

# AGENDA

## *REGULAR MEETING OF COUNCIL*

**Monday, November 20, 2017**

**7:00 p.m.**

**Council Chamber, Municipal Hall**

**355 West Queens Road,**

**North Vancouver, BC**

**Council Members:**

Mayor Richard Walton

Councillor Roger Bassam

Councillor Mathew Bond

Councillor Jim Hanson

Councillor Robin Hicks

Councillor Doug MacKay-Dunn

Councillor Lisa Muri



NORTH VANCOUVER  
DISTRICT

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## **REGULAR MEETING OF COUNCIL**

**7:00 p.m.**  
**Monday, November 20, 2017**  
**Council Chamber, Municipal Hall,**  
**355 West Queens Road, North Vancouver**

### **AGENDA**

#### **BROADCAST OF MEETING**

- Online at [www.dnv.org](http://www.dnv.org)

#### **CLOSED PUBLIC HEARING ITEMS NOT AVAILABLE FOR DISCUSSION**

- Bylaw 8142 – Rezoning Employment Zone – Lynn Creek Light Industrial
- Bylaw 8230 – OCP Amendment 1886-1956 Belle Isle Place & 2046 Curling Road
- Bylaw 8231 – Rezoning 1886-1956 Belle Isle Place & 2046 Curling Road
- Bylaw 8236 – Rezoning 905-959 Premier Street
- Bylaw 8240 – OCP Amendment 1502-1546 Oxford Street
- Bylaw 8241 – Rezoning 1502-1546 Oxford Street
- Bylaw 8225 – Rezoning 756-778 Forsman Avenue
- Bylaw 8244 – OCP Amendment 1801-1865 Glenaire Drive & 2064-2082 Curling Road
- Bylaw 8245 – Rezoning 1801-1865 Glenaire Drive & 2064-2082 Curling Road
- Bylaw 8215 – Rezoning 1401-1479 Hunter Street & 481-497 Mountain Highway
- Bylaw 8233 – Phased Development Agreement 1401-1479 Hunter Street & 481-497 Mountain Highway

#### **1. ADOPTION OF THE AGENDA**

##### **1.1. November 20, 2017 Regular Meeting Agenda**

*Recommendation:*

THAT the agenda for the November 20, 2017 Regular Meeting of Council for the District of North Vancouver is adopted as circulated, including the addition of any items listed in the agenda addendum.

#### **2. PUBLIC INPUT**

(limit of three minutes per speaker to a maximum of thirty minutes total)

#### **3. PROCLAMATIONS**

**4. RECOGNITIONS**

**4.1. 2017 Civic Awards**

**5. DELEGATIONS**

**6. ADOPTION OF MINUTES**

**6.1. October 30, 2017 Regular Council Meeting p. 9-14**

*Recommendation:*

THAT the minutes of the October 30, 2017 Regular Council meeting are adopted.

**6.2. November 6, 2017 Regular Council Meeting p. 15-22**

*Recommendation:*

THAT the minutes of the November 6, 2017 Regular Council meeting are adopted.

**7. RELEASE OF CLOSED MEETING DECISIONS**

**8. COUNCIL WORKSHOP REPORT**

**9. REPORTS FROM COUNCIL OR STAFF**

With the consent of Council, any member may request an item be added to the Consent Agenda to be approved without debate.

If a member of the public signs up to speak to an item, it shall be excluded from the Consent Agenda.

*Recommendation:*

THAT items \_\_\_\_\_ are included in the Consent Agenda and be approved without debate.

**9.1. Maplewood Village Centre and Innovation District Implementation Plan & Design Guidelines p. 25-31**

File No. 13.6480.30/000.003

*Recommendation:*

THAT the replacement of the maps in Part 2, Section 2.4 Land Use Designations and Densities: Maplewood Land Use Plan and Maplewood Building Heights, as attached to the November 10, 2017 report of the Senior Planner entitled Maplewood Village Centre and Innovation District Implementation Plan & Design Guidelines, is approved.

**9.2. Consequential OCP Bylaw Amendments following Approval of Maplewood Village Centre and Innovation District Implementation Plan & Design Guidelines p. 33-56**

File No. 13.6480.30/000.003



*Recommendation:*

THAT “District of North Vancouver Official Community Plan Bylaw 7900, 2011, Amendment Bylaw 8279, 2017 (Amendment 32)” is given FIRST Reading;

AND THAT pursuant to Section 475 and Section 476 of the *Local Government Act*, additional consultation is not required beyond that already undertaken with respect to Bylaw 8279;

AND THAT in accordance with Section 477 of the *Local Government Act*, Council has considered Bylaw 8279 in conjunction with its Financial Plan and applicable Waste Management Plans;

AND THAT Bylaw 8279 be referred to a Public Hearing.

**9.3. OCP Implementation Monitoring Committee Workplan** **p. 57-60**  
File No. 13.6480.30/001.002

*Recommendation:*

THAT the OCP Implementation Monitoring Committee Workplan, as attached to the November 14, 2017 report of the Manager – Community Planning entitled OCP Implementation Monitoring Committee Workplan, is approved.

**9.4. Development Permit 50.15 – 854-858 Orwell Street and 855 Premier Street** **p. 61-92**  
File No. 08.3060.20/050.15

*Recommendation:*

THAT Development Permit 50.15, for a 23 unit townhouse project at 854-858 Orwell Street and 855 Premier Street, is ISSUED.

**9.5. 29<sup>th</sup> Avenue at William Street Intersection Safety Improvements** **p. 93-95**  
File No. 16.8310.01/000.000

*Recommendation:*

THAT the District reinstate the temporary bump-out on the southwest corner of the 29th Street/William Avenue intersection (for 29th Street eastbound traffic) as soon as possible to address ongoing pedestrian safety concerns;

AND THAT the District make the bump-out permanent as soon as sufficient funds are available through the annual budget process.

**9.6. North Shore Operation Red Nose Sponsorship** **p. 97-99**  
File No.

*Recommendation:*

THAT a grant in the amount of \$1,000 be provided to the North Shore Rotary Club in support of their 2017 “Operation Red Nose” campaign, funds to be allocated from the Miscellaneous Funding Requests to Council account.

**10. REPORTS**

**10.1. Mayor**

**10.2. Chief Administrative Officer**

**10.3. Councillors**

**10.4. Metro Vancouver Committee Appointees**

**10.4.1. Aboriginal Relations Committee – Councillor Hanson**

**10.4.2. Housing Committee – Councillor MacKay-Dunn**

**10.4.3. Regional Parks Committee – Councillor Muri**

**10.4.4. Utilities Committee – Councillor Hicks**

**10.4.5. Zero Waste Committee – Councillor Bassam**

**10.4.6. Mayors Council – TransLink – Mayor Walton**

**11. ANY OTHER BUSINESS**

**12. ADJOURNMENT**

*Recommendation:*

THAT the November 20, 2017 Regular Meeting of Council for the District of North Vancouver is adjourned.

## MINUTES

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**DISTRICT OF NORTH VANCOUVER  
REGULAR MEETING OF COUNCIL**

Minutes of the Regular Meeting of the Council for the District of North Vancouver held at 7:01 pm on Monday, October 30, 2017 in the Council Chambers of the District Hall, 355 West Queens Road, North Vancouver, British Columbia.

**Present:** Mayor R. Walton  
Councillor R. Bassam  
Councillor M. Bond  
Councillor J. Hanson  
Councillor R. Hicks  
Councillor D. MacKay-Dunn (via telephone)  
Councillor L. Muri

**Staff:** Mr. D. Stuart, Chief Administrative Officer  
Mr. G. Joyce, General Manager – Engineering, Parks & Facilities  
Mr. D. Milburn, General Manager – Planning, Properties & Permits  
Mr. J. Gordon, Manager – Administrative Services  
Mr. S. Ono, Manager – Engineering Services  
Ms. J. Paton, Manager – Development Planning  
Ms. C. Archer, Confidential Council Clerk

**1. ADOPTION OF THE AGENDA**

**1.1. October 30, 2017 Regular Meeting Agenda**

**MOVED by Councillor MURI**

**SECONDED by Councillor BASSAM**

THAT the agenda for the October 30, 2017 Regular Meeting of Council for the District of North Vancouver is adopted as circulated.

**CARRIED**

With the consent of Council, Mayor Walton varied the agenda as follows:

**5. DELEGATIONS**

**5.1. Diana Saboe, President, Royal Canadian Legion Branch #114 Lynn Valley**  
Presentation to Mayor and Council – First Poppy

Ms. Diana Saboe, President, Royal Canadian Legion Branch #114 Lynn Valley provided an update on the Branch's operations and announced that they will be holding a Remembrance Day ceremony in Lynn Valley. Legion members presented poppies to Mayor and Council.

**2. PUBLIC INPUT**

**2.1. Mr. John Harvey, 1900 Block Cedar Village Crescent:**

- Spoke regarding the October 23, 2017 Council minutes;
- Suggested a moratorium on Rezoning applications;
- Queried if staff have provided Council with a report on the Blue Cabin; and,
- Requested that October 2, 2018 be proclaimed Wrongful Conviction Day.

**2.2. Mr. Eric Andersen, 2500 Block Derbyshire Way:**

- Spoke in support of item 9.6 regarding “Locals First” marketing of new developments;
- Spoke in support of the staff recommendation for item 9.7 to oppose a compost facility in the Seymour area;
- Invited Council to attend the North Shore Restorative Justice Society gala.

**3. PROCLAMATIONS**

Nil

**4. RECOGNITIONS**

Nil

**6. ADOPTION OF MINUTES**

**6.1. October 23, 2017 Regular Council Meeting**

Consideration of adoption of the minutes of the October 23, 2017 Regular Council meeting was postponed.

**7. RELEASE OF CLOSED MEETING DECISIONS**

Nil

**8. COUNCIL WORKSHOP REPORT**

Nil

Councillor MACKAY-DUNN left the meeting at 7:16 pm.

