS)/ guaranteed income supplement (GIS)
☐ CPP or other pension
☐ Youth agreement
☐ Veteran/VAC benefits
☐ Child and family tax benefits
☐ GST/HST refund
☐ Other source(s): _____
☐ No income
☐ Don't know/No answer

23. Have you spent at least one night in any of the following locations in the past year? **Check all that apply**

- ☐ Homeless Shelter (Emergency Shelter, Family Shelter, Transition House)
☐ Second Stage Housing - AFTER Transition House
☐ Second Stage Housing - AFTER Addictions Treatment
☐ Transitional Housing
☐ Someone else's place or couchsurfing
☐ Hotel/Motel (Funded by Government/Organization)
☐ Outside or Unsheltered in a public place (e.g. street, park, forest, abandoned building)
☐ Encampment (e.g. group of tents, makeshift shelters, or other long-term outdoor settlement)
☐ Vehicle (Car, Van, RV, Truck, Boat)
☐ None of the above. Specify: _____
☐ Don't know/No answer

24. Are you on a housing wait list?

- ☐ Yes ☐ No ☐ Don't Know/No Answer

25. What happened that caused you to lose your housing most recently? **[Do not read list & Check all that apply]**

A. Housing and Financial Issue:

- ☐ Not enough income for housing (e.g. Lost benefit, Income, or job)
☐ Rental Supplement (HPP, HOP, etc.) Expired
☐ Unfit/unsafe housing condition
☐ Building sold or renovated
☐ Owner moved in
☐ Landlord/tenant conflict
☐ Guest policy
☐ Complaint (e.g. Pets/noise/damage)
☐ Place not physically accessible
☐ Left the community

B. Interpersonal and Family Issues

- ☐ Conflict with: spouse / partner
☐ Conflict with: parent / guardian / caregiver
☐ Conflict with: other: _____
☐ Experienced abuse by: spouse / partner
☐ Experienced abuse by: parent / guardian / caregiver
☐ Experienced abuse by: child / dependent
☐ Experienced abuse by: other: _____
☐ Death or departure of family member
☐ Experienced discrimination

C. Health or Corrections

- ☐ Physical health issue
☐ Mental health issue
☐ Addiction/substance use issue
☐ Hospitalization or treatment program
☐ Incarceration (jail or prison)

D. Other

- ☐ Other reason: _____

26. Was your most recent housing loss related to the COVID-19 pandemic?

- ☐ Yes ☐ No ☐ Don't Know/No Answer

Appendix B. Shelter Statistics Form

2023 Homeless Count *SHELTER AND NIGHT-TIME STATISTICS FORM*



_____, 2023

(Night Count Date – Day BEFORE Street Count)

Important: if you have more than one program/location, please use more than one form!

Full Organization Name:

Program/Location Name:

Type of program (please select one)

- ☐ Shelter (including Temporary Winter Shelters)
- ☐ EWR Shelter (opened in inclement weather, as per BC Housing guidelines)
- ☐ Safe House
- ☐ Transition House
- ☐ Detox Centre

Staff Contact Name:

Staff Phone Number:

Staff Email Address:

Please complete the following for your facility on **the night of March 7th**

Note: This information is confidential and anonymous. Responses will be aggregated and presented in a way so as not to identify an individual facility.

It is important that all information is filled accurately and complete.

TURN PAGE →

For the purpose of the Homeless Count, please use the following definitions and fill in the information:

- **Adult:** 25 years of age or older
- **Unaccompanied Youth:** age 16-24 years of age and **unaccompanied** by guardian or parent
- **Accompanied Children:** 18 years of age or younger and **accompanied** by guardian or parent
- **Capacity:** Number of beds/mats/spaces available as per your operational guidelines. Some facilities may have dedicated youth/children's beds/spaces. Please indicate dedicated spaces below.

The **total** capacity of this program is .

Of these are reserved only for Adults

Of these are reserved only for Accompanied Children

Of these are reserved only for Unaccompanied Youth

- **Occupants:** Number of people who entered your facility on the above evening AND stayed overnight. In some circumstances the number could exceed your capacity.

	Occupants	Notes (Anything of interest)
Adults (>25)	<input type="text"/>	<input type="text"/>
Unaccompanied Youth	<input type="text"/>	<input type="text"/>
Accompanied Children	<input type="text"/>	<input type="text"/>
Total	<input type="text"/>	<input type="text"/>

Were there any unusual events or circumstances that might have affected your operations this evening?

If you have any questions or need assistance, please contact: james.caspersen@hsa-bc.ca

Please include this form with the completed surveys in the envelope for pick-up.



7

About the Author

About The Author

The Homelessness Services Association of British Columbia (HSABC) is an umbrella organization of shelters, drop-in centres, homeless outreach teams and other service providers addressing the needs of persons experiencing homelessness with the goal to ending homelessness. Our over 280 Members Organizations can access regular workshops and webinars, participate in regional and provincial coordination and research initiatives, and benefit from advocacy on behalf of our sector.



Our key areas of focus include:

Training – we provide skills training and professional development opportunities to build the confidence and capacity of the homelessness serving sector across BC.

Program Implementation – we coordinate and implement programs such as the Extreme Weather Response Program to increase shelter beds available during critical weather conditions, as well as supporting the sector to deliver other essential services for those experiencing homelessness.

Conference and Networking – we provide networking opportunities to build resilience and connectivity across the sector.

Research – we develop and implement research and evidence-based best practices to address the causes and solutions to homelessness.

Sector Support – we unify and strengthen the voice of the sector to represent distinct and unique regional perspectives, and approaches addressing the needs of diverse communities experiencing homelessness.

BUILDING KNOWLEDGE



This report summarizes the case studies in the Community Acceptance Series documenting the experiences of supportive housing sites that gained neighbourhood acceptance. The purpose of this research is to help future sites better address neighbourhood concerns at the initial stages of a project. Sharing lessons learned also helps identify strategies to improve relationships with neighbours of existing social housing sites.

Other case studies in this series include: 5616 Fraser Street, Vancouver; Timber Grove, Surrey; Christine Lamb Residence, Abbotsford; Camas Gardens, Victoria and Cardington Apartments, Kelowna.

Community Acceptance Series

Overview of Strategies from Case Studies of Supportive Housing Sites in BC

Supportive housing provides housing and support services to people who are homeless or at risk of homelessness. These support services help vulnerable people maintain their housing. Supports can include 24/7 staffing, life skills training, employment preparation, meal programs and referrals to other community resources. BC Housing works in partnership with non-profit societies who operate these projects and provide on-site supports to residents.

In 2014, BC Housing conducted a research study looking at five supportive housing projects for homeless people or people at risk of homelessness that were initially met by concern from their surrounding neighbours. In some cases, these projects were the first of their kind in these neighbourhoods. Over time, initial concerns from some community members developed into positive relationships.

This report summarizes:

- › The type of concerns raised by neighbours of supportive housing developments and whether these concerns change over time, specifically from site proposal to after-site occupation
- › Strategies and actions taken by housing providers to address concerns and build positive relationships with neighbours
- › The number of police calls in the neighbourhood before and after site opening
- › Lessons learned from this project



Methodology

BC Housing's Research and Corporate Planning conducted the research for the five case studies. Case studies were conducted with:

- › **Timber Grove in Surrey** (Coast Mental Health)
- › **Cardington Apartments in Kelowna** (John Howard Society of the Central and South Okanagan)
- › **Christine Lamb Residence in Abbotsford** (SARA for Women, formerly Women's Resource Society of the Fraser Valley)
- › **5616 Fraser Street in Vancouver** (RainCity Housing)
- › **Camas Gardens in Victoria** (Pacifica Housing)

BC Housing's Research and Corporate Planning collected data through the following methods:

- › Key informant interviews with staff representatives from each supportive housing site
- › Working with local police departments, data was gathered showing the number of police calls for each study neighbourhood before and after project opening

Neighbours

Across the case study sites, concerned neighbours typically included a range of stakeholders such as renter and owner residential neighbours, nearby businesses, schools and other community amenities. In some cases, a small but vocal group of neighbours expressed concerns; in other cases, the majority of neighbours raised opposition to proposed supportive housing projects.

Neighbour Concerns

There were a number of common concerns across the case studies and stakeholder groups, including:

- › Safety issues for residential neighbours, kids attending nearby schools, and local business staff and patrons
- › Higher incidents of crime
- › Decreased property values
- › Increased loitering
- › More noise

How Neighbour Concerns Were Expressed

Community opposition in all five cases was quick to emerge as soon as neighbours heard about the proposed developments, especially if the property required rezoning. Concerns were expressed through a variety of means throughout the development process, including: public meetings, letters and meetings with municipal staff and politicians, letters and meetings with funders and supportive housing providers, the media, social media and internet, and community advisory committees. One group of opposed neighbours took the municipality to court with a land use challenge which was later dismissed by the judge.

Strategies to Build Positive Relationships During Development

The case study sites used some common strategies during the development phase to address concerns that emerged once neighbours heard about proposed supportive housing sites in their areas. Many of the case study sites used or suggested the following strategies:

At development outset

- › Expect community opposition and prepare for it with a clear plan for public meetings and communications
- › Prepare to justify the need for this type of housing and explain why the particular site was selected
- › Ensure development plans include sufficient time for public input, so neighbours are heard
- › Set a clear timeline for public input to ensure it is not used to delay the development process
- › Develop a community advisory committee with representatives from concerned neighbourhood stakeholder groups to allow neighbours to provide input, voice concerns, and ask questions
- › Budget sufficient resources to cover formal and informal meetings with neighbours and other community stakeholders
- › Set clear boundaries around what type of input neighbours



can have on the design plans and communicate those boundaries to stakeholders

- › Be clear on key messaging (e.g. how to describe the target client group) before going out to the public because it is hard to change public perceptions once a message is out
- › Ensure consistent messaging: Have one partner, such as the non-profit supportive housing provider, be the project spokesperson for media and other public events, so the public knows who to go to with questions or concerns
- › Give the project a name early in the development process to limit negative project descriptions in public discussions
- › Using a site that does not need to be rezoned helps limit community opposition
- › Create a site review task force, including community service providers and neighbours, to assess whether the site earmarked is the most suitable for the proposed client group (e.g. zoning issues, proximity to services, transit, and other amenities, and the need)
- › Trust that you are doing the right thing and that the opposition will diminish over time

During Development

- › Hold public meetings and information sessions, so the public can get a sense of the need for this type of housing, who will be served, supports to be provided, construction plans, as well as Q & A sessions
- › Start gathering public input early in the process
- › Be patient with the public input process, even if it feels repetitive
- › Reach out to neighbours and nearby service providers one-on-one to explain the program, who it serves, and be available to answer questions
- › Send letters to neighbours providing them with updates on the development process. Inform them of public meetings and other events
- › Respond to concerns right away and take each complaint seriously so neighbours feel heard rather than dismissed

- › Respond to concerns right away and take each complaint seriously so neighbours feel heard rather than dismissed
- › Allow neighbours to comment on design plans, as there may be some easy design adjustments that can reduce potential complaints (e.g. moving the parking lot to the other side of the building, moving the building to a different spot on the property, or adding trees and a fence to create separation from neighbours)
- › Ensure all partners and funders are on the same page and kept up-to-date on all plans and decisions to make sure all partners are communicating consistent messaging when responding to questions and concerns (e.g. who is the client group, who is involved in the project, what supports will be available, why this site was selected, etc.)
- › Once the site is built, offer tours to neighbours and other community stakeholders so they can see how the building fits into the neighbourhood and safety features of the site
- › Tours can be done before or after the site opens (some supportive housing providers do not want to disrupt residents with site tours, while others want individuals touring the site to meet residents)

Strategies that were not common across the case study sites but helped their particular sites:

- › Offer to take neighbours on tours of existing supportive housing projects in other neighbourhoods, to see who is served, how they are supported, and view the buildings calm atmosphere
- › Invite residents of other supportive housing projects to public meetings to share success stories demonstrating the importance and impact of supportive housing
- › Create opportunities for neighbours to meet residents before and after the building opens, so they can get a better understanding of who will be served
- › Meet with police and ask them to do more regular drive-bys through the neighbourhood to alleviate neighbour concerns and reduce existing suspicious or criminal activities that may already be happening in the area

- › Invite police and fire departments for a tour of the site so they can get to know the site and gain a better understanding of the program when there is no critical incident requiring their attention
- › If the supportive housing provider is new to the community, consider partnering with a well-known and trusted community service provider to provide services on-site to put neighbours at ease
- › Carefully select the construction team and provide clear expectations about appropriate behaviour during the construction process as the construction team will be neighbours' first introduction to the project
- › Ensure there is a plan in place to address any neighbour concerns during construction

Strategies to Build Positive Relationships after Opening

Several common themes emerged around strategies to mitigate and address neighbour concerns that may come forward after the site becomes operational. Many of these focus on how site staff and management may handle concerns. For example:

- › Continue community advisory committee meetings to provide a formal opportunity for neighbours to express ongoing or emerging concerns directly with the building's supportive housing providers
 - Meetings may become less frequent over time as the number of issues for discussion decrease
- › Empower neighbours to keep a watch out and to report suspicious activity or incidents right away
- › Have regular check-ins with neighbours so they know who to contact if they have a concern
- › Be available and ensure any neighbour concerns are addressed immediately so issues do not fester becoming a bigger deal
- › Ensure neighbour concerns are heard and responded to without being defensive, so neighbours feel comfortable coming forward

- › Install security cameras around the site and monitor the site regularly to immediately address inappropriate behaviour
- › Place office space overlooking the street so staff can see what happens outside the building
- › Invite neighbours to events or building celebrations (e.g. summer BBQ) or ask them to volunteer at the site, to meet residents and get a better understanding of who is being served and to breakdown stereotypes
- › Incorporate community amenities and services into the building to help make the building not just fit into the neighbourhood, but become a space for neighbours to congregate (e.g. a ground floor coffee shop or public art)

There are strategies involving residents too that maintain and promote positive relationships with neighbours, including:

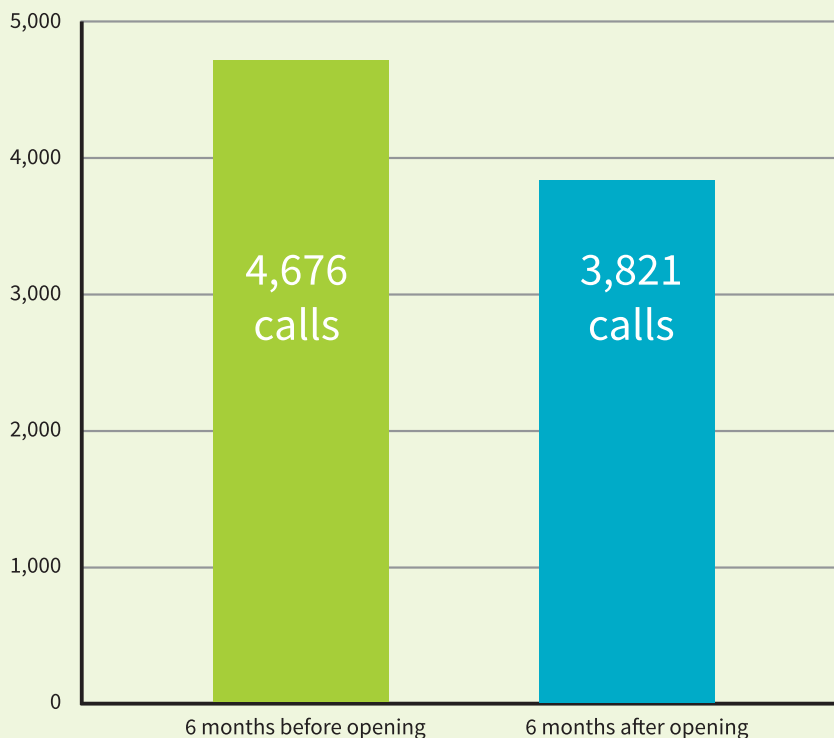
- › Hold residents accountable for their behaviour on-site and in the neighbourhood through agreements such as tenancy agreements, program agreements and good neighbour agreements
- › When a new residents moves in, go over the agreements and ensure they are clear on their responsibilities
- › Remind residents of their obligations on a regular basis
- › Encourage residents to keep a look out and report suspicious activity or incidents right away
- › Encourage residents to volunteer in the neighbourhood (e.g. gardening, shoveling snow, etc.)
- › Encourage residents to access nearby services and amenities
- › Residents can write a letter to the local newspaper to thank neighbours for welcoming them to the area

Police Calls Before and After Opening



Combined quantitative data provided by the local police departments for all five case study sites show a pattern of decreasing calls to police from the neighbourhoods surrounding the sites following supportive housing project openings. While one of the case study sites did see an increase in the number of calls to police after the project opened, the number of calls was typically below five per month. Calls to police decreased in the other four sites in the six months after the projects opened.