**9. REPORTS FROM COUNCIL OR STAFF**

**MOVED by Councillor BASSAM**

**SECONDED by Councillor BOND**

THAT items 9.4 and 9.5 are included in the Consent Agenda and are approved without debate.

**CARRIED**

Absent for Vote: Councillor MACKAY-DUNN

**9.1. Bylaw 8249: Rezoning for a Four Unit Townhouse Project: 2932 Chesterfield Avenue**

File No. 08.3060.20/042.16

**MOVED by Councillor BOND**

**SECONDED by Councillor BASSAM**

THAT "District of North Vancouver Rezoning Bylaw 1357 (Bylaw 8249)" is given FIRST Reading;

AND THAT Bylaw 8249 is referred to a Public Hearing.

**CARRIED**

Absent for Vote: Councillor MACKAY-DUNN

**9.2. Bylaw 8239: Rezoning for a Triplex Project: 3030 Sunnyhurst Road**

File No. 08.3060.20/065.16

**MOVED by Councillor BOND**

**SECONDED by Councillor BASSAM**

THAT "District of North Vancouver Rezoning Bylaw 1354 (Bylaw 8239)" is given FIRST Reading;

AND THAT Bylaw 8239 is referred to a Public Hearing.

**CARRIED**

Absent for Vote: Councillor MacKay-Dunn

**9.3. Bylaws 8244, 8245 and 8246: 1801-1865 Glenaire Drive and 2064-2082 Curling Road**

File No. 08.3060.20/067.16

**MOVED by Councillor BASSAM**

**SECONDED by Mayor WALTON**

THAT "District of North Vancouver Official Community Plan Bylaw 7900, 2011, Amendment Bylaw 8244, 2017 (Amendment 27)" is given SECOND and THIRD Readings;

AND THAT "District of North Vancouver Rezoning Bylaw 1356 (Bylaw 8245)" is given SECOND and THIRD Readings;

AND THAT "Housing Agreement Bylaw 8246, 2017 (1801-1865 Glenaire Drive and 2064-2082 Curling Road)" is given SECOND and THIRD Readings.

**CARRIED**

Opposed: Councillors HANSON and MURI

Absent for Vote: Councillor MACKAY-DUNN

**9.4. Recommended Museum Deaccessions #9**

File No.

**MOVED by Councillor BASSAM**

**SECONDED by Councillor BOND**

THAT the North Vancouver Museum and Archives (NVMA) Commission is authorized to deaccession and dispose of 11 artifacts owned solely by the District of North Vancouver as outlined in the October 16, 2017 report of the Director of the North Vancouver Museum and Archives entitled Recommended Museum Deaccessions #9;

AND THAT the North Vancouver Museum and Archives (NVMA) Commission is authorized to deaccession and dispose of 2 artifacts owned jointly by the District and the City of North Vancouver as outlined in the October 16, 2017 report of the Director of the North Vancouver Museum and Archives entitled Recommended Museum Deaccessions #9;

AND THAT the NVMA Commission is authorized to deaccession and dispose of 247 unaccessioned objects that have been found in the Museum Collection as outlined in the July 19, 2017 report of the Director of the North Vancouver Museum and Archives entitled Recommended Museum Deaccessions #9.

**CARRIED**

Absent for Vote: Councillor MACKAY-DUNN

**9.5. Acting Mayor Schedule Change - December 1 - December 10, 2017**

File No. 01.0115.30/002.000

**MOVED by Councillor BASSAM**

**SECONDED by Councillor BOND**

THAT Councillor Bassam is designated as Acting Mayor for the period December 1 to December 10, 2017 inclusive.

**CARRIED**

Absent for Vote: Councillor MACKAY-DUNN

Councillor MACKAY-DUNN returned to the meeting at 7:54 pm.

Councillor MACKAY-DUNN left the meeting at 7:57 pm and returned at 8:00 pm.

Councillor MACKAY-DUNN left the meeting at 8:05 pm and returned at 8:10 pm.

**9.6. “Locals First” Marketing of New Developments**

File No.

**MOVED by Councillor MURI**

**SECONDED by Councillor HANSON**

THAT staff are directed to bring forward a policy requesting that developers of new residential developments make them exclusively available to North Shore residents for the first sixty days before permitting sale to others.

**CARRIED**

Opposed: Councillors BASSAM, BOND and HICKS



Councillor MACKAY-DUNN left the meeting at 8:14 pm.

**9.7 Crown Land Tenure Application Referral – Seymour Compost Facility**  
File No. 13.6770/ENV Special Projects/File

Public Input:

Mr. Peter Teevan, 1900 Block Indian River Crescent:

- Spoke on behalf of the Seymour Community Association in support of the staff recommendation that Council not support the application;
- Commented on traffic issues in the area; and,
- Urged Council to actively oppose the proposal.

**MOVED by Councillor BASSAM**  
**SECONDED by Councillor MURI**

THAT Council inform the Ministry of Forests, Lands, Natural Resource Operations and Rural Development that Crown Land Tenure Application No. 100218653 by Anaconda Systems does not comply with the existing OCP designation or the current zoning for the site;

AND THAT Council does not support Crown Land Tenure Application No. 100218653 at this site.

**CARRIED**

Absent for Vote: Councillor MACKAY-DUNN

**10. REPORTS**

**10.1. Mayor**

Nil

**10.2. Chief Administrative Officer**

Nil

**10.3. Councillors**

Nil

**10.4. Metro Vancouver Committee Appointees**

**10.4.1. Utilities Committee – Councillor Hicks**

Councillor Hicks reported on his attendance at the Metro Vancouver Board of Directors meeting.

**10.4.2. Aboriginal Relations Committee – Councillor Hanson**

Nil

**10.4.3. Housing Committee – Councillor MacKay-Dunn**

Nil

**10.4.4. Regional Parks Committee – Councillor Muri**

Nil

**10.4.5. Zero Waste Committee – Councillor Bassam**

Nil

**10.4.6. Mayors Council – TransLink – Mayor Walton**

Nil

**11. ANY OTHER BUSINESS**

Nil

**12. ADJOURNMENT**

**MOVED by Councillor MURI**

**SECONDED by Councillor BOND**

THAT the October 30, 2017 Regular Meeting of Council for the District of North Vancouver is adjourned.

**CARRIED**

(8:37 pm)

Absent for Vote: Councillor MACKAY-DUNN

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Mayor

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Municipal Clerk

**DISTRICT OF NORTH VANCOUVER  
REGULAR MEETING OF COUNCIL**

Minutes of the Regular Meeting of the Council for the District of North Vancouver held at 7:02 p.m. on Monday, November 6, 2017 in the Council Chamber of the District Hall, 355 West Queens Road, North Vancouver, British Columbia.

**Present:** Mayor R. Walton  
Councillor M. Bond  
Councillor J. Hanson  
Councillor R. Hicks  
Councillor D. MacKay-Dunn  
Councillor L. Muri

**Absent:** Councillor R. Bassam

**Staff:** Mr. D. Stuart, Chief Administrative Officer  
Ms. C. Grant, General Manager – Corporate Services  
Mr. D. Milburn, General Manager – Planning, Properties & Permits  
Mr. B. Dwyer, Manager – Development Services  
Mr. J. Gordon, Manager – Administrative Services  
Mr. T. Lancaster, Manager – Community Planning  
Mr. S. Ono, Manager – Engineering Services  
Ms. J. Paton, Manager – Development Planning  
Ms. J. Ryder, Manager – Real Estate & Properties  
Ms. S. Dale, Confidential Council Clerk  
Ms. K. Rendek, Planner

**1. ADOPTION OF THE AGENDA**

**1.1. November 6, 2017 Regular Meeting Agenda**

**MOVED by Councillor MACKAY-DUNN**

**SECONDED by Councillor HANSON**

THAT the agenda for the November 6, 2017 Regular Meeting of Council for the District of North Vancouver is adopted as circulated, including the addition of any items listed in the agenda addendum.

**CARRIED**

**2. PUBLIC INPUT**

**2.1. Ms. Jodie Bergeron, 1900 Block Purcell Way:**

- Spoke in opposition to Bylaw 8262, Bylaw 8263 and Bylaw 8264 regarding 1923 Purcell Way;
- Commented that it is important for Capilano University to be able to attract International students and without on-site student housing, this becomes an economic challenge for the University; and,
- Commented that many owners will be priced out of the North Vancouver market should this development be approved.

**2.2. Mr. Peter Teevan, 1900 Block Indian River Drive:**

- Spoke on behalf of the Seymour Community Association;
- Spoke to the comment sheets submitted by residents of the District of North Vancouver from the Public Information Meeting regarding the proposed townhouse development at 3428-3464 Mount Seymour Parkway; and,
- Urged Council to consider the concerns expressed by residents.

**2.3. Mr. Greg Smallenverg, 900 Block Belvedere Drive:**

- Spoke as the owner of 982 Belvedere Drive;
- Spoke to the constraints of the property resulting from the rear-yard slope and creek;
- Commented that an enclosed garage would increase the liveability of the house; and,
- Noted that neighbours have been contacted and are in support.

**2.4. Ms. Alice Hambleton, 3400 Block Mt. Seymour Parkway:**

- Spoke in opposition to the proposed development at Gaspe Place and Mount Seymour Parkway;
- Opined that there is too much development happening all at once in the Seymour area;
- Spoke to the issue of affordable housing;
- Expressed concern regarding traffic issues; and,
- Urged Council to retain the character, history and heritage of the community.

**2.5. Mr. David Wostenhome, 6200 Block Imperial Avenue, West Vancouver:**

- Spoke to the issue of affordable housing in the Maplewood area; and,
- Advised that he is a developer with land outside the Maplewood town center and questioned how to proceed with building affordable housing.

**3. PROCLAMATIONS**

Nil

**4. RECOGNITIONS**

Nil

**5. DELEGATIONS**

Nil

**6. ADOPTION OF MINUTES**

Nil

**7. RELEASE OF CLOSED MEETING DECISIONS**

Nil

## 8. COUNCIL WORKSHOP REPORT

Nil

## 9. REPORTS FROM COUNCIL OR STAFF

With the consent of Council, Mayor Walton varied the agenda as follows:

### 9.2. Development Variance Permit 29.17 – 982 Belvedere Drive

File No. 08.3060.20/029.17

**MOVED by Councillor BOND**

**SECONDED by Councillor HICKS**

THAT Development Variance Permit 29.17, to allow for a two car garage addition to a single-family house at 982 Belvedere Drive, is ISSUED.

**DEFEATED**

Opposed: Mayor WALTON and Councillors HANSON, MACKAY-DUNN and MURI

### 9.3. New Construction Bylaw, Building Act and Energy Step Code Implementation

File No. 09.3900.01/000.000

**MOVED by Councillor MACKAY-DUNN**

**SECONDED by Councillor MURI**

THAT the October 25, 2017 report of the Manager – Development Services entitled New Construction Bylaw, Building Act and Energy Step Code Implementation be received for information;

AND THAT “Construction Bylaw 8271, 2017” is given FIRST, SECOND and THIRD Readings;

AND THAT “Radio Amplification Bylaw 8272, 2017” is given FIRST, SECOND and THIRD Readings;

AND THAT “Bylaw Notice Enforcement Bylaw 7458, 2004, Amendment Bylaw 8274, 2017 (Amendment 32)” is given FIRST, SECOND and THIRD Readings;

AND THAT “District of North Vancouver Rezoning Bylaw 1365 (Bylaw 8273)” is given FIRST Reading;

AND THAT Bylaw 8273 be referred to a Public Hearing;

AND THAT District Policy 8.3320.7 Green Building Policy – Private Sector Developments be rescinded effective July 1, 2018;

AND THAT staff be authorized to pursue a local variation under the *Building Act* to enable the District to continue regulating stacked rock walls.

**CARRIED**

**9.4. Bylaws 8262, 8263, 8264 and 8277:  
1923 Purcell Way and Capilano University –  
Rezoning and Development Permit for Multi-family and Student Housing  
File No. 08.3060.20/035.000**

Public Input:

Mr. Kevin Johnston, CFO, Woodbridge Northwest Communities (WNC):

- Highlighted the benefits and amenities of the proposed development;
- Spoke to the issues current owners are facing; and,
- Noted that current owners will be provided with generous tenant relocation packages.

Ms. Kim Branch, 1900 Block Purcell Way, Strata Council Member:

- Spoke to the impacts on current owners;
- Highlighted concerns expressed by the Strata Council VR149 as outlined in the letter attached to the October 26, 2017 report of the Development Planner entitled Bylaws 8262, 8263, 8264 and 8277: 1923 Purcell Way and Capilano University – Rezoning and Development Permit for Multi-Family and Student Housing (Attachment G).

**MOVED by Councillor HICKS**

**SECONDED by Councillor HANSON**

THAT “District of North Vancouver Official Community Plan Bylaw 7900, 2011, Amendment Bylaw 8262, 2017 (Amendment 30)” is given FIRST Reading;

AND THAT “District of North Vancouver Rezoning Bylaw 1361 (Bylaw 8263)” is given FIRST Reading;

AND THAT “Housing Agreement Bylaw 8264, 2017 (1923-1959 Purcell Way)” is given FIRST Reading;

AND THAT “Housing Agreement Bylaw 8277, 2017 (2055 Purcell Way)” is given FIRST Reading;

AND THAT pursuant to Section 475 and Section 476 of the *Local Government Act*, additional consultation is not required beyond that already undertaken with respect to Bylaw 8262;

AND THAT in accordance with Section 477 of the *Local Government Act*, Council has considered Bylaw 8262 in conjunction with its Financial Plan and applicable Waste Management Plans;

AND THAT Bylaw 8262 and Bylaw 8263 be referred to a Public Hearing.

**CARRIED**

**9.5. Bylaws 8278, 8256 and 8257: OCP Amendment, Rezoning and Housing Agreement for a 25 Unit Townhouse Project – 1031, 1037, 1041 and 1045 Ridgewood Drive**  
File No. 08.3060.20/009.17

Public Input:

Ms. Mackenzie Biggar, Boffo Properites:

- Noted that extensive community consultation has taken place and the developer has worked with the community to address their needs;
- Stated that construction will not commence until after the completion of Boffo 1;
- Commented on the detailed Traffic Management Plan to minimize impacts on the community; and,
- Opined that the proposed project is in keeping with the character of the neighbourhood.

**MOVED by Councillor HICKS**

**SECONDED by Councillor BOND**

THAT “District of North Vancouver Official Community Plan Bylaw 7900, 2011, Amendment Bylaw 8278, 2017 (Amendment 31)” is given FIRST Reading;

AND THAT “District of North Vancouver Rezoning Bylaw 1360 (Bylaw 8256)” is given FIRST Reading;

AND THAT “Housing Agreement Bylaw 8257, 2017 (1031-1045 Ridgewood Drive)” is given FIRST Reading;

AND THAT pursuant to Section 475 and Section 476 of the *Local Government Act*, additional consultation is not required beyond that already undertaken with respect to Bylaw 8278;

AND THAT in accordance with Section 477 of the *Local Government Act*, Council has considered Bylaw 8278 in conjunction with its Financial Plan and applicable Waste Management Plans;

AND THAT Bylaw 8278 and Bylaw 8256 be referred to a Public Hearing.

**CARRIED**

Opposed: Councillors HANSON and MURI

**9.6. Proposed Partial Highway Closure and Dedication Removal Bylaw 8248 - “3300 Block of Gaspe Place and Mt. Seymour Parkway Highway Closure Bylaw 8248, 2017”**  
File No. 02.0930.20/506.000

**MOVED by Councillor HANSON**

**SECONDED by Councillor BOND**

THAT “3300 Block of Gaspe Place and Mt. Seymour Parkway Highway Closure Bylaw 8248, 2017” is given FIRST Reading;

AND THAT Staff is authorized to publish notification for two consecutive weeks as per the provisions in the *Community Charter*.

**CARRIED**

Opposed: Councillors HICKS and MURI

**9.7. Bylaw 8247, 2017: 2000 Block Heritage Park Lane Highway Closure**

File No. 02.0930.20/495.000

Councillor MURI left the meeting at 8:29 pm and returned at 8:31 pm.

Public Input:

Mr. Corrie Kost, 2800 Block Colwood Drive:

- Expressed concern regarding the public notification process; and,
- Expressed concern that the newspaper notice is not legible.

**MOVED by Councillor HANSON**

**SECONDED by Councillor BOND**

THAT “2000 Block Heritage Park Lane Highway Closure Bylaw 8247, 2017” is given SECOND and THIRD Readings.

**CARRIED**

Council recessed at 8:34 pm and reconvened at 8:38 pm.

**9.1. Final Draft Maplewood Village Centre and Innovation District Implementation Plan & Design Guidelines**

File No. 13.6480.30/000.003

Public Input:

Mr. Don Peters, 600 Block West Queens Road:

- Spoke as a representative of the Community Housing Action Committee (CHAC);
- Commented on the need for non-market housing;
- Spoke in support of providing employee housing; and,
- Commented on the need for affordable rental housing.

Mr. Stuart Porter, 600 Block Riverside Drive:

- Spoke on behalf of the Maplewood Area Community Association;
- Expressed concern regarding affordable housing;
- Expressed concern regarding the displacement of low income families; and,
- Suggested 20% of all new units be built as affordable housing.

Ms. Julia Staub-French, 200 Block Lonsdale Avenue:

- Spoke as the Executive Director – Family Services of the North Shore;
- Spoke to issues impacting the Maplewood community; and,
- Urged residents to utilize services provided by the Family Services on the North Shore.



Ms. Linda Melville, 2200 Block Old Dollarton Road:

- Spoke in opposition to the draft Maplewood Village Centre and Innovation District Implementation Plan & Design Guidelines;
- Commented that the issue of affordable housing needs to be addressed;
- Expressed concern regarding encroaching onto existing green space; and,
- Noted concerns about the height and density of the proposed housing.

Mr. Fred Rathje, 600 Block Roslyn Drive:

- Commended staff for the comprehensive plan for the Maplewood Town Centre;
- Expressed concern that large new developments continue to provide ample parking stalls; and,
- Spoke to the importance of creating a walkable community with better bicycle infrastructure and less reliance on vehicles in the Maplewood Town Centre.

Ms. Karen Rendek, Planner, and Mr. Tom Lancaster, Manager – Community Planning, presented the final draft plan of the Maplewood Village Centre and Innovation District Implementation Plan & Design Guidelines. Ms. Rendek outlined key components of the draft plan and illustrated how the draft plan has responded to the feedback generated through the public process. It was noted that the proposed draft plan and key policy directions have received significant support from the community and based on feedback generated through the public process staff have further revised the draft plan.

**MOVED by Councillor HICKS**

**SECONDED by Councillor BOND**

THAT the Maplewood Village Centre and Innovation District Implementation Plan & Design Guidelines as attached to the October 25, 2017 report of the Senior Planner entitled Final Draft Maplewood Village Centre and Innovation District Implementation Plan & Design Guidelines is approved;

AND THAT staff be instructed to prepare any consequential Official Community Plan amendments that result from approval of the Maplewood Village Centre and Innovation District Implementation Plan & Design Guidelines for Council consideration.

**CARRIED**

Opposed: Councillors HANSON and MURI

## **10. REPORTS**

### **10.1. Mayor**

Mayor Walton reported on the upcoming Remembrance Day ceremonies on November 11, 2017.

### **10.2. Chief Administrative Officer**

Nil

### **10.3. Councillors**

- 10.3.1.** Councillor Mackay-Dunn reported on the Burr Place - Men's Support Recovery House.