Figure 1: Number of Calls to Police in Case Study Neighbourhoods Combined Six Months Before and After Supportive Housing Sites Opened (5616 Fraser Street, Camus Gardens, Cardington Apartments, Christine Lamb, and Timber Grove)



Source: Vancouver, Victoria, Kelowna, Abbotsford, and Surrey Police Departments (combined data), 2014.

Data Limitations

- 1) Police call data was requested for the neighbourhood around the case study sites. Neighbourhood boundary definitions vary by police department.
- 2) Key informant interviews were limited to representatives from each of the case study sites. Most other stakeholder groups, such as neighbours, other community members, funders and residents were not consulted for this study. While this limits study reliability, the key informants selected played a lead role in all aspects of the development and operations, providing valuable, comprehensive insights and perspectives. Clear common themes emerged across the case study sites supporting the validity of the case studies. Quantitative data from police departments also aligned with comments from key informants. Further research could be done to broaden the scope of stakeholders consulted to further validate the views expressed by those consulted for this report.
- 3) The case studies in this series only explore the experience of supportive housing sites that have achieved successful community integration. In the future, additional case studies could be conducted with supportive housing providers that have not fully achieved community acceptance. This would help measure the effectiveness of some of the strategies proposed in this report and identify additional lessons learned for future community integration best practices.

Conclusion

Opposition to the case study sites was mostly limited to the development phase. In all five case studies, neighbours stopped expressing concerns after a few months of the supportive housing sites becoming operational. Now all case study sites enjoy positive relationships with neighbours. Neighbours show support by dropping off donations, volunteering and attending events at the sites, making supportive housing residents welcome in their businesses, and in one case, advocating for additional supportive housing. Through several of the case studies, it was reported that the most vocal opponents to the sites became some of the biggest supporters once the sites were operational.



Timber Grove in Surrey
(Coast Mental Health)



Cardington Apartments in Kelowna
(John Howard Society of the Central and South Okanagan)



Camas Gardens in Victoria
(Pacifica Housing)



Christine Lamb Residence in Abbotsford (SARA for Women, formerly Women's Resource Society of the Fraser Valley)



5616 Fraser Street in Vancouver
(RainCity Housing)

More Information:

To find out more, visit BC Housing's Research Centre at www.bchousing.org to find the latest workshops, research and publications on the key challenges and successes in building and operating affordable, sustainable housing.

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Contact: **Research Centre** Email: research@bchousing.org Phone: 604-439-4135
To find more Building Knowledge Case Studies, visit our website at: www.bchousing.org

BUILDING KNOWLEDGE

January 2020



BC HOUSING
RESEARCH CENTRE

BC Housing engaged Insight Specialty Consulting to research the market impacts of the introduction of non-market housing into a neighbourhood. Thirteen sites were selected from across B.C. representing a range of BC Housing-funded sites.

This report summarizes the key findings of 13 case studies to draw conclusions about the impacts of non-market housing on surrounding property values.

A full technical report is also available, including a more detailed methodology, as well as key findings related to residential sale prices and assessed commercial property values: www.bchousing.org/research-centre/library/community-acceptance

Property Values Case Study Series

Exploring the Impacts of Non-Market Housing on Surrounding Property Values – Overview Report

Introduction

When new non-market housing is announced, neighbours often ask about the impacts on surrounding property values.


By looking at the question, “does non-market housing impact neighbouring property values?” this research explores median assessed residential property values for the most common residential type surrounding the case study sites (see text boxes for further information). In addition, other factors such as land use changes, availability of services, and local and broader economic changes are considered.


Those engaged in the development process can use this research to answer questions from neighbours about property value impacts.

Key Findings

For the majority of the case study sites, median assessed values for the most common residential form in the areas surrounding the case study sites were consistent with or grew more than trends for the surrounding municipality. This suggests non-market housing does not have an impact on surrounding residential property values.

Geographic Area References

 **0-200m area** surrounding the case study site
= **immediate area**

 **0-500m area** surrounding the case study site
= **neighbourhood**

What is Non-Market Housing?

Non-market housing refers to the different housing types along the housing spectrum. This ranges from supportive housing for those experiencing homelessness to affordable rental and home ownership.

Key Findings Regarding Median Assessed Values for the Most Common Residential Type Surrounding the Case Study Site Five Years Post-Opening*



Eleven of the 13 case study sites saw increases in the assessed values in the immediate area, while two sites saw decreases.



Four of the 13 case study sites' assessed values in the immediate area grew faster compared to similar housing in the surrounding municipality.¹



Six of the 13 case study sites' assessed values in the immediate area mirrored trends for similar housing in the surrounding municipality.²



Three of the 13 case study sites' assessed values in the immediate area did not keep pace with the trends of the surrounding municipality (two decreased slightly, while the surrounding municipalities increased slightly; one increased, but at a slower rate compared to the surrounding municipality).³

* The table shows the percentage changes from the year after opening to five years later for all case study properties. For properties that became operational in 2013 or after, 2018 is used as the end year. A five-year window is used to mitigate against the impact of external macroeconomic changes, in particular the 2009 global economic crisis.

Conclusions



Case study site areas typically mirrored or surpassed municipal trends

The property values in the immediate area surrounding the cases study sites typically either mirrored or surpassed similar housing in the surrounding municipalities. This suggests the introduction of non-market housing, such as supportive or affordable rental housing, does not affect residential property values.



Global and local economics are main drivers of real estate trends

Global and local economic factors are the main drivers of residential real estate trends rather than the introduction of non-market housing to the area.

What are the Median Assessed Residential Property Values in this Analysis?

Assessed values are assigned by BC Assessment and are based on market value. Market value is the most probable price at which a property would sell in a competitive market, if listed long enough to become generally known to real estate agents and prospective purchasers. It assumes that both the buyer and seller are willing (i.e. it is not a forced sale) and that both parties are prudent and knowledgeable. For more information, please see the Property Assessment Review Panel's glossary: <https://www2.gov.bc.ca/gov/content/housing-tenancy/owning-a-home/property-assessment-review-panels2/property-assessment/property-assessment-glossary>

Median assessed property values refer to the mid-point of the lowest and the highest observed value to measure the average. Median average is not as influenced by outliers as mean average.

For the purposes of this study, the median assessed residential property values were examined for the most common residential form surrounding the case study sites. In other words, if single detached homes make up the largest number of buildings surrounding the case study site, the analysis looks at median assessed property values for detached homes. If stratified residential units make up the largest number of buildings surrounding the case study site, the analysis looks at median assessed property values for stratified units.

¹ Faster pace refers to the median assessed values in the surrounding 0-200m areas that increased at a rate of over five percentage points compared to the surrounding municipality.

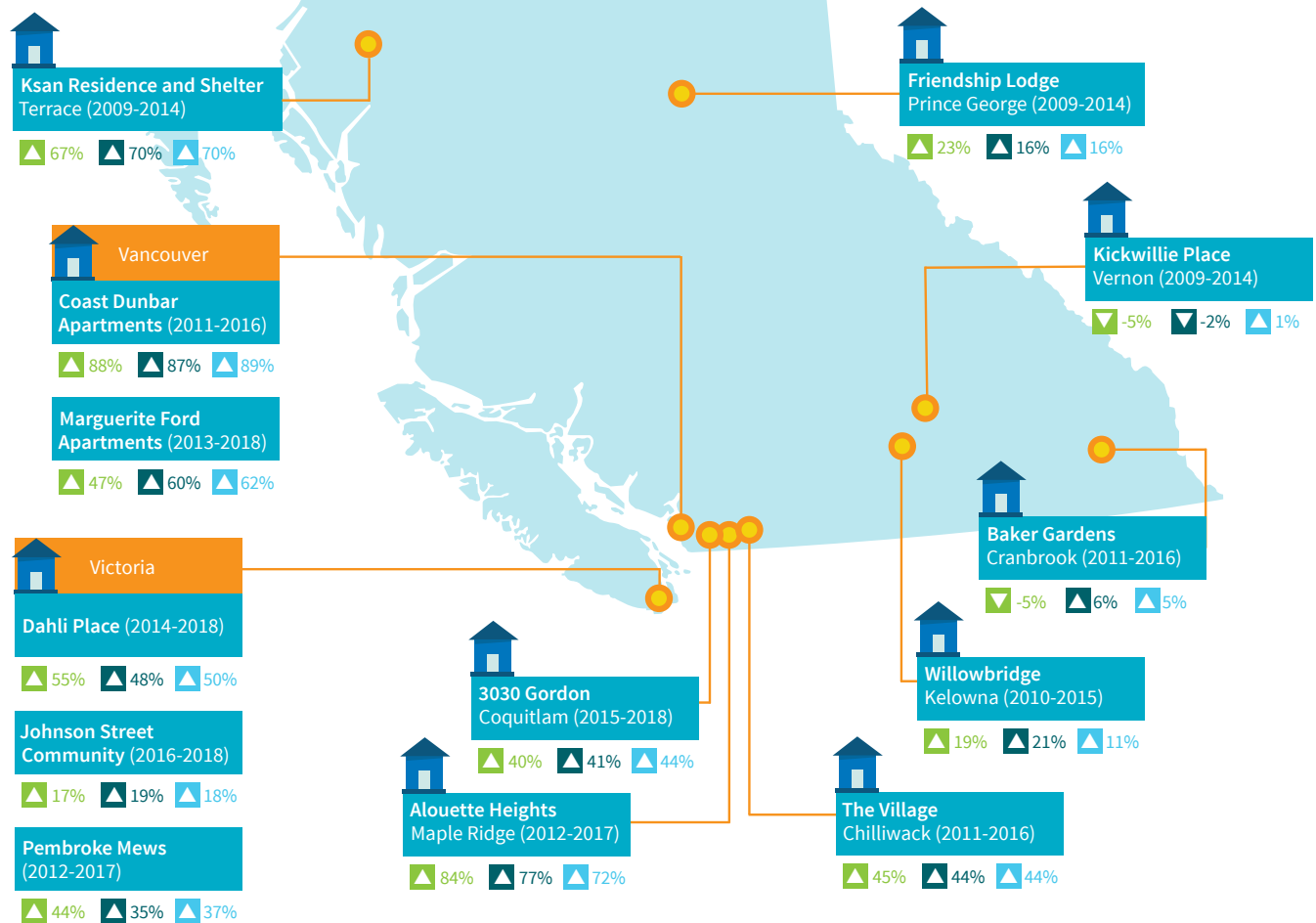
² Change to the median assessed values in the surrounding 0-200m was within five percentage points compared to the surrounding municipality.

³ Change to the median assessed values in the surrounding 0-200m increased or decreased and was at least six percentage points lower compared to the surrounding municipality change in the same time period.

Additional Information

CASE STUDY SITES	Municipality	Number of Units	Housing Type
3030 Gordon	Coquitlam	60	30 Transitional Housing Units and 30 Emergency Shelter Beds
Alouette Heights	Maple Ridge	46	Supportive Housing
Baker Gardens	Cranbrook	36	Low Income Seniors
Coast Dunbar Apartments	Vancouver	51	Supportive Housing
Dahli Place	Victoria	68	Market and Below Market(not subsidized) for Individuals and Families
Friendship Lodge	Prince George	30	Low Income Singles
Johnson Street Community	Victoria	147	Supportive Housing
Kickwillie Place	Vernon	40	Indigenous Families
Ksan Residence and Shelter	Terrace	24	8 Transitional Housing Units and 16 Emergency Shelter Beds
Marguerite Ford Apartments	Vancouver	147	Homeless Housed
Pembroke Mews	Victoria	25	Low Income (singles and couples)
The Village	Chilliwack	33	Supported - Homeless and Youth
Willowbridge	Kelowna	40	Supportive Housing

PERCENTAGE CHANGE IN MEDIAN ASSESSED VALUES FIVE YEARS POST-OPENING FOR MOST COMMON SURROUNDING RESIDENTIAL PROPERTY TYPE - ALL CASE STUDY SITES



PERCENTAGE CHANGE IN MEDIAN ASSESSED VALUES FIVE YEARS POST-OPENING FOR MOST COMMON SURROUNDING RESIDENTIAL PROPERTY TYPE - ALL CASE STUDY SITES ^{4,5}

Case Study Site	Municipality	Years (Operational Start Date to Five Years Post Operational Start Date) ⁶	Surrounding 0-200m		Surrounding 0-500m		Surrounding Municipality	
			% Change in Property Values	Number of Properties ⁷	% Change in Property Values	Number of Properties	% Change in Property Values	Number of Properties
3030 Gordon	Coquitlam	2015 - 2018	40%	39	41%	361	44%	24028
Alouette Heights	Maple Ridge	2012 - 2017	84%	37	77%	290	72%	19423
Baker Gardens	Cranbrook	2011 - 2016	-5%	15	6%	324	5%	5492
Coast Dunbar Apartments	Vancouver	2011 - 2016	88%	147	87%	1074	89%	75312
Dahli Place	Victoria	2014 - 2018	55%	69	48%	356	50%	8857
Friendship Lodge	Prince George	2009 - 2014	23%	49	16%	355	16%	19072
Johnson Street Community	Victoria	2016 - 2018	17%	687	19%	2164	18%	16168
Kickwillie Place	Vernon	2009 - 2014	-5%	20	-2%	225	1%	9673
Ksan Residence and Shelter	Terrace	2009 - 2014	67%	39	70%	159	70%	3120
Marguerite Ford Apartments	Vancouver	2013 - 2018	47%	541	60%	3348	62%	102870
Pembroke Mews	Victoria	2012 - 2017	44%	21	35%	772	37%	16168
The Village	Chilliwack	2011 - 2016	45%	23	44%	158	44%	17009
Willowbridge	Kelowna	2010 - 2015	19%	23	21%	204	11%	27175