### **10.4. Metro Vancouver Committee Appointees**

**10.4.1. Aboriginal Relations Committee – Councillor Hanson**

Nil

**10.4.2. Housing Committee – Councillor MacKay-Dunn**

Nil

**10.4.3. Regional Parks Committee – Councillor Muri**

Nil

**10.4.4. Utilities Committee – Councillor Hicks**

Nil

**10.4.5. Zero Waste Committee – Councillor Bassam**

Nil

**10.4.6. Mayors Council – TransLink – Mayor Walton**

Nil

### **11. ANY OTHER BUSINESS**

Nil

### **12. ADJOURNMENT**

**MOVED by Councillor BOND**

**SECONDED by Councillor HICKS**

THAT the November 6, 2017 Regular Meeting of Council for the District of North Vancouver is adjourned.

**CARRIED**  
(10:00 p.m.)

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Mayor

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Municipal Clerk

## REPORTS

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AGENDA INFORMATION	
<input checked="" type="checkbox"/> Regular Meeting	Date: <u>November 20, 2017</u>
<input type="checkbox"/> Other:	Date: _____



## The District of North Vancouver REPORT TO COUNCIL

November 10, 2017  
File: 13.6480.30/00.003

**AUTHOR:** Karen Rendek, Senior Planner

**SUBJECT:** **Maplewood Village Centre and Innovation District Implementation Plan & Design Guidelines**

### RECOMMENDATION:

That Council approve the replacement of the maps in Part 2, Section 2.4 Land Use Designations and Densities: Maplewood Land Use Plan and Maplewood Building Heights in Attachment 1.

### REASON FOR REPORT:

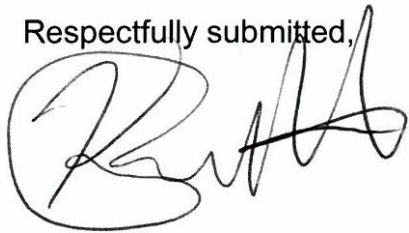
On November 6, 2017, District of North Vancouver Council passed resolutions to approve the Maplewood Village Centre and Innovation District Implementation Plan & Design Guidelines (The Plan), and to direct staff to prepare any consequential Official Community Plan (OCP) amendments that result from approval of the Plan, for Council consideration.

Since the approval of The Plan at the November 6 Regular meeting of Council, some minor mapping errors have been identified in the maps in The Plan. These errors are in Part 2, Section 2.4 Land Use Designations and Densities: Maplewood Land Use Plan, and in the Building Heights map in Section 2.5. Building Heights. Staff recommends these maps be replaced with the corrected maps in Attachment 1. The consequential OCP Amendment Bylaw for Council consideration at the November 20, 2017 Regular meeting of Council will also reflect the corrected Land Use map (Attachment 1).

These amendments are listed in a table in Attachment 2 to this report. The changes do not modify the policies of The Plan, including the total amount of proposed residential units.

The proposed changes to the two maps listed in this report are identified in the maps in Attachment 3 for clarity.

Respectfully submitted,



Karen Rendek, MCIP, RPP  
Senior Planner

**Attachment 1:** Figure 8: Maplewood Land Use Plan and Figure 9: Maplewood Building Heights

**Attachment 2:** Designation and Height Corrections to Implementation Plan

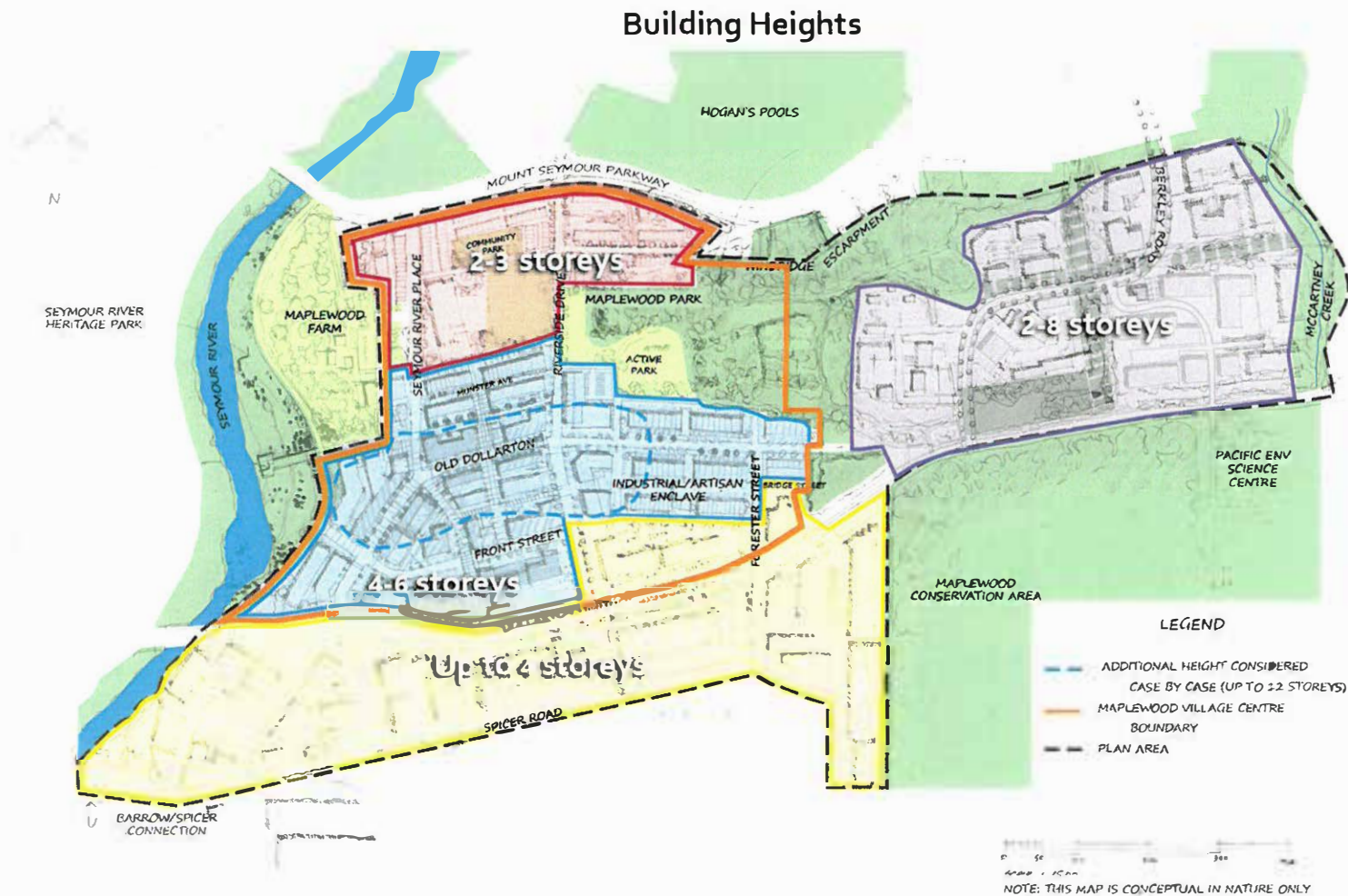
**Attachment 3:** Identifying changes to land use designations and the Building Heights map

REVIEWED WITH:		
<input checked="" type="checkbox"/> Sustainable Community Dev. _____	<input type="checkbox"/> Clerk's Office _____	External Agencies:
<input type="checkbox"/> Development Services _____	<input type="checkbox"/> Communications _____	<input type="checkbox"/> Library Board _____
<input type="checkbox"/> Utilities _____	<input type="checkbox"/> Finance _____	<input type="checkbox"/> NS Health _____
<input type="checkbox"/> Engineering Operations _____	<input type="checkbox"/> Fire Services _____	<input type="checkbox"/> RCMP _____
<input type="checkbox"/> Parks _____	<input type="checkbox"/> ITS _____	<input type="checkbox"/> NVRC _____
<input type="checkbox"/> Environment _____	<input checked="" type="checkbox"/> Solicitor _____	<input type="checkbox"/> Museum & Arch. _____
<input type="checkbox"/> Facilities _____	<input type="checkbox"/> GIS _____	<input type="checkbox"/> Other: _____
<input type="checkbox"/> Human Resources _____	<input type="checkbox"/> Real Estate _____	



Figure 8: Maplewood Land Use Plan

Figure 9: Maplewood Building Heights

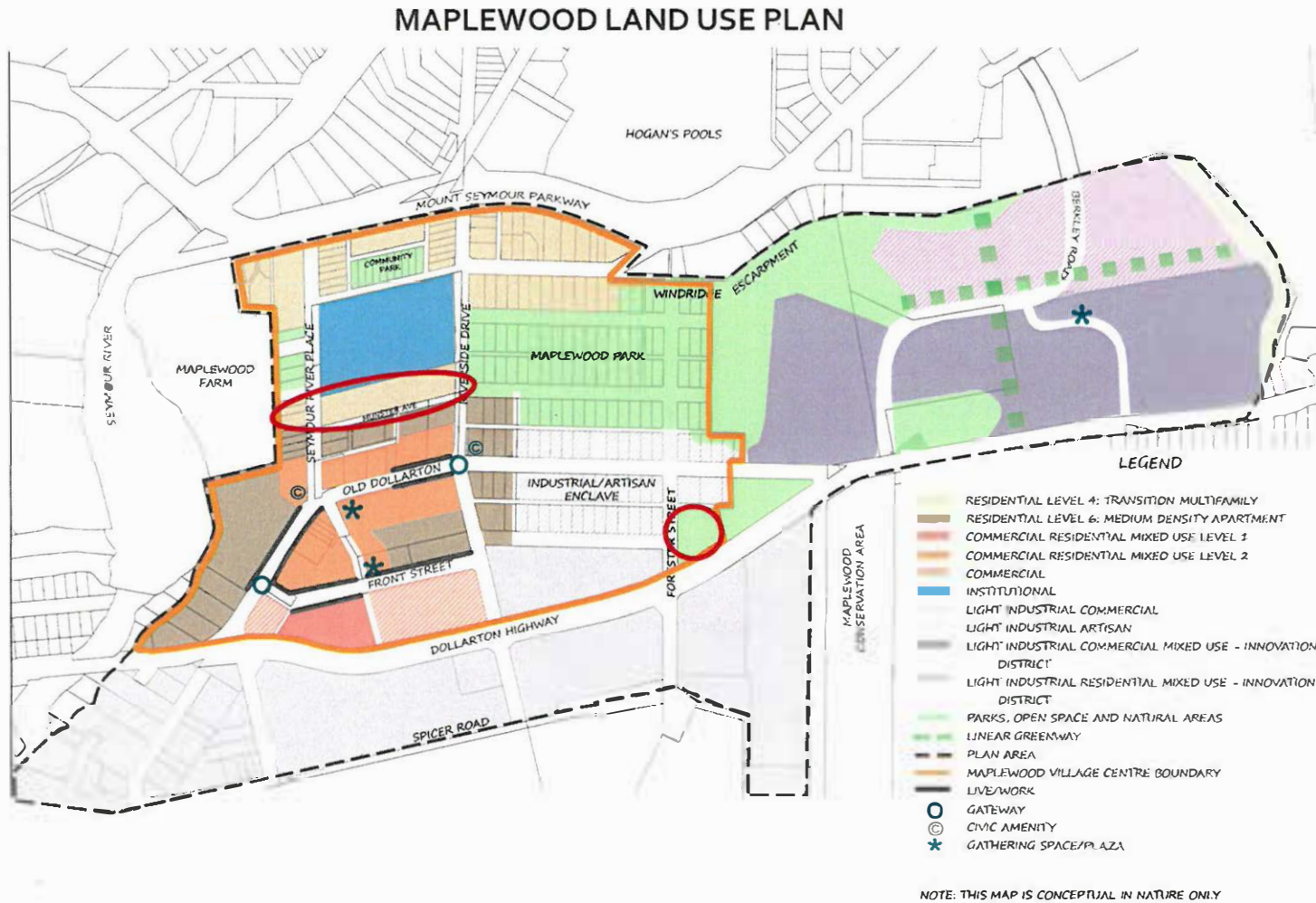




**Designation and Height Corrections to Implementation Plan****ATTACHMENT 2**

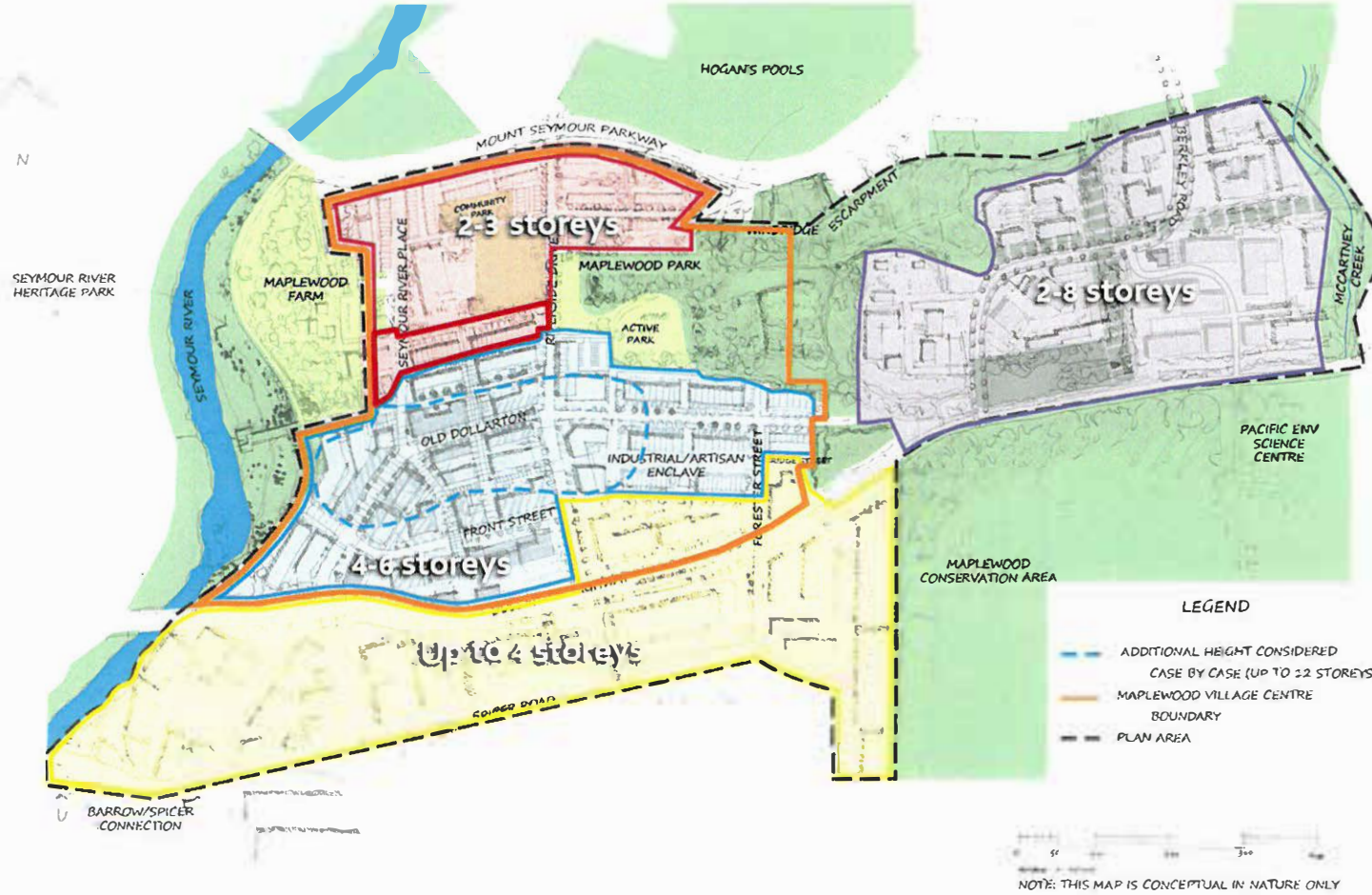
2400 Dollarton Highway	From Parks, Open Space & Natural Areas to Light Industrial Commercial – refer to Attachment 3 Maplewood Land Use Plan	
340 Seymour River Place	From Residential Level 4: Transition MultiFamily to Residential Level 6: Medium Density Apartment – refer to Attachment 3 Maplewood Land Use Plan	From 2-3 Storeys to 4-6 Storeys – refer to Attachment 3 Building Heights
335 – 347 Seymour River Place	From Residential Level 4: Transition MultiFamily to Residential Level 6: Medium Density Apartment - refer to Attachment 3 Maplewood Land Use Plan	From 2-3 Storeys to 4-6 Storeys – refer to Attachment 3 Building Heights

Identifying changes to land use designations and Building Heights map



Indicates changes that have been made to land use designations

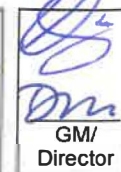
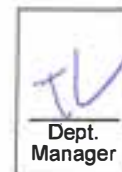
## Building Heights



Indicates changes  
that have been  
made to building  
heights

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AGENDA INFORMATION	
<input checked="" type="checkbox"/> Regular Meeting	Date: Nov. 20, 2017
<input type="checkbox"/> Other:	Date: _____



## The District of North Vancouver REPORT TO COUNCIL

November 9, 2017  
File: 13.6480.30/00.003

**AUTHOR:** Karen Rendek, Senior Planner and Nicole Foth, Community Planner

**SUBJECT:** Consequential OCP Bylaw Amendments following Approval of  
Maplewood Village Centre and Innovation District Implementation Plan &  
Design Guidelines

### RECOMMENDATION:

THAT "District of North Vancouver Official Community Plan Bylaw 7900, 2011, Amendment Bylaw 8279, 2017 (Amendment 32)" is given FIRST Reading;

AND THAT pursuant to Section 475 and Section 476 of the *Local Government Act*, additional consultation is not required beyond that already undertaken with respect to Bylaw 8279;

AND THAT in accordance with Section 477 of the *Local Government Act*, Council has considered Bylaw 8279 in conjunction with its Financial Plan and applicable Waste Management Plans;

AND THAT Bylaw 8279 be referred to a Public Hearing.

### REASON FOR REPORT:

On November 6, 2017, District of North Vancouver Council passed resolutions to approve the Maplewood Village Centre and Innovation District Implementation Plan & Design Guidelines (The Plan) and to direct staff to prepare any consequential Official Community Plan (OCP) amendments that result from approval of the Plan, for Council consideration. Amending the OCP at this time will bring it into conformity with The Plan that Council approved on November 6, 2017.

### SUMMARY:

The 2011 Official Community Plan, Bylaw 7900 (OCP) identifies Maplewood Village Centre as one of the four key areas for growth and revitalization to be guided by an implementation plan. The implementation planning and public engagement process to create the Plan has followed since adoption of the OCP. The process was endorsed by Council to proceed on July 6, 2015 and included the expanded scope recommended by staff to undertake a review of the employment lands in the Maplewood area in recognition of the significant economic

**SUBJECT: Consequential OCP Bylaw Amendments following Approval of  
Maplewood Village Centre and Innovation District Implementation Plan  
& Design Guidelines**

November 9, 2017

Page 2

development potential of employment lands and to complete a detailed environmental assessment of the study area to protect environmentally sensitive areas (ESAs) in the Maplewood area. The planning process included undertaking technical economic, social, environmental, and transportation studies, conducting collaborative community and stakeholder consultation, establishing planning principles, and developing a detailed concept plan as the basis for the policies and design guidelines included in the Plan. Council approved the Plan on November 6, 2017, concluding the implementation planning process.