Source: Landcor Data Corporation, 2018

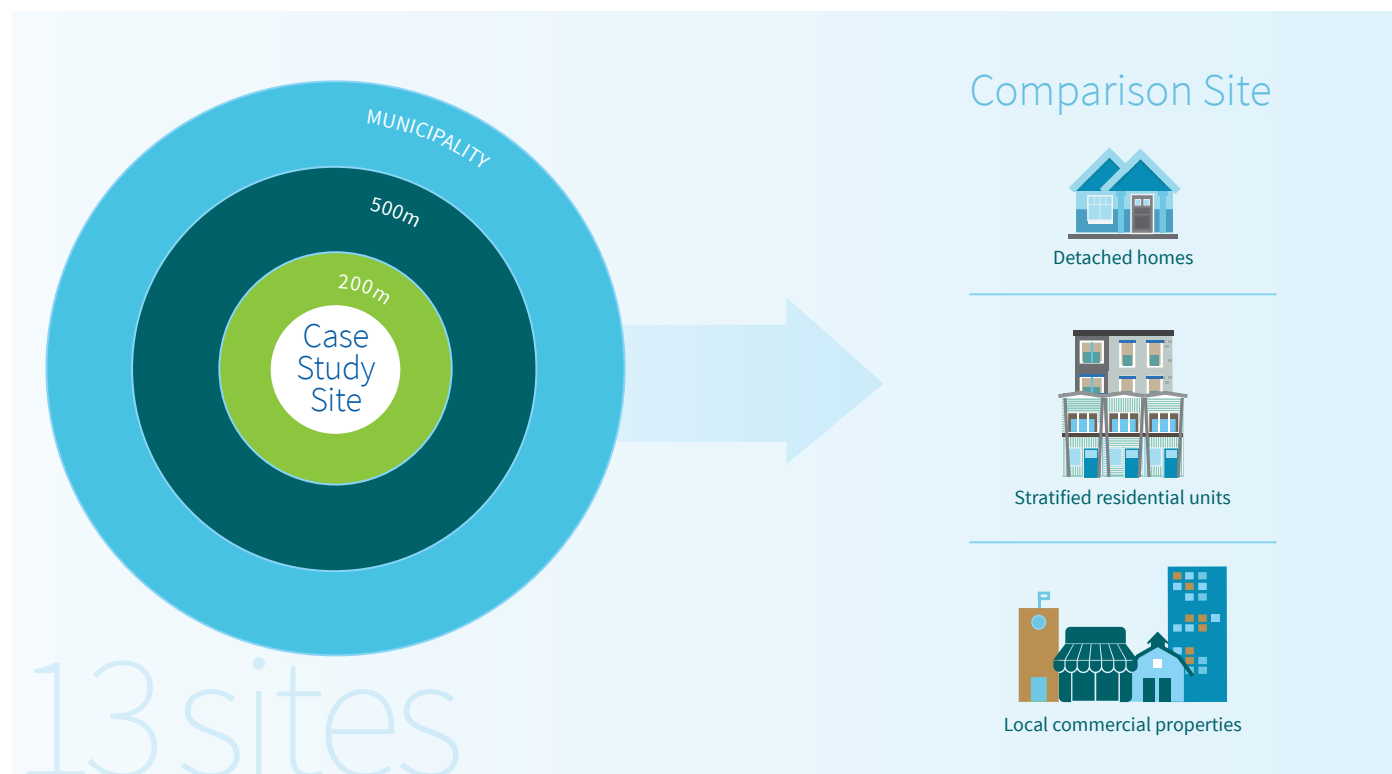
⁴ The most common surrounding residential property type is detached homes with the exception of Johnson Street Community, Marguerite Ford Apartments and Pembroke Mews for which stratified residential units is used for analysis.

⁵ Kickwillie's assessed values show a decline, but when looking at sales data for the slightly larger neighbourhood (0-500m), we see an increase that mirrored the municipal trend. Reporting with caution is recommended for Kickwillie's assessed values due to the significant difference between assessed and sale findings. Baker Gardens' sales in the neighbourhood did keep pace with the surrounding municipality, and while the assessed values in the immediate area did decline during the reporting period, the results were not notably out of sync with the trends of the surrounding municipality. The immediate area surrounding Marguerite Ford did see increasing assessed values but the increase did not keep pace with the surrounding municipality during the reporting period. By the end of the reporting period, however, the assessed values in the immediate area (which was in development during the reporting period) surpassed the values for the surrounding municipality.

⁶ When calculating percent changes for the years of analysis, the following year of assessment data was used, as the assessment refers to the property value of the previous year. For example, if a case study site opened in 2012, assessment data from 2013 would be compared to assessment data from 2018 to calculate the change over time. For sites not completed in time for the cut-off assessment year of 2018 (referring to 2017 values), data is provided up to 2018 assessment year, so may not contain five full years of trend data.

⁷ 'Number of Properties' references the number of assessed properties in the final year of the reporting period. This data contextualizes the assessment data by providing information about potential volatility due to small numbers of properties at some sites at the smaller geographic level.

RESEARCH METHODS



Data for this research was sourced through Landcor Data Corporation using data on assessed values. Key informant interviews were conducted with stakeholders, such as representatives from the non-profit housing provider, BC Housing, local governments, neighbours, and local real estate companies involved with the case study sites to provide context to the data. Three types of properties were examined: detached homes, stratified residential units, and local commercial properties. This summary report shows the key findings for median assessed property values for the most common residential type surrounding the case study sites. Trends for 0-200m, 0-500m, and municipality were compared to evaluate impacts of the introduction of non-market housing to an area. A full technical report showing a more detailed methodology and key findings for median residential sales and median assessed commercial property values is available at: <http://www.bchousing.org/research-centre/library/community-acceptance>.

Thirteen sites located across British Columbia in small and large communities were part of the research. These sites serve a variety of residents along the housing spectrum. The case study sites received differing levels of community interest and concerns when they were introduced. In common, they were all built in the past decade but all sites were constructed within a timeframe that allows for at least two years of analysis post-opening.

Assessment data is a suitable data source as values are updated annually and based on market transactions. They also reflect local conditions as property owners have the opportunity to inform BC Assessment of changes that could affect property values. Assessed values are based on the July 1, 2017 valuation date, and sales prices are current as of April 2018.

To determine factors driving the real estate markets in a selected community, the researchers interviewed key stakeholders and reviewed published information on communities. Some possible drivers include:



› General market movements



› Economic climate, and the strength of primary employers



› Gentrification of neighbourhoods



› Widespread rezonings or changes to character



› Introduction of other land uses, besides non-market housing



› Environmental factors such as flood zones, landslides, etc.

RESEARCH LIMITATIONS

The modelling selected detached homes, stratified residential units, and local commercial properties for evaluation. Other property types were considered for analysis but were rejected. It was inappropriate to examine them in this context for the reasons outlined below:

- › Rental apartments are purchased by investors who may not consider neighbouring uses except insofar as they affect rental revenue. The impact to market values for these assets is best considered in the rental value analysis. It is unlikely that there would be sufficient transactions to derive a conclusion.
- › Townhouse, duplex and triplex assets would either be considered in the stratified residential units grouping, or as rental apartments. It is unlikely that there would be sufficient transactions to derive a conclusion.
- › Schools, day-cares, hospitals, and other institutional property types do not transact on the open market, and as such would have no market response to non-market housing.
- › Large scale commercial and industrial assets are generally transacted for their income potential by purchasers who will not occupy the space directly. Therefore, their purchasing decisions are not as directly reflective of non-market housing. It is also unlikely that there would be sufficient transactions to derive a conclusion.



Alouette Heights, Maple Ridge

Other limitations include:

- › Sample sizes were small, limiting the ability to do regression analysis and standard deviation calculations. Based on the data available, a causal relationship between the introduction of non-market housing and property values cannot be made.
- › As mentioned, large scale commercial and industrial assets are generally transacted for their income potential by purchasers who will not occupy the space directly. Therefore, their purchasing decisions are not as directly reflective of non-market housing. This research includes analysis of smaller local commercial properties, however the limitation for larger commercial or industrial properties may still apply to this smaller more local commercial property type. Smaller more local commercial property analysis is included in this report, but should be analyzed with caution, as the businesses operating in these properties may be tenants rather than owners of the property. Exploring indicators beyond property values that may have informed impacts of non-market housing on local businesses is outside the scope of this research.
- › Observed sale and assessed value changes may have arisen due to compositional shifts in the sales/properties which make up the sample.
- › The data are not adjusted to account for differences in floor area between household units, thus larger homes can affect median value. For example, if a re-zoned single-family home which was originally valued at \$1 million, is redeveloped into a 10-unit residential property with each unit valued at \$300,000, this will bring the median assessed values in the area down, even though the land became more valuable and use was intensified, because there are more units at a lower median assessed value.
- › Assessed values are model-estimated using Computer Assisted Mass Appraisal (CAMA). This can lead to issues such as model smoothing, where the model used to generate the estimated property values constrains estimates into a range deemed appropriate by the modeler. This can cause systematic under/over estimation of values or lags in trends. BC Assessment periodically adjusts its CAMA valuation model. For example, though BC Assessment adjusts the system regularly, it made significant adjustments in 2016 to better reflect sales values. The model was not keeping pace with significant changes in sales values. Despite being more reflective of current sales trends, adjustments to the model mean there was a significant change in 2016 assessed values compared to the previous year in some areas of B.C. These changes were due to a time lag with the model. Case study sites with an analysis period over 2016 may be affected by this change.

More Information:

BC Housing's Research Centre works in collaboration with housing sector partners to foster excellence in residential construction and find innovative solutions for affordable housing in British Columbia. Sharing leading-edge research, advances in building science, and new technologies encourages best practice. The Research Centre identifies and bridges research gaps to address homelessness, housing affordability, social housing challenges and the needs of distinct populations. Mobilizing knowledge and research expertise helps improve the quality of housing and leads to innovation and adoption of new construction techniques, Building Code changes, and enhanced education and training programs. Learn more about the Research Centre at www.bchousing.org. Sign up to receive the latest news and updates at www.bchousing.org/subscribe.

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Contact: **Research Centre** Email: research@bchousing.org Phone: **604-439-4135**

To find more Building Knowledge Summary Reports, visit our website at: www.bchousing.org

BUILDING KNOWLEDGE



BC HOUSING
RESEARCH CENTRE

Full reports

The Social and Economic Value of Scattered-Site Supportive Housing in B.C.

The Social and Economic Value of Dedicated-Site Supportive Housing in B.C.

The Social and Economic Value of Affordable Housing Development Supported through the BC Housing Community Partnership Initiative





Social Return on Investment (SROI) Series

Overview of The Social and Economic Value of Supportive and Affordable Housing in B.C.

BC Housing commissioned three studies to examine the social and economic value created by affordable and supportive housing. All three studies follow the internationally standardized Social Return on Investment (SROI) methodology.

SROI analysis combines quantitative, qualitative, and participatory research techniques to determine the value of outcomes from different stakeholder perspectives. The result is a ratio that compares the total amount invested in a social initiative to the financial value of social and economic outcomes that are achieved, showing – in monetary terms – the financial benefit of social investments.

Findings from all three studies show that a range of significant social and economic value is created through investment in affordable and supportive housing. The studies took a conservative approach in determining the value created: the actual value created by the programs is likely higher than the research findings. Outcomes in the SROI analysis were identified and valued for the following stakeholders:

Stakeholder	Key Outcomes
Affordable/Supportive Housing Residents	 Housing stability, increased disposable income, decreased utility costs, increases in personal wellbeing, healthier living conditions, ability to engage in employment, reduced substance use, increased safety, and social connections.
Local community and neighbourhood	 Employment generated during construction ¹ , increased local spending, and less homelessness.
Landlords ²	 Positive and stable tenancies, decreased loss of income, and less time spent due to rent arrears, repairs or evictions.
Government	 Increased revenue from local permits and taxes ¹ and cost reallocations due to decreased use of services such as emergency health, hospitals, criminal justice, child welfare, and other social services such as homeless shelters and basic needs supports.

¹ Applies only to affordable housing development supported through CPI.

² Applies only to scattered-site supportive housing.



SROI of Affordable Housing Construction

The Social and Economic Value of Affordable Housing Development Supported Through the BC Housing Community Partnership Initiative: A Social Return on Investment Analysis (2016)

This study explores the social return on investment (SROI) of constructing affordable housing in B.C. Four affordable housing developments receiving investment from BC Housing were examined as case studies.

BC Housing partners with non-profit societies, government agencies and community organizations through the Community Partnership Initiative (CPI) to facilitate the development of affordable housing in communities across British Columbia. The CPI arranges mortgage financing to create self-sustaining affordable housing that does not require ongoing operating subsidies. BC Housing’s capacity to arrange financing with favourable terms is the cornerstone of the program.

Affordable housing developed through CPI is intended for people who have low and moderate incomes. Rents may be structured as rent geared to income, fixed rent and /or up to affordable market rent.

The four affordable rental housing projects that were examined as case studies in this SROI study were:

Case Study	Operated By	Location	# of Units
Dahli Place	Greater Victoria Housing Society	Victoria	68
Pembroke Mews	Greater Victoria Housing Society	Victoria	25
Qualicum Park Village	Qualicum Parksville Kiwanis Housing Society	Qualicum Beach	34
Ellendale	Elizabeth Fry Society of Greater Vancouver	Surrey	22

RESULTS:

For every dollar invested in affordable rental housing through CPI, between two to three dollars in social and economic value is created.



SROI of Supportive Housing Operations

The Social and Economic Value of Dedicated-Site Supportive Housing in B.C.: A Social Return on Investment Analysis (2018)

This study explores the social return on investment (SROI) of operating dedicated-site supportive housing in B.C. Five dedicated-site supportive housing programs receiving investment from BC Housing were examined as case studies.

To support individuals experiencing — or at risk of experiencing — homelessness in transitioning from the streets, shelters, or inadequate housing to long-term housing stability in the community, BC Housing invests in community-based non-profits to operate supportive housing buildings across the province (dedicated-site supportive housing).

Dedicated-site supportive housing: where a building exclusively offers supportive housing units, with supports directly available on-site as well as through outreach workers and connections to off-site services.

Each case study considered the total 2016-2017 operational budget for the supportive housing building. For some programs, operational costs are covered entirely by BC Housing and rents paid by the residents, while others include additional funding from other agencies.

The five dedicated-site supportive housing projects that were examined as case studies in this SROI study were:

Case Study	Operated By	Location	# of Units
The Budzey Building	RainCity Housing	Vancouver	147
Cardington Apartments	John Howard Society of Central & South Okanagan	Kelowna	30
The Kettle on Burrard	Kettle Friendship Society	Vancouver	140
Queens Manor	Victoria Cool Aid Society	Victoria	36
Wesley Street	CMHA Mid Island Branch	Nanaimo	36

RESULTS:

For every dollar invested in **dedicated-site supportive housing**, approximately four to five dollars in social and economic value is created.