**EXISTING POLICY:**

The 2011 Official Community Plan, Bylaw 7900 (OCP) identifies Maplewood Village Centre as an area for growth and revitalization to be guided by an implementation plan. The OCP *Network of Centres* concept identifies Maplewood Village Centre as one of four key growth centres in the District. Schedule A of the OCP includes a broad vision and high level policy directions on land use, economics, housing opportunities, and mobility network concepts for this village centre. The OCP also includes key objectives and policies to encourage the productive and efficient use of employment lands; promote infill development, redevelopment, and intensification of underutilized sites on employment lands (where appropriate); as well as to protect and improve the ecological health of our natural systems.

**PUBLIC INPUT:**

A three phase planning and community/stakeholder engagement process to develop a plan and design guidelines for Maplewood launched in April 2016. The planning process has included interviews, community and stakeholder workshops, a design charrette, public open houses with over 590 total participants and over 655 submitted surveys to inform the development of the Plan. Charrette team participants included stakeholder representation from the Tsleil-Waututh Nation, Maplewood area residents, study area property owners (residential, rental, commercial, industrial), local business representation, the Maplewood Community Association, Transportation Consultation Committee (TCC) and HUB, TransLink, Metro Vancouver, urban designers/architects, planning professionals, landscape architects, market analysts, realtors, Wild Bird Trust and Conservation of Maplewood Flats, North Vancouver School District, Family Services North Shore, Economic Partnership North Vancouver (EPNV) and BC Cycling Coalition.

**ANALYSIS:**

The following section outlines highlights of the consequential amendments to the OCP as a result of Council approval of The Plan (Bylaw 8279).

1. The Plan includes three new land use designations to encourage employment-generating uses and opportunities:
  - Light Industrial Artisan;
  - Light Industrial Commercial Mixed-Use – Innovation District; and,
  - Light Industrial Residential Mixed-Use – Innovation District.

The amending bylaw adds these three land use designations to the OCP.



**SUBJECT: Consequential OCP Bylaw Amendments following Approval of  
Maplewood Village Centre and Innovation District Implementation Plan  
& Design Guidelines**

November 9, 2017

Page 3

2. Schedule A: Town & Village Centre Policies – Maplewood Village Centre includes the broad vision for Maplewood, and high level policy directions on land use, economic, housing opportunities, and mobility network concepts for this Village Centre. The Maplewood Village Centre portion of Schedule A is being replaced to reflect planning and policy directions contained in the approved Plan, following the 21-month planning and engagement process.
3. Two Development Permit Area (DPA) maps are being amended to include lands within Maplewood Village Centre that have been approved in The Plan for multi-family uses.
  - Schedule B: Part 5 – Form and Character of Commercial, Industrial and Multi-Family Development Map, and
  - Schedule B: Part 6 – Energy and Water Conservation and Greenhouse Gas Emission Reduction Development Permit Area Map.

These maps are being amended because certain lands within Maplewood Village Centre are currently designated in the OCP for detached residential, where these DPAs do not apply. These map amendments will ensure properties now designated multi-family are included in these DPAs and are subject to these regulations.

4. The changes to the land use designations for the three parcels located within the Innovation District are included in this amending bylaw in accordance with the land use designations in the approved Plan.

**Timing/Approval Process:**

Council has instructed staff to prepare consequential OCP amendments that result from approval of the Maplewood Village Centre and Innovation District Implementation Plan & Design Guidelines (The Plan). Council approved the Plan on November 6, 2017. Bylaw 8279 include the consequential OCP amendments resulting from this approval. A public hearing will be held if Council introduces Bylaw 8279 for First Reading and refers it to public hearing.

**Concurrence:**

Amending Bylaw 8279 has been reviewed by Community Planning, the Clerk's Office, Financial Planning, Engineering, and the Municipal Solicitor.

**Financial Impacts:**

Overall, the realization of the Maplewood Village Centre and Innovation District Implementation Plan & Design Guidelines is anticipated to bring economic benefits to the community including through developer contributions of community amenities, an increase in the tax base, and an increase in economic activity and jobs. Improvements and amenities' costs will be contained within the development revenue potential from this Centre.

Reviews of water, sanitary services, storm drain, flood management and fibre optic capabilities have been completed by Development Engineering to support this Plan. Water, sanitary, and storm drain modelling confirm that growth anticipated in the Plan can be accommodated.

**SUBJECT: Consequential OCP Bylaw Amendments following Approval of  
Maplewood Village Centre and Innovation District Implementation Plan  
& Design Guidelines**

November 9, 2017

Page 4

**Conclusion:**

The Maplewood Village Centre and Innovation District Implementation Plan & Design Guidelines was approved by Council on November 6, 2017. Bylaw 8279 includes the consequential Official Community Plan amendments that have resulted from approval of the Plan and have been prepared by staff for Council consideration.

**Options:**

The following options are available for Council's consideration:

1. Introduce Bylaw 8279 and refer Bylaw 8279 to Public Hearing; or,
2. Defeat Bylaw 8279 at First Reading.

Respectfully submitted,



Karen Rendek, MCIP, RPP  
Senior Planner



Nicole Foth  
Community Planner

**Attachment 1:** Existing Schedule A: "Town and Village Centre Policies – Maplewood Village Centre" (strikethrough version)

**Attachment 2:** District of North Vancouver Official Community Plan Bylaw 7900, 2011, Amendment Bylaw 8279, 2017

REVIEWED WITH:		
<input type="checkbox"/> Sustainable Community Dev.	<input type="checkbox"/> Clerk's Office	
<input type="checkbox"/> Development Services	<input type="checkbox"/> Communications	
<input type="checkbox"/> Utilities	<input checked="" type="checkbox"/> Finance	
<input type="checkbox"/> Engineering Operations	<input type="checkbox"/> Fire Services	
<input type="checkbox"/> Parks	<input type="checkbox"/> ITS	
<input type="checkbox"/> Environment	<input checked="" type="checkbox"/> Solicitor	
<input type="checkbox"/> Facilities	<input type="checkbox"/> GIS	
<input type="checkbox"/> Human Resources	<input type="checkbox"/> Real Estate	
External Agencies:		
	<input type="checkbox"/> Library Board	
	<input type="checkbox"/> NS Health	
	<input type="checkbox"/> RCMP	
	<input type="checkbox"/> NVRC	
	<input type="checkbox"/> Museum & Arch.	
	<input type="checkbox"/> Other:	



## SCHEDULE A MAPLEWOOD VILLAGE CENTRE

### 1 INTRODUCTION

Maplewood Village is a unique place in the District given its proximity to the waterfront, its industrial neighbours and character, and its diverse housing. The area is endowed with an outstanding natural environment and open space network including the Seymour River and various creeks, the Burrard Inlet foreshore, Maplewood Farm, Cutter Island Park and the Windridge Escarpment.

Development in Maplewood dates back to the 1920's, originally with waterfront sawmills that evolved to other port related industries including ship building, chemical plants and lumber export taking advantage of access to rail, water transport and the highway. More recently, business parks have developed along the new Dollarton Highway contributing significantly to the District's job base and economy.

A residential community of approximately 1,000 people exists in a mix of older, more affordable rental townhouse and low rise apartments, and a blend of old and new single family homes. Modest commercial development is located along Old Dollarton Road to serve the local community, and a recreation centre is located nearby in the Seymour Area.

Retention and enhancement of the character and features of Maplewood is critical in planning for the next 20 years. The OCP identifies that Maplewood will accommodate approximately 1,500 more units towards creating a vibrant village centre.

### 2 VISION

The vision for Maplewood Village is *"a complete and balanced community with local jobs equalling the local labour force. In particular, jobs for local people and especially jobs for local young people should be encouraged and this will also have the merit of increasing the municipal tax base. New employment areas will reflect a high environmental standard and will also have high aesthetic standards, reflecting the community's outstanding natural environment. There will be a variety of housing for all ages and incomes and family circumstances centred on a newly invigorated, walkable Maplewood village centre. Old Dollarton Road will become a key focus of pedestrian activity, a street lined with new retail businesses with apartments and live/work units above. The Maplewood village centre will be convenient for transit and pedestrians and will be the nerve centre of an extensive system of trails, which wend through the community stretching from the Seymour River to Windridge and from Hogan's Pool to Burrard Inlet"* (Maplewood Local Plan, 2002).

### 3 VILLAGE CENTRE POLICIES

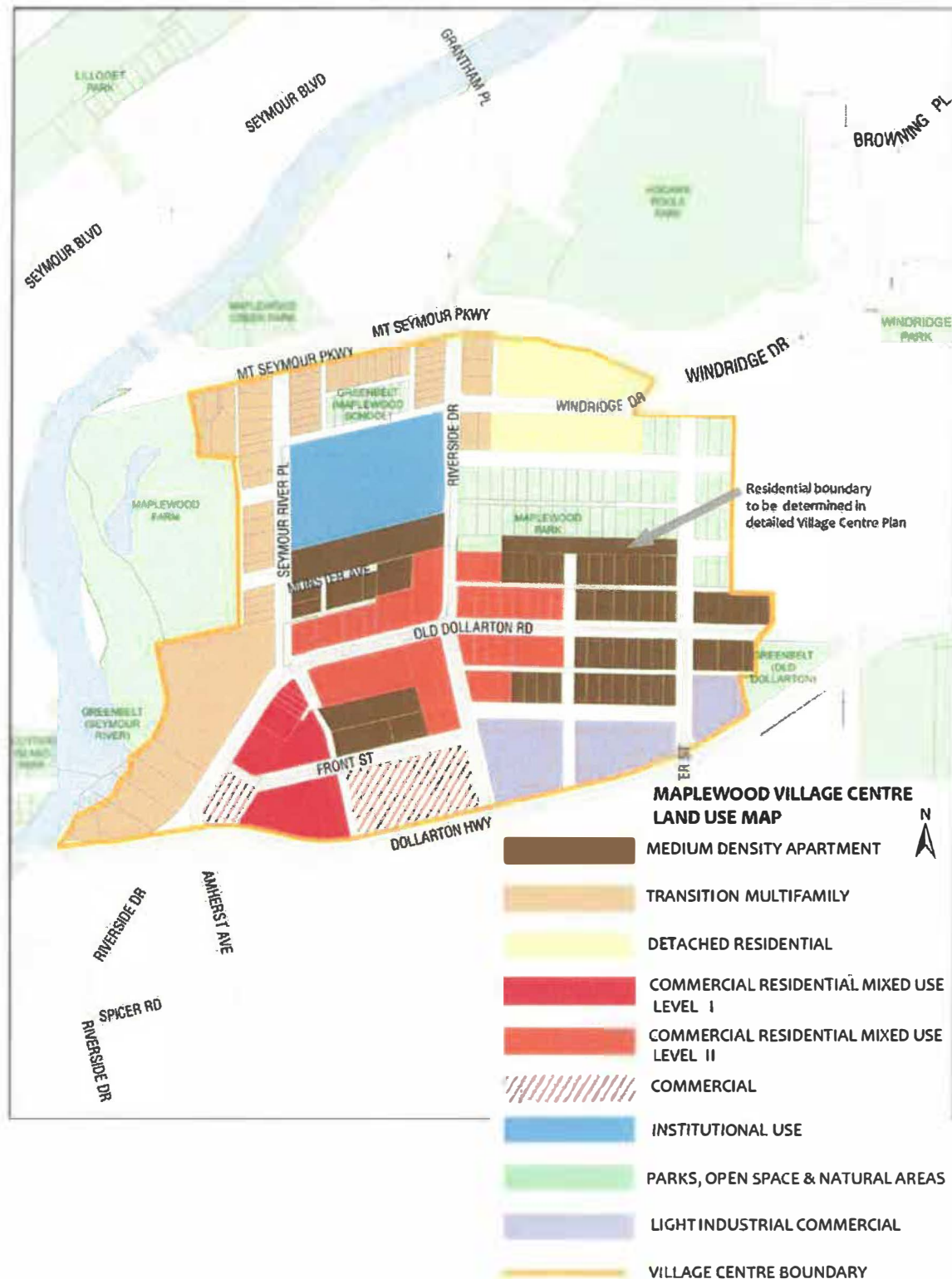
#### 3.1 Land Use

Map 10 indicates the predominant land uses for Maplewood Village Centre.

Map 10 indicates the predominant land uses for Maplewood Village Centre.

### 3.1.1 Housing

1. Encourage the retention of rental stock and the provision of affordable housing through redevelopment
2. Accommodate approximately 1,500 new residential units within a mix of building types (midrise, lowrise, mixed use buildings) and unit sizes
3. Support the provision of housing for seniors and families in terms of unit sizes, number of bedrooms and provision of private outdoor space
4. Encourage the replacement of the approximately 250 existing purpose-built, market rental units in Maplewood as development occurs
5. Target up to 300 net new non-market housing units within the Centre



Map 10. Maplewood Village Centre Land Use Map – *[NOTE: Replaced with Figure 8: Maplewood Land Use Plan from Maplewood Village Centre and Innovation District Implementation Plan & Design Guidelines]*

### 3.1.2 Commercial and Employment Uses

1. Maintain and enhance light industrial uses
2. Limit retail and service uses within the business parks on the south side of Dollarton Highway and on the north side east of Riverside Drive
3. Permit intensive office and employment uses north of Dollarton Highway
4. Focus local serving commercial uses in mixed use, street oriented developments in the village heart
5. Permit live/work and ~~artist loft units~~ **small scale manufacturing units with residential above** within the village centre

### 3.1.3 Community Facilities, Services and Amenities

1. Develop a Maplewood Village community amenity contribution strategy to achieve community amenities and public benefits
2. Liven the “heart” of the Village Centre with streetscape design guidelines addressing civic improvements such as public plazas and art, coordinated street furniture, street trees and landscaping
3. Secure community space where feasible and appropriate when redevelopment occurs within the Village Centre

### 3.1.4 Parks and Open Spaces

1. Investigate the feasibility of establishing a children’s playground ~~on the Maplewood school site~~ within the community park north of the Maplewood School site or within the village heart
2. Create east-west pedestrian and bicycle linkages to connect Maplewood Village with surrounding neighbourhoods, key destinations and facilities at Maplewood Conservation Area, Canadian International College, Maplewood Farm, Seymour Creek and Lower Lynn Town Centre
3. Explore the potential for an urban agricultural pilot project at Maplewood Farm

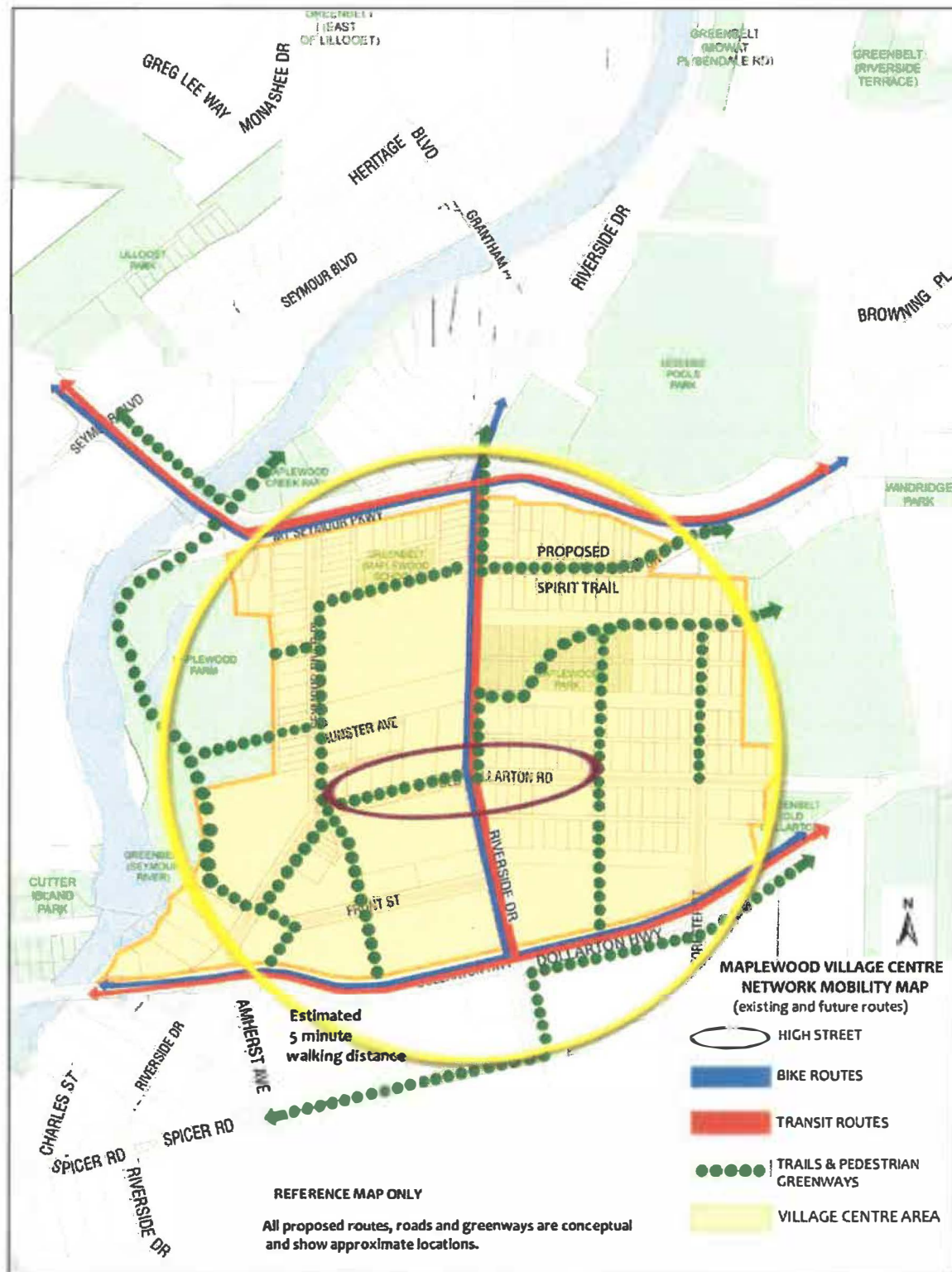
### 3.2 Mobility Network

Map 11 provides a conceptual representation of the mobility network for Maplewood Village Centre.

1. Enhance pedestrian and cyclist connections within the village centre and to the wider Maplewood area
2. Design mid-block, north-south greenways connecting Seymour River Place to Dollarton Highway, and connecting the Windridge escarpment to Dollarton Highway between Forester and Riverside
3. Provide way-finding signage directing pedestrians and cyclists to the Village Centre
4. Design the Village Centre to support effective and frequent transit

### 3.3 Sustainability

1. ~~Prepare a development permit area with associated guidelines for chemical hazards.~~ *[NOTE: Risk contours and associated policies included in Section 2.14 Proximity to Heavy Industry and guidelines included in Sub-Section 3.2 (e)]*
2. Explore and advance alternative ~~and district energy opportunities,~~ on-site or neighbourhood renewable energy generation systems and connections, particularly the potential for eco-industrial networking whereby local industries utilize each other's by-products as energy sources
3. Undertake an environmental reconnaissance to guide detailed planning for Maplewood Village Centre
4. Maintain stands of significant trees and strive to connect habitat and greenspace through greenways
5. Promote the implementation of green building and water conservation practices
6. Manage storm water on site to the greatest extent possible
7. Integrate opportunities for urban agriculture
8. Encourage new multi-family housing developments to provide composting facilities and/ or coordinate composting services



Map 11. Maplewood Village Centre Network Mobility Map – *[NOTE: Replaced with applicable information from Figure 11: Walking and Urban Trail Connections and Figure 12: Cycling Connections from Maplewood Village Centre and Innovation District Implementation Plan & Design Guidelines]*



## The Corporation of the District of North Vancouver

### Bylaw 8279

A bylaw to amend District of North Vancouver Official Community Plan Bylaw 7900, 2011

The Council for The Corporation of the District of North Vancouver enacts as follows:

#### 1. Citation

This bylaw may be cited as “District of North Vancouver Official Community Plan Bylaw 7900, 2011, Amendment Bylaw 8279, 2017 (Amendment 32)”.