The Social and Economic Value of Scattered-Site Supportive Housing in B.C.: A Social Return on Investment Analysis (2018)

This study explores the social return on investment (SROI) of operating scattered-site supportive housing in B.C. Five scattered-site supportive housing programs receiving investment from BC Housing were examined as case studies.

To support individuals experiencing — or at risk of experiencing — homelessness in transitioning from the streets, inadequate or emergency housing to long-term housing stability in the community, BC Housing invests in community-based non-profits to provide programming and rent supplements through the Homeless Outreach and Homeless Prevention Programs (HOP and HPP respectively).

Scattered-site supportive housing: residents are supported in securing market rentals scattered throughout the community (usually with a rent supplement) and supports are provided by an outreach worker to residents where they live or through supported connections to other services.

Each case study considered the total 2016-2017 scattered-site program budget, including rent supplements, staffing, administration and landlord liaison, and rents paid by residents (usually shelter component of BC income assistance). For some programs, operational costs are covered entirely by BC Housing HPP/HOP investment, while others receive funding from BC Housing and other agencies.

The five scattered-site supportive housing projects that were examined as case studies in this SROI study were:

Case Study Housing Provider	Location	# of Residents Supported in One Year
CMHA Kelowna	Kelowna	54
CMHA Mid-island Branch	Nanaimo	30
Lookout Housing & Health Society	Surrey	75
MPA Society	Vancouver	160
Pacifica Housing	Victoria	286

RESULTS:

For every dollar invested in scattered-site supportive housing, approximately three to five dollars in social and economic value is created.





Corporation of the District of North Vancouver
355 West Queens Road
North Vancouver, British Columbia V7N 4N5
Canada

Your File #: PRE2023-
00006
eDAS File #: 2023-04628
Date: Sep/28/2023

Attention: James Craxton Project Engineer, Development Engineering

Re: Proposed Bylaw 8643 for:

PID: 011-549-751 |

LOT 6 BLOCK 122 DISTRICT LOT 553 PLAN 4458 EXCEPT PLAN EPP67951

PID: 011-549-807 | LOT 9 BLOCK 122 DISTRICT LOT 553 PLAN 4458

EXCEPT PLAN EPP67951

PID: 011-549-785 | LOT 8 BLOCK 122 DISTRICT LOT 553 PLAN 4458

EXCEPT PLAN EPP67951

PID: 011-549-777 | LOT 7 BLOCK 122 DISTRICT LOT 553 PLAN 4458

EXCEPT PLAN EPP67951

The Ministry of Transportation and Infrastructure has had the opportunity to process and review this referral under the abovementioned file number and has no concerns with the proposed rezoning.

Recognizing the need for affordable housing in the District of North Vancouver, MOTI is pleased to grant Preliminary Approval for the rezoning for one year pursuant to section 52(3)(a) of the *Transportation Act*.

If you have any questions please feel free to email myself at Tyler.Gaudry@gov.bc.ca.

Yours truly,

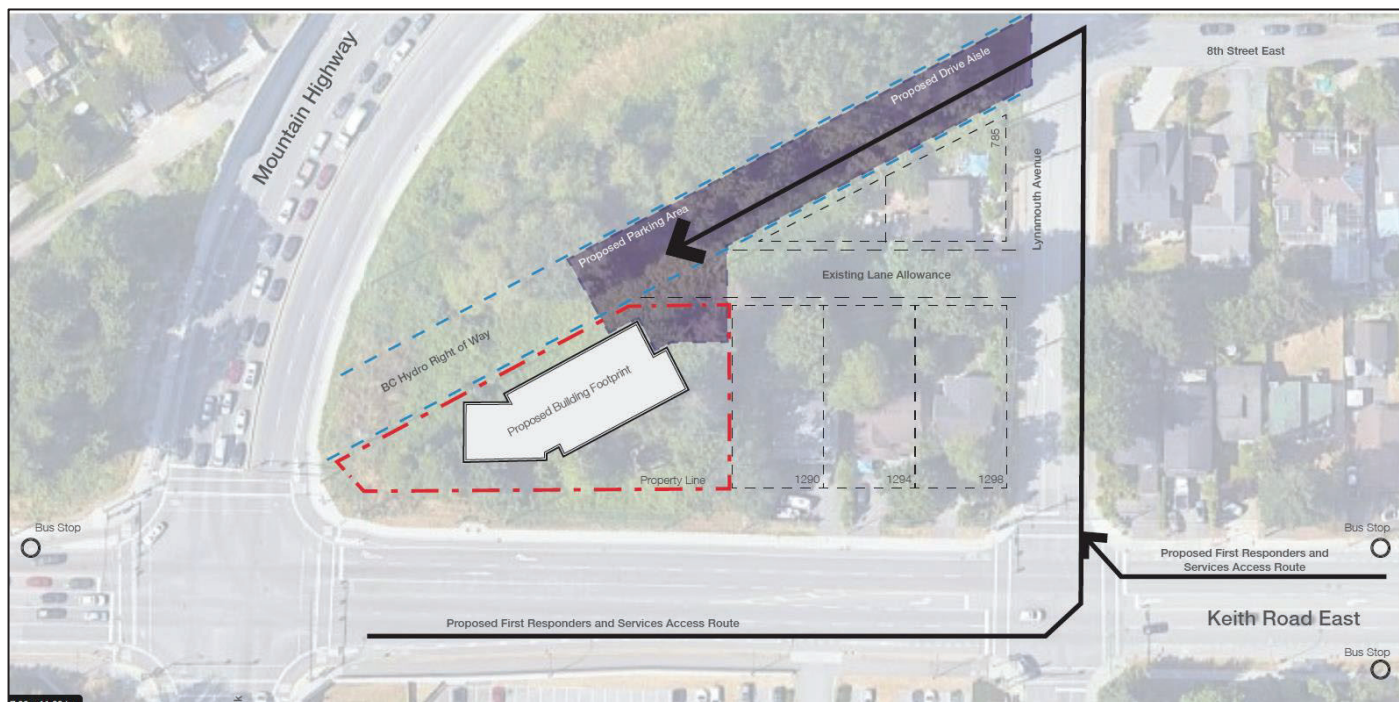
Tyler Gaudry
Senior Development Officer

Local District Address
Lower Mainland District 310-1500 Woolridge Street Coquitlam, BC V3K 0B8 Canada Phone: (604) 527-2221 Fax: (604) 527-2222

East Keith Public Hearing Council Questions and Responses

November 21st and 22nd, 2023

Questions related to Rezoning Bylaw 1430, Bylaw 8643 to rezone the subject site on the 1200 Block of East Keith Road to Comprehensive Development Zone 146 to permit an apartment building of up to 6 storeys and 1.75 FSR



Above: DRAFT site plan and access diagram

Question: Where will parking be located? Residents and staff?

Answer: Vehicle access to the site is proposed to be from the road allowance at the rear. Loading and parking is proposed to be in and adjacent to this road allowance. Sufficient parking will be available for staff, residents and visitors.

Question: Mention was made of a B.C. Hydro right of way behind the site. Are there plans to eventually open this right of way to provide access?

Answer: Yes, the rear road allowance is 24 metres wide and includes a BC Hydro right of way that runs along its southern edge. This road allowance is wide enough for the hydro lines and a road access.

Question: Can staff advise of any issues or challenges that surround emergency access, egress ingress, etc.

Answer: Preliminary review by the design team and District staff teams including Engineering, Fire and Rescue Services, and Building staff have demonstrated that this building has options for emergency and non-emergency access and can meet the requirements of the BC Building Code and Fire Code.

The design team (in conjunction with staff) are currently exploring the optimum access solutions for emergency access to determine if the best solution is from the road allowance at the rear or a parking pocket at the front on East Keith Road. Early engineering review has determined that both are feasible.

Question on Process:

Question: Can staff please provide a recap of the decision making process. Including how many public input sessions, both virtual and in person, and how many people attended.

Answer: The decision making process revolves around Council's consideration of the proposed Rezoning Bylaw 8643, which has been given 1st Reading and is currently going through the Public Hearing process and will be brought back for Council's consideration of 2nd and 3rd Reading after the Public Hearing closes.

The District asks applicants to hold a public information meeting in addition to the Public Hearing process. In this case, in addition to the standard information on the website, and the in-person public information meeting held on November 8th, four additional virtual public information meetings were held, and two stakeholder workshops were held. These additional meetings were supplemental and not a requirement of the bylaw process. Information on the public information meetings and the associated attendance and input is included in the Public Hearing materials.

The meetings included:

- Supplemental: Tuesday October 17th – Online Information Session (32 attendees)
- Supplemental: Wednesday October 25th – Online Information Session (33 attendees)
- Supplemental: Thursday November 2nd – Virtual Stakeholder Meeting (Montessori School) (34 attendees)
- **Required: Wednesday November 8th - In-Person Open House** (approx. 200 attendees)
- Supplemental: Thursday (daytime) November 9th – Online Information Session (19 attendees)
- Supplemental: Tuesday November 14th – In Person Stakeholder Meeting (Carlton at the Club) (23 attendees)
- Supplemental: Wednesday November 15th – Online Information Session (21 attendees)

Questions about Supportive Housing Sites, Site Selection and Project Size:

Question: Can staff describe the process by which this site was selected for this project?

Answer: This supportive housing project is only possible with the contribution of land from the District of North Vancouver. The District looked at District owned lands that were designated for residential use in the Official Community Plan, with a focus on those that were designated for low rise apartments. The site also had to be the right size for this project which discounted many other sites.

The District is working with BC Housing and others on a range of social and supportive housing projects so the District reviewed a variety of sites for potential housing projects recognizing that some sites were better for other projects given their specific characteristics. Already approved as part of this work is a supportive housing project in Norgate, and social housing projects in Delbrook and Lynn Creek.

Question: Could staff please provide the criteria for selecting a supportive housing site?

Answer: Supportive housing locations are determined based on services, amenities and availability of property.

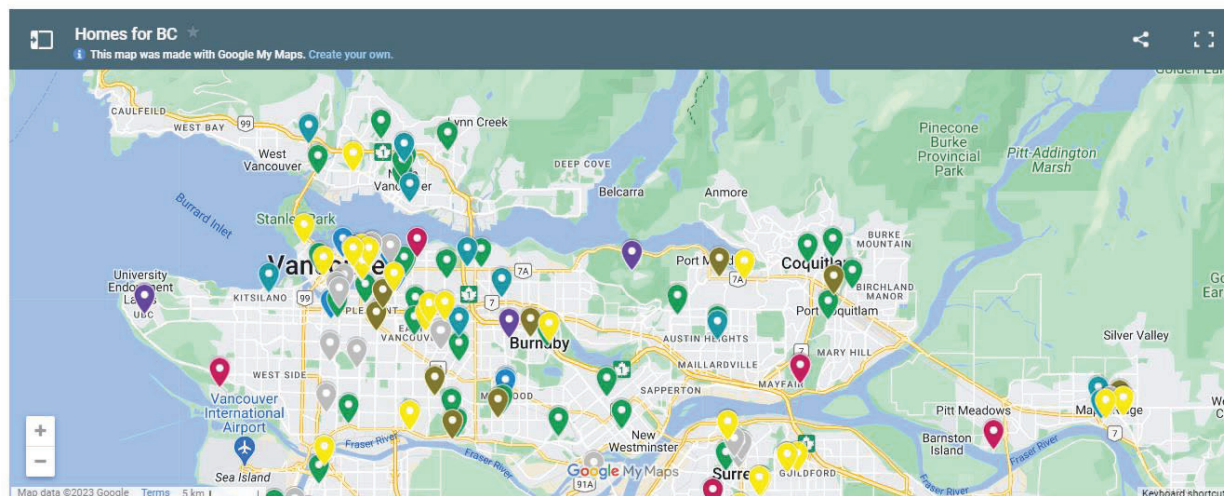
- Housing for people experiencing homelessness needs to meet people where they are, in the community they live in providing connection to the resources that people need to work towards living a healthy, stable life.
- Access to community services and transit is key for people without homes, but so is feeling part of a neighbourhood in North Vancouver. With a remote site, there is no access to services, no regular transit access, and no integration with the community, which is essential for people who are working towards a healthy, stable life.
- Studies of people in supportive housing have shown that being connected to friends and family in their home community improves residents' quality of life and helps people on their journey.

Question: Could staff please comment on the proposed size and number of units as compared to other supportive housing projects?

Answer: As a 65 unit project, this is considered a right sized project for North Vancouver and is similar to other supportive housing projects in BC though smaller than some recent projects in Vancouver and Burnaby. The project is similar sized to recent projects in Chilliwack, Abbotsford, Hope, and Port Moody. This project is also similar to the 60 unit supportive housing project at West 16th Street and Lloyd Avenue.

Question: Please elaborate on the Travelodge situation and any of the supportive projects in Vancouver Burnaby etc (This question is answered in two parts – for information on the Travelodge see page 5)

Answer: to view other social and supportive housing projects funded in partnership with BC Housing visit: <https://www.bchousing.org/projects-partners/Building-BC/homes-for-BC>. The excerpt below shows supportive housing project in yellow and shows a range of projects in Vancouver, Burnaby and elsewhere in the Lower Mainland. And includes the District's supportive housing project in Norgate.



Questions Related to Services and Funding For the Future Operation of the Proposed Building at East Keith Road

Question: What type of funding will be provided yearly for support services for the residents of the project.

Answer: BC Housing will provide access to operating funding to cover staffing, meals, maintenance and programming costs. Estimated to be \$2.5M annually. This is for all 65 units. Vancouver Coastal Health will cover clinical costs for 5 complex care units in the order of \$1.7 million.

Question: What is the assessed value of the District land involved and what is the total amount of funds being offered by the Provincial Government to the proposed project?

Answer: BC Assessment value for the land is \$8,882,000.

The Supportive Housing Fund provides capital construction costs that are benchmarked at \$515K per unit, or \$33,475,000 for the 65 units.

The operating funding *annually* from BCH alone will be \$2.5M annually over a 60 year program.

In addition, this project also receives support from Vancouver Coastal Health in the order of \$1.7 M.

Question: Please clarify exactly what the injection site will be and who will be allowed to use it. And why it is necessary?

Answer: This is a housing project and does not include services for the public. **This is not a safe injection site.** Typically, the term “safe injection site” refers to a public clinic and this will not be part of this project. Any services provided on site are only for the residents and this is a key distinction as this project will not be a hub for people looking for services but rather a private residence.

As part of a harm reduction practice that is proven to help save lives, there will be a space available to residents only that has staff oversight where residents can use drugs more safely. This space is called an overdose prevention site (OPS). The purpose of the OPS is to support the safety of residents who have a relationship with substances – this is a critical as it saves lives given the current opioid crisis.

Questions Related to the Travelodge and Residents of the Existing Temporary Housing at the Travelodge site:

Question: Can staff describe the Travelodge example, what it was originally used for and the challenges of the building and site?

Question: Please explain circumstances of why travel lodge was set up and how it compares with features of 1200 Keith?

Question: Please elaborate on the Travelodge situation and any of the supportive projects in Vancouver Burnaby etc (Two part question, with the second part answered on page 4)

Answer: The Travelodge is a former motel that is being used as temporary, emergency housing.

For background, the Travelodge opened during the COVID pandemic as an overflow site to the Lookout Emergency Shelter because of the public health restrictions (e.g. need for social distancing and isolating for persons with COVID-19). Travelodge at that time was operated by Lookout Housing and Health Society. Given the continued need for additional housing options, the lease with the Travelodge was expanded and it is now operated as temporary housing by Lu'ma Native Housing Society.

In contrast, this proposed project at East Keith Road, if approved, would provide permanent homes in a purpose built secure supportive housing building. Probably the biggest difference

between these two styles of buildings is that the proposed facility would have a secure entrance with staff oversight 24-7. In addition, the proposed facility has communal spaces to provide key services to the residents including kitchen and dining areas.

Ryder Architecture, the architects working with the partners on the early designs for this facility, have extensive experience in supportive housing projects and the proposed building will address crime prevention through environmental design principles while still fostering inclusion and community among residents.

Question: Will all the residents at the Travelodge be moved to the Keith Rd project?

Answer: This depends on both eligibility and timing.

Tenants for BC Housing units are chosen through a Coordinated Access and Assessment Table which includes the non-profit operator and other community service providers. The assessment reviews a potential tenant's history (or risk) of homelessness and defines their individual needs with the goal of maintaining stable housing.

People living in the local area aged 55 and over, and experiencing long-term homelessness, and/or those with high vulnerability are prioritized for housing. This assessment process also matches residents with the appropriate services provided. It also ensures the proposed project has a balanced mix of residents. There may be tenants of temporary facilities that are not a good fit for this building.

This question also hinges on timing. Some residents may have opportunities to move into permanent homes before the East Keith Road site opens. Two residents have already moved from the Travelodge site into the new housing facility opened by the Squamish Nation on Capilano Road and a further 8 are on the waitlist.

Question: Please clarify the deaths at the Travelodge?

Answer: 6 people died from natural causes and 2 from drug overdose.

Questions about Community Benefits as a result of opening a supportive housing project:





Question: Meagan from VCH (I believe) made a comment that \$1 invested in supportive housing reaps \$4-\$5 benefit back to the community. Can she elaborate on that?

Answer: This is referring to the finding of a BC Housing Research Centre study, called "[The Social and Economic Value of Dedicated-Site Supportive Housing in B.C. - A Social Return on](#)

[Investment \(SROI\) Analysis](#)", published in November 2018. (A copy of this summary is part of the Public Hearing materials.)

Social return on investment analysis compares dollars invested in a project to the financial value gained from social and economic outcomes of a project. These benefits (outlined in the info-graphic below) are typically:

- Housing stability, increased wellbeing, ability to engage in employment, reduced substance use, and increased safety
- construction jobs, and increased local spending
- stable tenancy, decreased loss of income, and decreased loss of revenue to landlords due to repairs or evictions
- decreased public costs due to reduced ambulance calls, decreased hospital stays, decreased criminal justice costs, and decreased social services

Stakeholder	Key Outcomes
Affordable/Supportive Housing Residents	 Housing stability, increased disposable income, decreased utility costs, increases in personal wellbeing, healthier living conditions, ability to engage in employment, reduced substance use, increased safety, and social connections.
Local community and neighbourhood	 Employment generated during construction ¹ , increased local spending, and less homelessness.
Landlords ²	 Positive and stable tenancies, decreased loss of income, and less time spent due to rent arrears, repairs or evictions.
Government	 Increased revenue from local permits and taxes ¹ and cost reallocations due to decreased use of services such as emergency health, hospitals, criminal justice, child welfare, and other social services such as homeless shelters and basic needs supports.

Five case studies of dedicated-site supportive housing programs receiving investment from BC Housing are featured: The Budzey Building, Vancouver; Cardington Apartments, Kelowna; The Kettle on Burrard, Vancouver; Queens Manor, Victoria and Wesley Street, Nanaimo.

The research results show that *"For every dollar invested in dedicated-site supportive housing in B.C., approximately four to five dollars in social and economic value is created."*

To summarize, these case studies illustrate the economic value of community benefits from a supportive housing project outweighs the cost of constructing and operating that project.

Questions Related to the Selection of Future Residents of the Supportive Housing Project:

Question: Can we please explain the screening process for occupancy in more detail?

Answer: BC Housing, Vancouver Coastal Health and Lu'ma Native Housing Society will collaborate with local service providers on a thorough assessment process to ensure an appropriate mix of residents with the right supports live in the proposed supportive housing.



Local services providers, community partners and government agencies with staff in the field work together through the *coordinated access and assessment process*. This process reviews potential tenants' needs, against the availability of supports, and the existing tenant mix to help set individuals up for success. Community partners can speak to a person's health, level of vulnerability and individual needs helping match people to the right services. In addition, prospective tenants go through a standardized assessment and a face to face interview.

Criteria for Residents:

- Adults over the age of 19
- Residents of the North Shore (which may include people from the North Shore temporarily living in other locations until such time as North Shore housing is available)
- People who are homeless or are at risk of becoming homeless
- People who would benefit from a supportive housing program, and whose needs match the support services available. (Note, this type of housing is not for everyone, depending on health and wellness some people will need different types of housing or institutional programs. Supportive housing is one tool in the housing continuum.)
- People who have chosen this type of housing as they wish to work towards living a healthy and stable life in a permanent home.

Lu'ma Native Housing Society staff explain that in practice, *"our coordinated access team will work closely with the community homeless service providers in the referral and tenant selection process for this proposed building. We will invite key community partners to submit housing applications - Key partners will include Vancouver Coastal Health, the Ministry of*

Social Development and Poverty Reduction, the Canadian Mental Health Association, the Squamish Nation, the Tsleil-waututh Nation, and Lookout Housing and Health Services Society. As referrals are coming from these key community partners, we are tapping into the local body of knowledge of who is from the community and in need of supportive housing."

Question: Will there be a variety of residents screened for this project as opposed to the perception that this will be housing only for males?

Answer: This facility is for people of all genders.

Question: Is a criminal record check ever part of this kind of housing? Will residents with serious criminal backgrounds be admitted to this housing? Will residents with significant mental health conditions be admitted to this housing?

Answer: As part of the *Coordinated Access and Assessment* process (outlined above) prospective tenants are assessed to determine if they are a good fit for supportive housing, recognizing that supportive housing provides homes to vulnerable people who need to feel safe. This housing is not intended for everyone, and it is recognized that some people may not be a good fit for supportive housing.

Criminal record checks should not be a requirement of any housing as that is counter to the Canadian Charter of Rights and Freedoms and other components of the Constitution Act.

Tenants of this proposed building are afforded the same rights and responsibilities of all renters in BC, through the Residential Tenancy Act.

Question: What type of connection to the North Shore would be required for someone to live in this housing?

Answer: The Coordinated Access team works closely with the local community partners who provide services to those who are without homes or are at risk of becoming homeless here on the North Shore to identify local residents in need. This may be people who are homeless and living out of their cars or in the bush on the North Shore, and it may also include North Shore residents who are temporarily living or sheltering elsewhere until a home on the North Shore becomes available.

Questions Related To Operations and Building Community Relationships

Question: Will a community advisory committee be set up to support the relationship between the surrounding neighbourhood and project residents that could be supported by all partners?

Answer: Recent experience from other similar supportive housing projects has shown that the most effective way to build strong and positive relationships is a site specific, single point of contact that allows for quick and effective responses and also will be the face that neighbours get to know as the representative of the facility.

In addition, the operator, Lu'ma Native Housing Society, will continue to build on their existing relationship with local organizations and first responders and will continue this community liaison work in the most effective ways for those partners as it is about building relationships in whatever format works best.

Lastly, Lu'ma has a history of sharing key celebrations with their neighbours helping to build connections amongst all neighbours, not just those who may have time for committees.

Question: Will VCH be part of any Community Advisory Community (i.e. ongoing liaison with the community)?

Answer: If an advisory committee is used (though again this is not usually found to be the most effective model) then yes, VCH will participate in any Community Advisory Committees or other methods of liaising with the community.

Questions Related to Who will use this facility and Why People are Homeless:

Question: How much of homelessness is due to displacement or increased rents, demoviction, etc.?

Answer: According to the "2023 HOMELESS COUNT IN GREATER VANCOUVER - FINAL DATA REPORT – OCTOBER 2023", 35% of those who are homeless are due to not enough income for housing; 16% due to landlord/tenant conflict; 11% due to unfit/unsafe housing condition; 6% due to building sold or renovated, 2% due to rent supplement expired.

Specific to the North Shore:

- Not enough income for housing (44%)
- Conflict with landlord/tenant (10%); conflict with parent/guardian (10%); conflict with other (15%)
- Mental health issues (13%)
- Experienced abuse by spouse/partner (10%)
- Building sold or renovated (8%)

Question: What is the percentage of residents that will pay rent geared to income?

Answer: It all depends on who applies. There is also an allowable amount of income someone can earn under Ministry of Social Development and Poverty Reduction rates and therefore a small percentage would be contributing rent related to income.

Questions Related to Crime and Safety and the RCMP

Question: What are the security models in other communities with low barrier housing models?

Answer: Supportive housing security and neighbourhood safety features include:

- Single point of access with a secure entry
- 24-7 on site staff providing wrap around services (this includes up to 12 staff during the daytime and up to 4 staff at night)
- Design that is based on Crime Prevention Through Environmental Design Principles including:
 - Good lighting
 - Clear site lines and good overlook
 - Good fencing
 - Surveillance cameras
 - And an emphasis on maintenance
- Regular site checks including perimeter checks
- Regular cleaning and maintenance of the site and adjacent boulevards.
- Resident agreements and guest policies (residents choose to live in this facility and must sign tenant agreements that speak to their code of conduct)
- Building an ongoing relationship with the community which includes:
 - A single point of contact for any concerns or questions from the neighbourhood
 - Ongoing relationships with neighbourhood groups, first responders and organizations that work with the homeless.
 - Taking part in community celebrations and opening the facility to neighbours for key celebrations.

Question: Can the partners comment on security and what plan will be put in place to deal with issues that arise in the facility?

Answer: Lu'ma staff have extensive safety training to help address the variety of issues that may arise over time in a supportive housing setting including:

- Occupational First Aid Level 1 Certificate,
- Crisis Intervention Skills Training,
- Conflict resolution and de-escalation training,

- Indigenous cultural safety training,
- LGTBQ2+ training,
- Harm reduction training (including naloxone training),
- Mental health first aid,
- Safe Talk (front line training on dealing with those having suicidal thoughts) and
- Assist (leadership training to support those trained in Safe Talk in applied suicide intervention training).

Lu'ma Native Housing Society notes, "We will approach each situation individually. If we need police or other interventions, we will bring them in. In other cases, we will provide education, awareness and bring forth our Good Neighbour commitments. "

Question: Can the RCMP advise as to the house issue at Mt Highway and Keith

Answer: The RCMP have no comment.

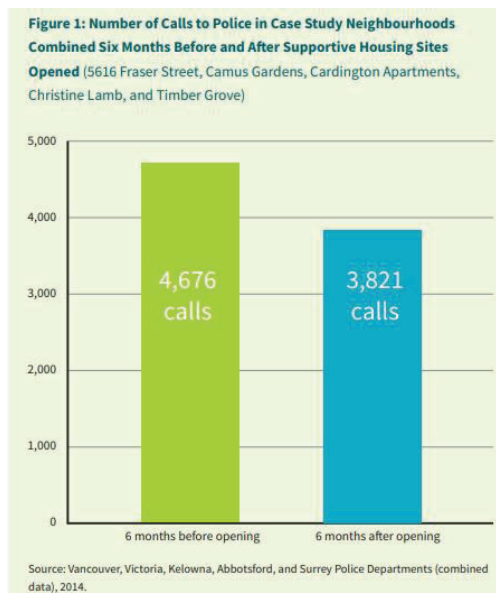
Question: Has the RCMP been consulted on this project?

Answer: Yes, staff have discussed the project with the RCMP. If this project goes forward the designs will also be reviewed by the RCMP's crime prevention through environmental design expert and the operators of the facility will continue to work with the RCMP as part of both ongoing community liaison and day to day operations.

Question: Is there any current data that can confirm criminal stats near supportive housing projects and vicinity?

A key study of BC Supportive Housing studies was done in 2014 titled an [Overview of Strategies From Case Studies of Supportive Housing](#) (see excerpt on the right, a copy is also included in the Public Hearing materials).

More recent studies have looked at other related benefits or positive relationships like the 2022 report that looked at proximity to schools (225 projects are within 500 m of a school), a 2022 report on reductions in drug paraphernalia found in public areas after supportive housing projects opened, and a 2020 study that looked at neighbourhood acceptance for supportive housing after projects opened and became operational.



For site specific statistics BC Housing and municipalities rely on local police department's data and police and other first responder's local expertise.

Questions Related to Substance Use and Harm Reduction

Question: Is zero tolerance substance use an option for Keith Rd?

Answer: This project is about providing homes to North Shore residents who are homeless or at risk of becoming homeless. Not giving homes to people because of substance use means that there are more people who must remain unhoused and continue to live in more desperate situations.

The supportive housing proposed at East Keith Road is for people who need additional supports to maintain their housing. While there are a variety of reasons people may need supportive housing including needing support to address physical and mental health, some people with substance use issues would benefit from these additional supports and therefore BC Housing is not supportive of an abstinence-based model.

For people who are able to live without supports other projects also offer the opportunity for deep subsidy housing, including those projects under construction at Delbrook Avenue and Oxford Street.

Question: Could we try a new approach and restrict substances from the facility? While also providing detox and counselling?

Answer: Referrals to health care services such as detox and substance use counselling will be made for those residents who want to take this step.

Some people may also opt for other types of housing because they want to go directly into a drug rehabilitation program but for some people the best approach is supportive housing.

Questions Related to Complex Care and Vancouver Coastal Health

Question: Why was the complex care part of the project left out of staff's presentation?

Answer: The focus of the Public Hearing is on Rezoning Bylaw 8643 which proposes to rezone the site for social or supportive housing in an apartment form (up to 6 storeys) with a density of 1.75 FSR. Public Hearings are open to all comments, but the focus of the Bylaw is on land use and density and the land use remains residential with or without the support services proposed to be provided by Vancouver Coastal Health. None the less, while the focus of the presentation was on the Bylaw issues, slides 29 and 30 did provide information on the complex care services and were presented by Vancouver Coastal Health.

Question: In the ministry information the complex care is for people at risk mental health addition, can we assume that the complex care of 5 beds will be the limit and that the remaining beds will be for non addicted individuals?

Answer: As addiction and substance issues comes in a range of forms there may be prospective tenants who are a good fit for supportive housing and do have addiction issues but don't need the extra supports of complex care.

Conversely, not all complex care residents may have addiction issues.

Through the Complex Care Housing program, Vancouver Coastal Health provides individualized care and culturally safe services that could include primary health care, psychiatry, family and peer supports, and/ or substance use counseling. Funding and services are aimed at 5 of the residents who will be the "complex care" recipients but by having Vancouver Coastal Health staff on site, the entire project benefits from their expertise and support.

Question: Can VCH and BC housing host a community facilitated meeting between now and Dec 7th to address the concerns of the community?

Answer: Vancouver Coastal Health and BC Housing staff attended each of the public information meetings held to date, including the in-person open house and four virtual information sessions and two focused discussions for stakeholders. Current efforts are focused on providing staff support to this ongoing Public Hearing and the questions being raised. An additional public meeting at this point is not recommended.

Question: What is the provincial governments long term plan to deal with the opioid crisis, mental health and addiction?

Answer: For more information on the Government of BC's response to the ongoing crisis visit: <https://www2.gov.bc.ca/gov/content/overdose>

Miscellaneous Questions

Question: Is there any data anywhere suggesting that property values decline by constructing a supportive housing project?

Answer: There are studies that show that property values hold their value or increase in value, but staff are not aware of studies that show a decline in property values attributable to the opening of supportive housing.

New: Now part of the Public Hearing materials is, "[Exploring the Impacts of Non-Market Housing on Surrounding Property Values.](#)" This overview of a study on property values in neighbourhoods where social and supportive housing projects opened's key finding is:

*"median assessed values for the most common residential form in the areas surrounding the case study sites were consistent with or grew more than trends for the surrounding municipality. **This suggests non-market housing does not have an impact on surrounding residential property values**"*

This study does note that two neighbourhoods did not see property values increase – one was Baker Gardens, seniors housing in Cranbrook, and the other was Kickwilllie Place, Indigenous families housing in Vernon. All of the neighbourhoods near supportive housing saw an increase in property values.

Question: How have Squamish and Tsleil-Waututh Nations engaged on this proposal?

Staff forwarded information on this proposal to both Nations who expressed support for the project and the Squamish Nation have provided a letter in support.

In addition, BC Housing have retained an Indigenous consultant to assist with Indigenous consultation.

Question: Why wasn't DNV presentation done as a report and put as attachment on web agenda so public could get it in advance and Council?

Answer: Following standard Public Hearing procedure, the presentation is a slide show that highlights information from the Report to Council that presented the Bylaw at First Reading in addition to providing information that addresses issues that are raised through the public input process and for this reason is typically finalized only shortly before the Public Hearing to provide the most current information available. The slides from the Public Hearing Presentation are shared with Council and the public at the Public Hearing and are added to the Public Hearing materials.

Public Copy of Council Questions (November 23-December 7th, 2023)

This document contains the Questions and Answers raised by Council after the first two nights of the public hearing and before the third night of the public hearing, ie between November 22nd and December 7th, 2023.

Question (December 6th) : Is there any data on the number of supportive housing that's been purposely built for unhoused or at risk of homeless in City of Vancouver or Metro.

Ideally, I'd love a map with dots highlighting the many places this type of housing is already in place or has been in place for last 5 or 10 years.

Also, Have any of the supportive housing buildings got Complex Care?

Answer: As social and supportive housing is designed to be integrated into a community and ideally not be advertised as such due to stigma, not all organizations include maps of existing projects.

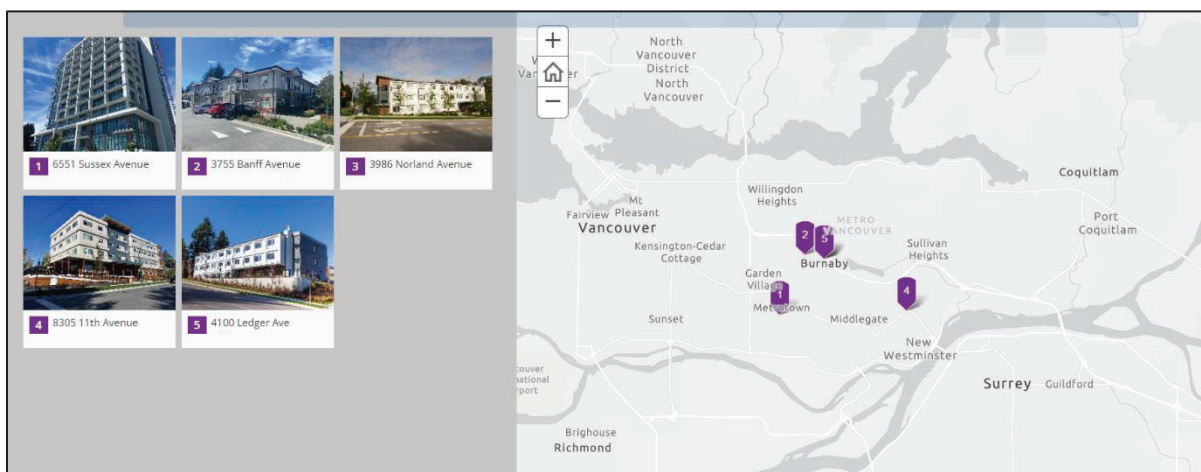
That said, we can provide some information to answer this question:

- Vancouver: City of Vancouver note on their website that they have opened 1500 social and supportive homes since 2019 and another 1700 units are currently under construction.
- For proposed facilities visit: <https://vancouver.ca/people-programs/permanent-supportive-homes.aspx> and there are a list of sites and details at the bottom of the webpage.
- Council and staff toured 5095 Heather Street a temporary modular supportive housing building that includes complex care units.
- Staff toured the exterior of projects along the Skytrain route, including modular buildings at Nanaimo and East 29th St Skytrain stations.

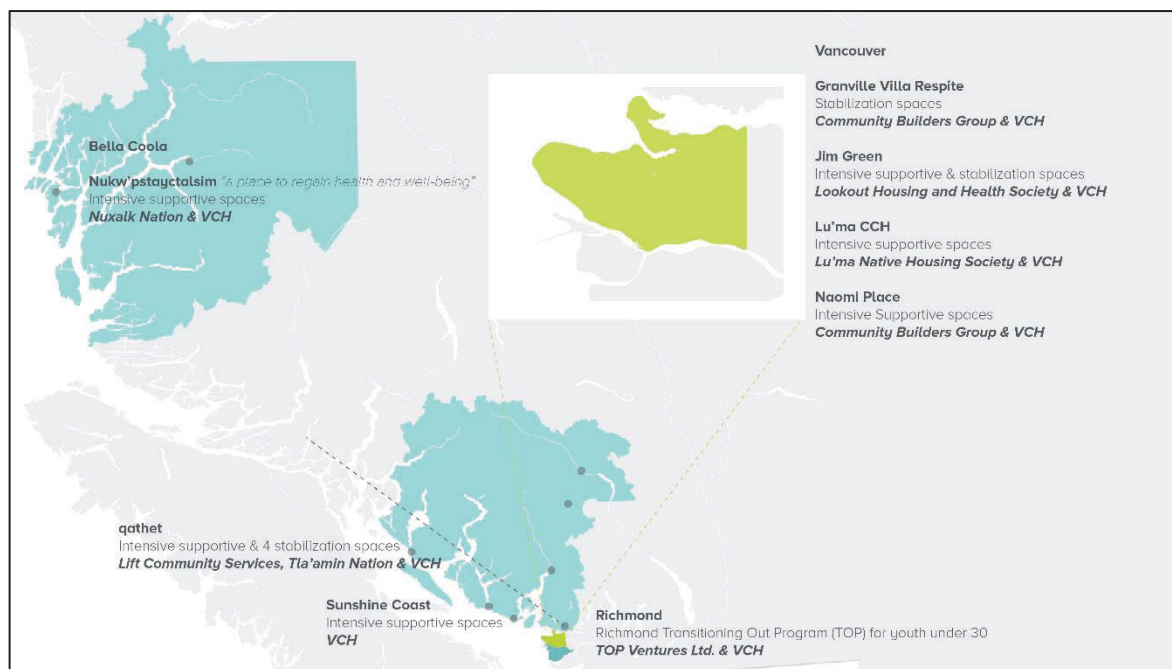
BC Housing have also noted:

- Burnaby has 95 units completed
- Township of Langley has 46 units completed
- Maple Ridge has 104 units completed
- New Westminster has 44 units completed and another 50 units rezoned
- Richmond has 80 units completed
- Surrey has 239 units completed

- Burnaby also provides lands for social and supportive housing and shows recently completed projects on their website see below, or visit: <https://www.burnaby.ca/our-city/projects/non-market-housing> for more information.



With regards to complex care units, please see below for a map provided by Vancouver Coastal Health highlighting housing projects that include complex care units.



Conversation with BC Housing: The following Questions and answers reflect discussions this past week with BC Housing (BC Housing responses shown in blue)

Tenancy Agreements and the Residential Tenancy Act (RTA):

One of the several recommendations to arise out of a BC Housing-commissioned review of the City of Maple Ridge's Supportive Housing conducted by Harry Cummings and Associates and subsequently published in June of this year was to "**undertake a review of the RTA within the context of supportive housing to identify how operating agreements can be better defined and structured to provide a balanced approach to protecting tenants' rights while ensuring tenant safety and well-being.**"

Question: As a tenant advocate, I would like to know if this review has been undertaken and have any changes been proposed to the provincial government as of yet?

Answer: The Ministry of Housing, in partnership with BC Housing, is in the process of reviewing the RTA guidelines. More information about this will be shared by the Ministry in the new year.

Question: While the RTA will apply to the 60 supportive units, will it also apply to the five complex care units on Keith Road?

Answer: Yes, the RTA does apply to the 5 complex care housing units.

Question: Section 4G of RTA suggests that a tenancy agreement *would not apply in health care situations*, so, if this is the case, what protections and agreements are commonly in place for "tenant patients" within this newer form of housing? What particular behaviors could result in termination of services and care to the residents of the 5 complex care units?

Answer: Persistent behaviours that would put other residents or staff at a safety risk could result in termination of services. Noting that this is a last resort after all efforts to help support behaviour modification are conducted.

Question: Also, will Luma, VCH and BC Housing ensure that vulnerable tenants have access to tenant resources and advocacy should eviction notices be necessary?

Answer: All partners are committed to seeking alternate solutions before eviction, starting with support for behavior modification in partnership with existing resources attached to the resident, working with other housing providers to find a more suitable housing environment. Should eviction be the last resort, BC Housing and Lu'ma would provide referrals to residential tenancy branch and advocacy organizations.

Visitors

Some vulnerable people obtain and rely on mental and emotional support from a close circle of friends and family. (These support networks can also be vital and critical partners whom can assist staff in the care, safety and treatment of vulnerable tenants.) However, in some more

recent supportive housing projects, such as Maple Ridge, a prohibition on guests and visitors left tenants isolated and lonely, feeling like they are mildly incarcerated. This can, in turn, lead them to abandon their housing as well as any progress they may have made towards recovery, if so inclined.

At the same time, with a low-barrier model and harm reduction room proposed on-site, there is a potential for certain **non-residents** visiting, partaking and using substances on-site, therefore magnifying the concerns of neighbours, the work load of facility staff and draining the facility's overall operating resources.

Question: In recognition of the above, how will a proper balance be struck with regards to visitors to supportive housing?

Answer: Lu'ma operates under the Residential Tenancy Act and as such do not reasonably refuse access to anyone wanting to visit a tenant of the building. We do not take or ask for ID, but instead ask the visitor to sign in with the front desk on entry to the building knowing we are doing so outside the legislation. We have overnight visitors allowed but look for items per the Residential Tenancy Act in the visit appearing to be a tenancy such as:

- Whether the guest receives mail at the tenant's address
- Whether the guest pays for rent or utilities at the tenant's address
- Whether the guest stays overnight regularly
- Whether the guest moves in significant personal belongings, such as furniture and pets
- Whether the guest has a key to the tenant's unit

Where we do restrict those wanting to visit the building is when there is a known history of violence between a tenant, staff and the guest wishing to visit, or previous incidents causing a guest to be a safety risk to those living and working at the building. Or if it appears a unit is being sublet to a visitor.

With regards to the OPS, it is used solely by those tenants and guests of tenants with authorized access in the building. We do not allow community members to use site specific OPS rooms as it is an extension of one's tenancy with ensuing rights and responsibilities. We manage this through building design with single entry point to the building.

Protection from Overdose

Question: How will the use of the harm reduction room be defined and represented in the operating agreement?

Answer: BC Housing's operating agreement requires the accommodation of individuals who may require harm reduction supplies on site including clean needles, access to safe disposal (sharps containers), condoms etc. There is also a provision requiring appropriate overdose

prevention measures are in place for residents of the development. The design guidelines for supportive housing include a guideline as to how to achieve appropriate overdose prevention measures through design of an open space.

Question: Bearing the safety and well-being of future tenants of the facility in mind, will the operating agreement and program agreements set a requirement for daily (morning/evening) wellness checks in for ALL units, not just the complex care units? Can a regulation be implemented that would require tenants to inform staff if/when they plan to use drugs in their suites so that prudent and timely wellness checks can follow?

Answer: Lu'ma includes with every supportive tenancy package an additional addendum of terms including the 24 hour Wellness check process, understanding this is outside current legislation. Simply it says if you are not seen within a 24 hour time frame staff will attempt to raise you via phone call if we have a number on file, or a knock on your door. If you do not respond to that knock that we will enter your unit in efforts of ensuring the health and wellness of that tenant.

Lu'ma does ask those we serve to inform us prior to using substances noting the toxic drug supply with ongoing overdose crisis continues to grow, however cannot enforce. This is relationally dependent however and why Lu'ma endeavours positive, supporting relationships with those we serve.

Conversation with Vancouver Coastal Health The following Questions and answers reflect discussions this past week with Vancouver Coastal Health (VCH responses shown in blue)

Harm reduction and community safety

In British Columbia we are responding to an increasingly dire Public Health emergency: the unregulated drug supply is now the leading cause of death in B.C. for people aged 10 to 59, accounting for more deaths than homicides, suicides, accidents and natural disease combined. It is often contaminated by a growing and unpredictable mix of dangerous substances, including synthetic opioids like fentanyl, benzodiazepines, xylazine and other adulterants.

We have a duty to protect the health and safety of everyone in the community, especially the most vulnerable. In the context of this emergency, it is imperative that we adopt a multi-faceted, compassionate and inclusive approach when providing complex-care housing, health-care supports and services for people experiencing mental illness, substance use issues and homelessness.

Question: Is drug use allowed? (In the supportive housing proposed at East Keith)

Answer: Studies show people are better able to move forward with their lives if they are first housed and then provided with further supports including primary health care, psychiatry, treatment and recovery, and life and employment skills training. Sobriety or a commitment to abstinence are not required in order to receive the low-barrier care needed for stabilization.

Question: Won't open drug use compromise community safety?

Answer: We recognize that crime is a concern for people on the North Shore. Public safety must be a priority and it is understandable that community members have questions and some concerns.

Evidence shows that stigmatizing and criminalizing drug use leads to more disorder and death, while a growing body of peer-reviewed research shows that supportive housing and safe, supervised consumption leads to better outcomes for the drug user and to improved safety for the community.

While providing this important individual care, we are committed to being good neighbours in the community. This will include proactive and ongoing dialogues with local law enforcement, service providers and community partners to advise them of the services we are offering and how we can work collaboratively.

Question: What steps will be taken to prevent crime, including human trafficking and sex trafficking?

Answer: A Canadian study of 146 supportive housing sites concluded that “there was no statistically significant evidence that supportive housing led to increased rates of reported violent, property, criminal mischief, disorderly conduct or total crimes.”

We recognize that crime is a concern for people on the North Shore and we are committed to being good neighbours in the community. To this end, we will work proactively and collaboratively with local law enforcement, service providers and community partners.

Question: Has decriminalization in BC impacted the safety of the community?

Answer: Substance use is a public health issue, not a criminal issue. In January, B.C. decriminalized small amounts of certain drugs for personal possession. There is no evidence that this change in policy has led to increased rates of crime or increased drug use, but it is helping to reduce barriers and stigma that prevents people from accessing the life-saving supports and services they need. The Canadian Association of Chiefs of Police along with B.C.’s Provincial Health Officer endorse decriminalization as an effective strategy to address the toxic drug crisis. Similar programs around the world have proven effective, including in Portugal, Uruguay, Germany, Lithuania, Australia, Czech Republic and Oregon, USA.

Council Question: What, if any, is the proposed breakdown of the 60 residents?

Answer: Though we know what the criteria are for future residents of this 65 unit project, the actual demographic breakdown will be based on who applies and is a fit for this project.

For ease of reference, the criteria for residents includes: adults over the age of 19, all genders, homeless or at risk of becoming homeless, a North Shore resident, in need of supportive services to maintain housing, and following a needs assessment and interview, selected based on supports available to match needs, and existing resident mix.

BC Housing also notes:

The 2023 Homeless Count report for Greater Vancouver reports that there were 168 individuals identified experiencing homelessness on the North Shore. The soft targets for tenancing reflects the demographic statistics from the point in time count. The targets for the building are as follows:

By gender:

- 69 % male
- 28 % female
- 3% Other gender Identity

By age:

- 8% youth (18-24)
- 70 % adult (25- 54)
- 22% senior (55 and over)

By ethnicity:

- Minimum of 33% indigenous

Every applicant is different and their reasons and needs for being in supportive housing will be unique.

The applicants are reviewed through a comprehensive process to ensure that they meet the criteria, and that their needs can be met by the supports available in the building.

Both BCH and Lu'ma will work closely with VCH, Squamish and Tsleil-Waututh Nations and other community service providers to help inform with this decision making. Recognizing that each individual will have different support needs, a “balanced mix” is when staff are able to provide those client-centred supports to the residents of the building.

Question: Is there an opportunity for community involvement in the tenant selection process? If so, what would that look like?

Answer: Community involvement is not part of the tenant review process. The tenant process would honour confidentiality for all people.

Council Question: Would you please ask staff if there is additional info that can be provided?

Answer: With regards to the question about **additional information**, the following excerpt from the Public Hearing Binder table of contents highlights the studies and fact sheets available to the public under the tab “Additional Information”

Additional Information
Minutes – Regular Meeting of Council held October 3, 2023.
<p>Land Use:</p> <ul style="list-style-type: none"> To learn more about the District’s Official Community Plan visit: https://www.dnv.org/property-and-development/our-official-community-plan-ocp To learn more about the District’s Rental and Affordable Housing Strategy visit: https://www.dnv.org/community-environment/rental-and-affordable-housing-strategy
<p>Design Guidelines:</p> <p>At the time of the rezoning being considered only very preliminary/ schematic design work has been undertaken (see next tab). Any project on this site will be subject to a Development Permit review and as such will need to consider the District’s Design Guidelines for Multi-Family Housing (Schedule B, Part B starting at page 237: https://www.dnv.org/sites/default/files/bylaws/Bylaw%207900.pdf#page=151)</p>
<p>Design</p> <ul style="list-style-type: none"> Detailed design drawings will be available at the Development Permit stage, but at this time preliminary schematic drawings showing the potential siting and massing of this type of building are included for general information.
<p>Information on What is Supportive Housing from BC Housing:</p> <ul style="list-style-type: none"> Spotlight on Supportive Housing: Camas Gardens – Video by BC - short 1 minute video provide information on what supportive housing is. Rocco’s Story: From Homeless to Housed to Hopeful - A 1 minute video about a resident of a supportive housing project. Orca Place – Parksville Supportive Housing - This 7 minute video takes you through a supportive housing project in Parksville Community Benefits of Supportive Housing Fact Sheet (DM 6175027)
<p>Information from Vancouver Coastal Health on complex care housing:</p> <ul style="list-style-type: none"> Comple Care Housing Fact Sheet (DM6175033)
<p>Information on Lu’ma Native Housing Society the proposed operator of this supportive housing facility – visit: Lu'ma Native Housing Society — Lu'ma Group of Companies (lnhs.ca) (DM 6156056)</p>
2023 Homeless Count in Greater Vancouver

This report provides background information on people who are experiencing homelessness. (DM 6175030)
BC Housing Case Study This report highlights the findings from 5 supportive housing projects in BC including information on reduction in police calls in neighbourhoods after supportive housing project opened. (DM 6175031)
BC Housing Case Study – Exploring the Impacts on Property Values This fact sheet provides an overview of a detailed study on property values near supportive housing projects (DM 6175032)
Social Return on Investment – Fact Sheet An overview of the social and economic value of supportive and affordable Housing in B.C. (DM 6175026)
Letter from the Ministry of Transportation and Infrastructure As part of the standard review of zoning bylaws in proximity to the Trans Canada Highway, staff referred this proposal to the Ministry of Transportation and Infrastructure, this is the response indicating preliminary support.
Council Questions and Answers from November 21st and 22nd (Public Hearing)

This information can be accessed under the Public Hearing for East Keith at the Council Agenda webpage: [Council minutes, agendas, and notices \(dnv.org\)](#) and is also cross referenced on the project page see the snippet below for a reminder on where to click of this link:

11/21/2023	Public Hearing 1200 Block East Keith Road	Notice, Agenda with reports, Public input, <u>Additional information</u>, Staff Presentation (1200 Block East Keith Road), Video
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While key references are provided in the public hearing materials, [BC Housing's Research Centre](#) and the associated [Research Centre Library](#) has a wealth of additional studies related to social and supportive housing, including case studies and topic specific studies.

From Ali Hummel's email – black text is original and blue text are answers to the questions posed:

1. What is the rationale for fast tracking this process and is there documented criteria for what constitutes a proposal being fast tracked as there are a number of assessments that have not been completed: Environmental, BCEHS, RCMP, Traffic, Community Safety? If you have assessments and they have in fact been completed, will you share them with the public?
2. As this is a fast tracked proposal, has the Ministry of Forests, Lands, Natural Resource Operations and Rural Development been contacted / notified of potential development for approval?
3. As the project is against a highway, has this been addressed and reviewed by the Ministry of Transportation and Infrastructure?
4. As DNV owns the land and is requesting to rezone for development, is the District exempt from following the same procedures as any other developer? For example - have you provided the following as requested in the application process?
 - a. Do you have 10 complete sets of fully dimension plans 1:100 metric scale, including the following:
 - a. a site plan with the location of the building and parking layout;
 - b. floor plans indicating proposed uses and area calculations;
 - c. all building elevations;
 - d. a landscape concept plan;
 - e. a colour/material board
 - f. reduced plans (8 ½ x 11) to be included in the staff report and neighbourhood mail outs

Answer to Questions 1-4 inclusive:

A municipality may enter into a rezoning process to bring in new zoning, or to update or amend existing zoning. A zoning process requires information on the proposed land use and density as is included in Bylaw 8643. No additional information is required for a rezoning process to commence and for the bylaw to be considered by Council.

Prior to Final Adoption/ 4th Reading of the Bylaw, the Bylaw is circulated to the Ministry of Transportation and Infrastructure (MOTI) for approval. This is standard practice and MOTI has already been informed of the proposed zoning and provided their preliminary approval. (For a copy of MOTI's preliminary approval letter see the Additional Information section of the Public Hearing Materials.)

5. Given that there are 7 daycares with a distance range of 50-900 metres to the proposed site, what is the data to support that the visibility of open drug use is in no way going to impact children negatively and what are the district's mitigation strategies?

Article 1:

<https://www.cjdctv.com/kpac-details-issues-with-supportive-housing-building-near-daycarealtercations-and-open-drug-use-near-kids-1.6605664>

Article 2:

<https://www.cheknews.ca/tally-ho-housing-facility-found-to-have-unacceptable-amounts-of-illicit-substances-in-the-air-1178768/>

Answer: This project is about moving people inside and giving people a home. Studies show that this type of housing saves lives and reduces impacts to the community.

As with many residents, people may choose to use substances including alcohol and drugs in the privacy of their own homes. As the proposed housing is for adults it is unlikely that children will witness what occurs in these proposed homes.

Children attending childcares in the general area are monitored by childcare staff in order to keep them safe from a variety of risks including traffic, animals, the river, and strangers. This will not change with this housing project.

6. The rezoning proposal states that in 2016 there were “736 individuals on the North Shore were considered homeless”. However, the 2023 Homeless Count in Greater Vancouver that the rezoning proposal states was not released yet, indicates that the North Shore currently has 168 homeless individuals. The rezoning proposal’s statistic is conflated by over 400%. How should constituents feel confident in the proposal’s data given the vast inaccuracies?

a. The Homeless Count in Greater Vancouver document names the geographical area of the North Shore? Does it include West Vancouver and Squamish? Of the 168, is there granular data on how many homeless individuals are within the actual District of North Vancouver?

b. Given that the rezoning proposal’s data is inconsistent and outdated, do we have information on what would actually benefit Lynncreek residents?

Article:

https://hsa-bc.ca/_Library/2023_HC/2023_Homeless_Count_for_Greater_Vancouver.pdf

Answer: The Homeless Count is a point in time count when volunteers go out to count people who may be sleeping outside in known areas or using local shelters. The Homeless Count is known to underrepresent the true need as it does not include people who are couch surfing, are sleeping in more remote or isolated locations (eg in the forest), may be sleeping in their cars, or maybe about to become homeless.

7. Is 15% of submissions “unequivocally supporting” this proposal statistically significant as opposed to the over 1500 constituents that have thus far signed against this proposal?

Answer: Staff did not discount the significant opposition to this project, but it would be a disservice to the people and organizations who took the time to provide comments to not also note the people who wrote in support of the project.

RESOURCES

1. How does the DNV plan to cover the fiscal variance of the increased policing and first responder that may occur as evidenced by Red Fish Healing Centre and Marguerite Ford Apartments (reference: Red Fish Healing Centre Port Coquitlam \$500K bill they are fighting the provincial government on)?

Article:

<https://vancouversun.com/news/local-news/red-fish-healing-centre-ties-up-four-mounties-a-day-port-coquitlam-council-told>

- a. What is the data on the annual number of first responder calls (i.e. firefighters) to comparable complex care housing buildings in BC?
- b. What is the data on the annual number of Police and/or RCMP to comparable complex care housing buildings in BC?
- c. What is the data on the annual number of paramedic calls to comparable complex care housing buildings in BC?

<https://www.straight.com/news/484696/do-vancover-social-housing-projects-attract-crime-its-question-complicated-answer>

- d. Does the DNV have the funding to increase resources for policing, paramedics etc.?

Answer: Studies done show that policing costs for the municipality are likely to decrease not increase as a result of this project. However, the municipality is set up to reconsider budgets on an annual basis and thus adjustments can be made as deemed appropriate in the future.

2. A letter written to Deputy Housing Minister Teri Collins on October 13th from several organisations **including** Lu'ma indicates that BC Housing owed \$20 million dollars towards operations. How does the project operate if funding from BC Housing stops?

- a. Who will take over ownership and management?

Article:

<https://www.vancouverisawesome.com/local-news/dozen-housing-providers-say-bchousing-owes-them-more-than-20m-7793993>

Answer: The proposed zoning is for an apartment building and is not dependent on who operates the facility in the future. At this time, it is proposed that BC Housing will provide funding to operate the facility for the next 60 years, however, should in the future a different model be desired for whatever reason, then the building could also operate as a standard rental building and is particularly well suited for senior or student housing.

3. How much will it cost to gain access to the BC Hydro easement and will this be covered by the grant? b. Has a contract with BC Hydro already been initiated with regards to this site?

Answer: The BC Hydro right of way is a right of way over District land, similar to hydro lines found running along most streets, as such the District does not need to pay or enter into a contract.

4. What is Lu'ma's requirements for staffing in terms of:

- a. Hiring?
 - b. Training?
 - c. Experience level?
 - d. Onboarding?
 - e. Managing agreements in place?
5. Exactly how many staff will be on site at a minimum at all times?
- a. What is the ratio of staff during the day vs. night?
6. What is Lu'ma's management/operating agreement?
- a. Who has oversight?
 - b. Is the District involved?
 - c. Is BC Housing involved?

Answer: Lu'ma Native Housing Society's staff have extensive safety training to help address the variety of issues that may arise over time in a supportive housing setting including:

- Occupational First Aid Level 1 Certificate,
- Crisis Intervention Skills Training,
- Conflict resolution and de-escalation training,
- Culturally specific trainings (indigenous cultural safety training),
- LGTBQ2+ training,
- Harm reduction training (including naloxone training),
- Mental health first aid,
- Safe Talk (front line training on dealing with those having suicidal thoughts) and
- Assist (leadership training to support those trained in Safe Talk in applied suicide intervention training).

This site will be operated by Lu'ma Native Housing Facility who will have 2-4 staff on night shifts and up to 12 staff on during the day. Vancouver Coastal Health is contracting with Lu'ma so that Lu'ma can hire additional staff to provide services to the 5 Complex Care Housing units. In addition, there will be individuals (nurse, social worker and OT) who are part of the VCH outreach team who will provide support to the CCH residents.

Lu'ma will have an operating agreement with BC Housing who will have oversight. In addition, Vancouver Coastal Health will be on site also providing support and partnership.

7. Will the DNV still receive the government grant if it is just supportive housing and not complex care housing? When is the government grant due?

Answer: The District is not managing the funding for this project. BC Housing funds the construction and operation of the facility and Vancouver Coastal Health will co-fund the operation providing health care staff to the facility.

SAFETY

1. What is the current sharps cleanup plan in North Vancouver, specifically for the Lynn Creek Community? On average, how many sharps are picked up daily in Supporting Housing neighbourhoods of similar scope specifically?

Answer: Supportive housing projects have not been seen to increase the likelihood of needles or "sharps" being found in an area. Statistics instead show that neighbourhoods either remain unchanged or improve as a result of supportive housing projects in this regard. At this time our Parks and Sanitation workers collect sharps when they come across them in our parks and streets.

2. Does Lu'Ma, BC Housing, and/or VCH have qualitative data from the past two years on the impact this housing structure has had on women and youth specifically in North Vancouver?

Answer: There is a need for housing for people experiencing homelessness, for people of all genders. The project already approved in Norgate is for women and women led families, and youth are sheltered at youth safe houses located in the District (locations are of course confidential for safety reasons).

3. Where on the development plans does it indicate a space for Firetrucks to access in-and-out of the complex with the required turn-around space? Furthermore, where on the development plan does it indicate access to hydrants and easement?

Answer: As noted above, the Rezoning process only requires information on land use and density.

As with any project in the early stages of design discussion, civil engineers, DNVFRS staff, and Code experts are reviewing options but as this site has the potential for two access points, the question is not, "can this site be served," but rather, "how it can best be served."

4. Maple Ridge Project - After a full review, security wasn't sufficient on site to protect residents within and neighbourhood. What assurances has the DNV been given and

what has been implemented differently to ensure our Lynn Creek residents that this site won't have the same security issues?

Article:

<https://vancouver.sun.com/news/local-news/review-of-problem-plagued-maple-ridge-supportive-housing-project-leads-to-recommendations>

BC Housing: (See also discussion on page 3) The supportive housing facility Royal Crescent was built in 2018 and was always intended as a temporary emergency solution to provide housing for people sheltering at the Anita Place encampment in Maple Ridge. Unlike the majority of the Province's supportive housing facilities, Royal Crescent was not purpose-built to operate as supportive housing. Therefore, the tenancing process was not able to follow the Coordinated Access and Assessment Program approach nor was the building specifically designed to support clients' needs. The security recommendations made were around repaired perimeter fencing and added additional fencing around the inner courtyard to strengthen site security and not of a staffing nature. The recommendations also included clear guidelines around unwelcome guests. These concerns are not relevant to the East Keith Road project given it will be purpose built with thoughtful design to enhance resident and neighbourhood security as well as tenanted through a community-led referral process. As well, Lu'ma has a robust process for onsite visitors.

DNV: As noted above, this facility will also have extra staffing as a result of the partnership with Vancouver Coastal Health, and those extra staff will also provide extra support helping provide residents with the best chance for success.

5. Lu'Ma said residents will be mostly men while the DNV indicates it will be a mix of genders. We want to know the truth.

d. What is the referral/triage process?

e. From "Deborah" first hand account during the Nov 21st Municipal Public Hearing, there is a perceived safety concern when mixing genders in one complex especially when there are mental or addiction issues at play for some residents. If the project is intended to be mixed genders, what precautions and processes does Lu'Ma have in place to ensure tenants safety?

What ability will the DNV, and residents have to remove problematic tenants?

Answer: The facility is for people of all genders.

BC Housing, Vancouver Coastal Health and Lu'ma Native Housing Society will collaborate with local service providers on a thorough assessment process to ensure an appropriate mix of residents with the right supports live in the proposed supportive housing.

Local services providers, community partners and government agencies with staff in the field work together through the *coordinated access and assessment process*. This process reviews potential tenants' needs, against the availability of supports, and the existing tenant mix to help

set individuals up for success. Community partners can speak to a person's health, level of vulnerability and individual needs helping match people to the right services. In addition, prospective tenants go through a standardized assessment and a face to face interview.

Criteria for Residents:

- Adults over the age of 19
- Residents of the North Shore (which may include people from the North Shore temporarily living in other locations until such time as North Shore housing is available)
- People who are homeless or are at risk of becoming homeless
- People who would benefit from a supportive housing program, and whose needs match the support services available. (Note, this type of housing is not for everyone, depending on health and wellness some people will need different types of housing or institutional programs. Supportive housing is one tool in the housing continuum.)
- People who have chosen this type of housing as they wish to work towards living a healthy and stable life in a permanent home.

6. There is a land lease agreement, can the district put specific provisions in the land lease to protect the DNV and its residents? For example, can the DNV and Lu'Ma provide and implement safety protocols within a 1km radius of the site?

Answer: The District will be entering into a lease agreement with BC Housing for the lease of the land and that agreement does enable the District to impose various criteria / stipulations in the agreement though those are generally related to density, use, services and building condition.

There are also a variety of other tools available to the municipality and the partner agencies which may be more effective to use should issues arise over the lifetime of this building and they include such things as increased on site staffing, and increasing patrols in the area, community clean up programs and so on.

7. Do the Complex Care residents have a Residency Tenancy Branch Lease? Is this with VCH? If there is no lease for Complex Care housing, what are the regulatory comparables?

Answer: All 65 units are residential rental units that fall under the Residential Tenancy Act.

CONGESTION/TRAFFIC

1. Motor vehicle accidents and incidents at the intersection of Keith Rd. and Mountain Highway cause gridlock traffic going in and out of North Vancouver. For example, over the past week, there have been two standstill incidences.

- a. Has research been done and what is the data on traffic in this area?
- b. Has a safety assessment been done on having individuals with altered

levels of consciousness due to substance use and/or mental health conditions been done?

Answer: The District regularly monitors key intersections and if issues arise, staff investigate and explore potential solutions to address concerns. In particular, staff are currently completing a project to reconfigure and reestablish smart coordination between the intersection of E Keith at Mountain/Brooskbank and E Keith at Lynnmouth. This coordination will improve the traffic flow and once again ease the tension of drivers traveling through this area.

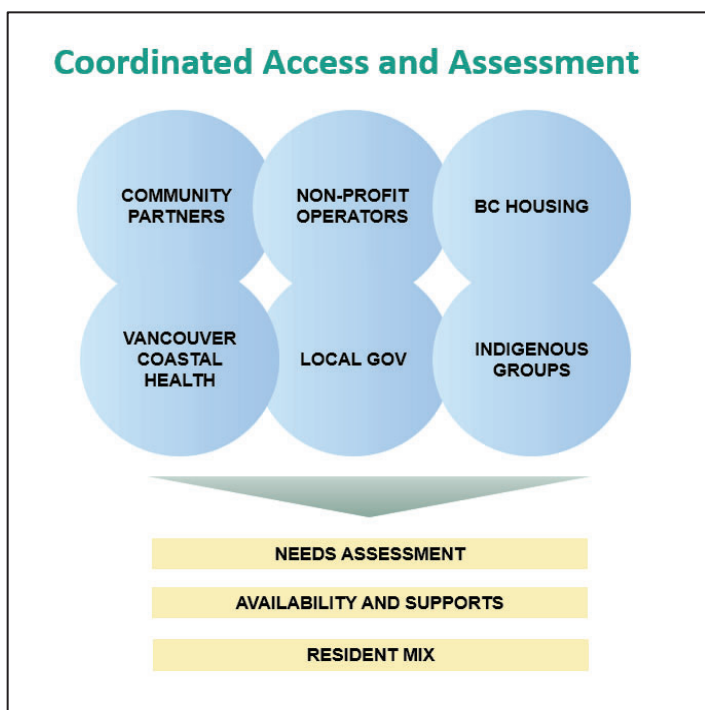
Questions asked by Council after the adjournment of the Public Hearing on December 13th (between December 13th 2023 and January 10, 2024):

Question: As stated by BCH, tenants can stay as long as they want as long as they follow the housing agreement. If this housing is meant for homeless people or in jeopardy of being homeless, what is the plan to transition residents, when 'stabilized' and wishing to take the next steps to a different type of independent living? This plan needs to be explained **and what efforts to then fill vacancies created with alike new tenants.**

Answer: For some residents they will always need support services and this will be their permanent home. For others, supportive housing is a step in a journey and they will move on to other forms of housing. As spaces free up in the housing complex, then the same Coordinate Access and Assessment process kicks in to select new tenants. See below for more details on the tenant selection process.

Question: Who is the responsible partner for the determination of who gets accepted as a resident for all 65 suites(cc & residency)?

Answer: The three partners, BC Housing, Vancouver Coastal Health and Lu'ma Native Housing society work together, with local service providers and field staff using the "coordinated access and assessment" process to make decisions to ensure each residents is a good fit with the project. (This selection process has been shared with the public as part of each public meeting and as part of the Public Hearing process and is described more fully below.)



BC Housing, Vancouver Coastal Health and Lu'ma Native Housing Society will collaborate with local service providers on a thorough assessment process to ensure an appropriate mix of residents with the right supports live in the proposed supportive housing.

Local services providers, community partners and government agencies with staff in the field work together and review potential tenants' needs, against the availability of supports, and the existing tenant mix to help set individuals up for success.

Community partners can speak to a person's health, level of vulnerability and individual

needs helping match people to the right services. In addition, prospective tenants go through a standardized assessment and a face to face interview.

Criteria for Residents:

- *Adults over the age of 19*
- *Residents of the North Shore (which may include people from the North Shore temporarily living in other locations until such time as North Shore housing is available)*
- *People who are homeless or are at risk of becoming homeless*
- *People who would benefit from a supportive housing program, and whose needs match the support services available. (Note, this type of housing is not for everyone, depending on health and wellness some people will need different types of housing or institutional programs. Supportive housing is one tool in the housing continuum.)*
- *People who have chosen this type of housing as they wish to work towards living a healthy and stable life in a permanent home.*
- *People deemed a good fit after an individual needs assessment and face to face interview.*

Lu'ma Native Housing Society staff explain that in practice, "our coordinated access team will work closely with the community homeless service providers in the referral and tenant selection process for this proposed building. We will invite key community partners to submit housing applications - Key partners will include Vancouver Coastal Health, the Ministry of Social Development and Poverty Reduction, the Canadian Mental Health Association, the Squamish Nation, the Tsleil-waututh Nation, and Lookout Housing and Health Services Society. As referrals are coming from these key community partners, we are tapping into the local body of knowledge of who is from the community and in need of supportive housing."

Question: If this proposal moves forward, if there is any change in the original factors presented to Council, ie; use, housing agreement, criteria, financial support, or health supports, this will be brought back to the DNV to review and accept, decline, or modify as any of these would change the basis on which the original decision to move forward would have been made?

Answer: The District enters into a lease agreement with BC Housing that will establish criteria related to the expectations for this housing project. Should the tenant wish to change the agreement they would need to ask the District for an amendment to the agreement.

Question: BCH has committed to covering operating costs for term of lease. Does this include all rent subsidies needed from the beginning of the lease to the end of the lease such as all increased differential increases? It is not the District's (taxpayer) that would or should be responsible for this.

Answer: The District is not responsible for any shortfall in funding relating to the operations of this facility.

BC Housing has explained that if additional costs arise that lead to a shortfall in the operations, BC Housing typically increases the funding to cover the costs.

Question: Why is there a minimum NUMBER of one classification of tenant and not for all tenants?

Please provide the 'homeless data of the DNV' that the breakdown % & minimum number of each classification of tenant was calculated on, as published for the public hearing. Could there be a maximum number for EACH classification group?

As noted above, tenants are chosen based on the *coordinated access and agreement* approach whereby each potential tenant must meet specific criteria to merit a space in the complex and also be a good fit based on an individual needs assessment and a face to face interview.

In addition, the partners hope to use **soft targets** to ensure the mix of residents loosely matches the demographic mix of people who are homeless on the North Shore.

As noted earlier in the Public Hearing this will include the following soft targets:

The targets for the building are as follows:

By gender:

- 69 % male
- 28 % female
- 3% Other gender Identity

By age:

- 8% young adult (19-24)
- 70 % adult (25- 54)
- 22% senior (55 and over)

By ethnicity:

- 33% indigenous
- 67% non-indigenous

Question: What will be the procedure if there is a vacancy(s) (variance from scripted number or %) at any time, in one of those tenants groups (male, female, indigenous) that cannot be filled by the same tenant group, what will be the procedure to then determine how & when that vacancy will be filled to keep within stated % for 2 of 3 tenant groups. This highlights that setting a specific % for 2 groups and minimum for the third group is unfair, unequal and could, over time, skew the actual allocations even more.

Answer: The demographic requirements are soft targets only and allow for some flexibility. However, as the number of people who are in desperate need of this type of housing on the North Shore far outstrips the supply of supportive housing it will likely be possible to meet these soft targets.

Question/ Comment: A final comment is that solely providing links into the public record is not sufficient for accessibility for the public and I would recommend that any link referred to should also include a print out of the information referred to by the link. With any direct reference highlighted. The DNV cannot rely on computer access to get information being referred to at public meeting hearings. Or that every citizen is capable of coming to the hall to review the "book". Accessibility, transparency, and equality has be our goal to every citizen.

Answer: Any studies or reports referenced are included as a printout and as a saved document that is part of the Public Hearing materials – in other words you don't need to click on the link, rather you can just view the appropriate tab in the public hearing binder both in person and on-line. The links that are also included to the various sources of the documents are included as a courtesy.

Question: Can examples of the type of requirements in a residential tenancy agreement be shared?

Answer: All tenants will enter into a Residential Tenancy Agreement with Lu'ma. The agreement specifies their rent, what is included in their rent, keys/FOBs, pet policy, smoking, bike storage, storage, and termination of the agreement. In addition to the Rental Agreements, we include addendums which include: health and wellness agreements, Safety agreements, monthly inspection agreements, guest management agreements and a good neighbour agreement along with a list of services provided that can be accessed by any tenant.

Questions Raised and Answered during the December 13th, 2023, continuation of the East Keith Public Hearing:

Question: Will this be a building with a mix of tenants? Those with addictions and those without, is there a percentage? Will there be an emphasis on those with addiction to assist them rather than just refer them?

Answer: Yes, this supportive housing site would have a mix of tenants. This building is for all genders and for adults including seniors. People will be provided with the support they need to access treatment whether that is provided by staff on site or through referrals to specialized treatment off site.

Question: Would children be allowed to visit this building?

Answer: Yes, family can visit and family reunification is a big part of the healing process and why it is important to have housing in the community.

Question: Will residents from the Downtown Eastside be moved to this project?

Answer: This housing is designed to provide safe and secure permanent homes for local people facing homelessness, and will in some cases, be providing an opportunity to bring residents who are dealing with homelessness and seeking shelter wherever they can find it, home to the North Shore.

Question: Would detoxing in another facility jeopardize a resident's housing in the project?

Answer: Residents who enter into detox programs will not lose their housing.

Question: What kind of on-going communication with neighbourhoods is planned?

Answer: Recent experience from other similar supportive housing projects has shown that the most effective way to build strong and positive relationships is a site specific, single point of contact that allows for quick and effective responses and also will be the face that neighbours get to know as the representative of the facility.

In addition, the operator, Lu'ma Native Housing Society, will continue to build on their existing relationship with local organizations and first responders and will continue this community

liaison work in the most effective ways for those partners as it is about building relationships in whatever format works best.

Lastly, Lu'ma has a history of sharing key celebrations with their neighbours helping to build connections amongst all neighbours.

Follow Up Question: Can VCH provide the info on patients through the Hope Center and Lions Gate, they advised last week they would provide more accurate info?

Answer: Over the course of 2 years, Vancouver Coastal Health looked at the period from December to August where there was an average of 2,363 patients who presented to Lionsgate Hospital (LGH) with mental health and substance use (MHSU) concerns. This would represent approximately 3,150 MHSU patient presentations to LGH per year.