#### 2. Amendments

2.1 District of North Vancouver Official Community Plan Bylaw 7900, 2011 is amended as follows:

- a) Part 1: Community Structure: Section 3: Employment Lands, Sub-section 3.5 “Land Use Designations for Employment Lands” by adding the following land use designation following the land use designation “Industrial”:

##### **Light Industrial Artisan**

Areas designated for light industrial artisan are intended predominantly for a mix of small-scale light industrial, warehouse, service, utility and residential uses up to approximately 2.50 FSR. Light industrial uses at street level are generally encouraged, and residential uses are typically expected above street level. Supportive uses including limited office, and limited retail uses may be permitted.

AND by adding the following land use designations following the land use designation “Light Industrial Commercial”:

##### **Light Industrial Commercial Mixed Use – Innovation District**

Areas designated for light industrial commercial mixed-use - innovation district are intended predominantly for a mix of industrial, warehouse, office, service, utility and business park type uses up to approximately 1.10 FSR. Light industrial uses at street level are generally encouraged, and commercial uses, such as retail, service and office, are typically expected above street level. Supportive uses including limited institutional, and limited recreational uses may be permitted; and,



**Light Industrial Residential Mixed Use – Innovation District**

Areas designated for light industrial residential mixed-use - innovation district are intended predominantly for a mix of industrial, warehouse, office, service, utility, and business park type uses up to approximately 1.10 FSR. Light industrial uses at street level are generally encouraged, and residential uses are typically expected above street level. Supportive uses including limited institutional, limited recreational, and residential-only uses may be permitted.

- b) Part 3: Plan Management: Section 12: Plan Implementation, Sub-section 12.5 “Consolidated List of Land Use Designations” by adding the following land use designation following the land use designation “Industrial”:

**Light Industrial Artisan**

Areas designated for light industrial artisan are intended predominantly for a mix of small-scale light industrial, warehouse, service, utility and residential uses up to approximately 2.50 FSR. Light industrial uses at street level are generally encouraged, and residential uses are typically expected above street level. Supportive uses including limited office, and limited retail uses may be permitted;

AND by adding the following land use designations following the land use designation “Light Industrial Commercial”:

**Light Industrial Commercial Mixed Use – Innovation District**

Areas designated for light industrial commercial mixed-use - innovation district are intended predominantly for a mix of industrial, warehouse, office, service, utility and business park type uses up to approximately 1.10 FSR. Light industrial uses at street level are generally encouraged, and commercial uses, such as retail, service and office, are typically expected above street level. Supportive uses including limited institutional, and limited recreational uses may be permitted; and

**Light Industrial Residential Mixed Use – Innovation District**

Areas designated for light industrial residential mixed-use - innovation district are intended predominantly for a mix of industrial, warehouse, office, service, utility, and business park type uses up to approximately 1.10 FSR. Light industrial uses at street level are generally encouraged, and residential uses are typically expected above street level. Supportive uses including limited institutional, limited recreational, and residential-only uses may be permitted.

- c) Schedule A: “Town and Village Centre Policies – Maplewood Village Centre” is replaced in its entirety as per Schedule 1 attached.

- d) Schedule B: Development Permit Areas: Part 5: Map 3.1 “Form and Character Development Permit Area” by adding the properties to Map 3.1 as illustrated in Schedule 2.
- e) Schedule B: Development Permit Areas: Part 6: Map 4.1 “Energy and Water Conservation and GHG Emission Reduction Development Permit Area” by adding the properties to Map 4.1 as illustrated in Schedule 3.
- f) Part 1: Community Structure: Map 2: “The District of North Vancouver Official Community Plan - Land Use Map” is deleted and replaced with new Map 2 attached as Schedule 4.

**READ** a first time      by a majority of all Council members.

**PUBLIC HEARING** held

**READ** a second time      by a majority of all Council members.

**READ** a third time      by a majority of all Council members.

**ADOPTED**      by a majority of all Council members.

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Mayor

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Municipal Clerk

Certified a true copy

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Municipal Clerk

## Schedule 1 to Bylaw 8279

### SCHEDULE A MAPLEWOOD VILLAGE CENTRE

#### 1 INTRODUCTION

Maplewood Village is a unique place in the District given its proximity to the waterfront, its industrial neighbours and character, and its diverse housing. The area is endowed with an outstanding natural environment and open space network including the Seymour River and various creeks, the Burrard Inlet foreshore, Maplewood Farm, Cutter Island Park and the Windridge Escarpment.

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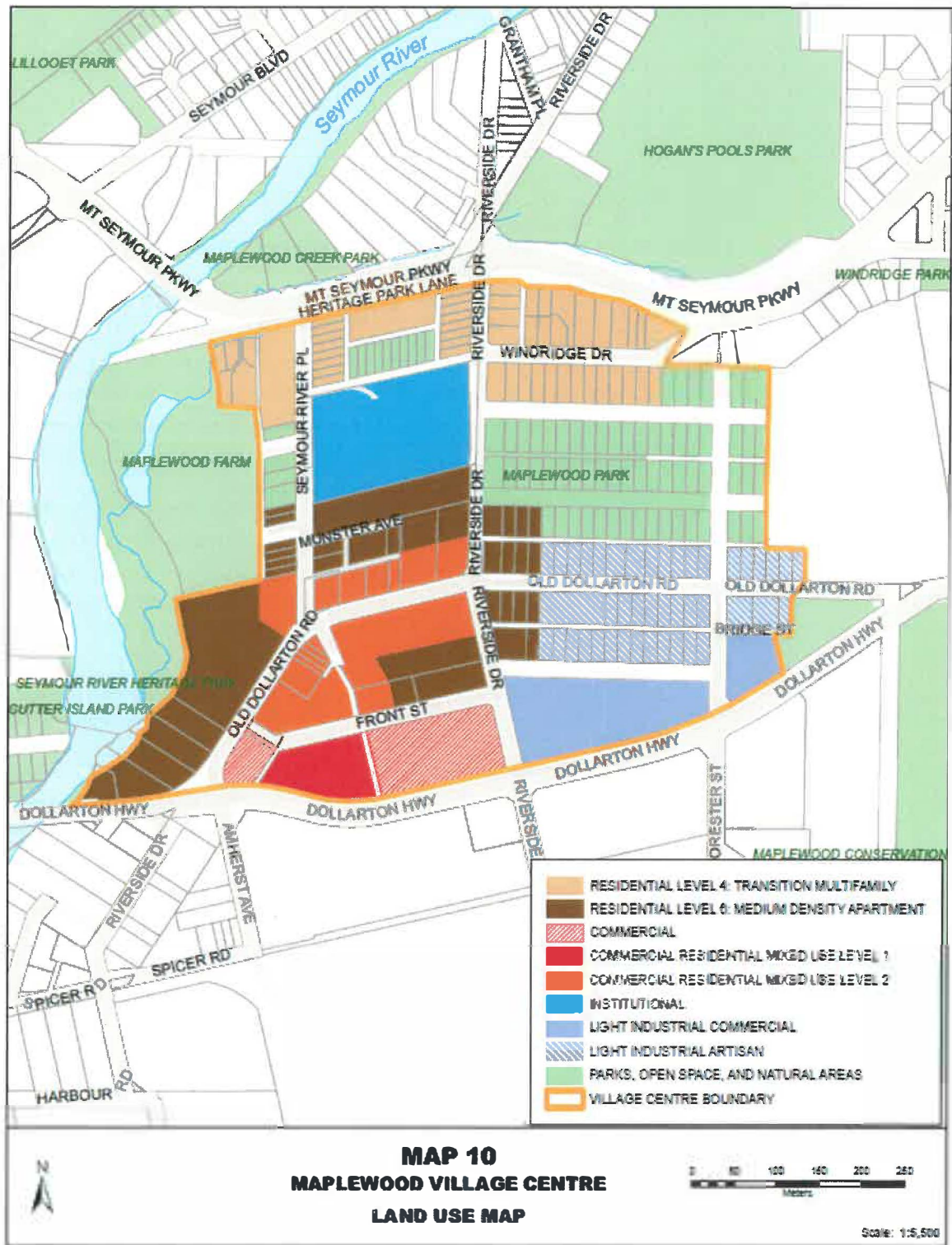
### 3 VILLAGE CENTRE POLICIES

#### 3.1 Land Use

Map 10 indicates the predominant land uses for Maplewood Village Centre.

##### 3.1.1 Housing

1. Encourage the retention of rental stock and the provision of affordable housing through redevelopment
2. Accommodate approximately 1,500 new residential units within a mix of building types (midrise, lowrise, mixed use buildings) and unit sizes
3. Support the provision of housing for seniors and families in terms of unit sizes, number of bedrooms and provision of private outdoor space
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5. Target up to 300 net new non-market housing units within the Centre



Map 10. Maplewood Village Centre Land Use Map

### 3.1.2 Commercial and Employment Uses

1. Maintain and enhance light industrial uses
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### 3.1.3 Community Facilities, Services and Amenities

1. Develop a Maplewood Village community amenity contribution strategy to achieve community amenities and public benefits
2. Liven the “heart” of the Village Centre with streetscape design guidelines addressing civic improvements such as public plazas and art, coordinated street furniture, street trees and landscaping
3. Secure community space where feasible and appropriate when redevelopment occurs within the Village Centre

### 3.1.4 Parks and Open Spaces

1. Investigate the feasibility of establishing a children’s playground within the community park north of the Maplewood School site or within the village heart
2. Create east-west pedestrian and bicycle linkages to connect Maplewood Village with surrounding neighbourhoods, key destinations and facilities at Maplewood Conservation Area, Canadian International College, Maplewood Farm, Seymour Creek and Lower Lynn Town Centre
3. Explore the potential for an urban agricultural pilot project at Maplewood Farm

### 3.2 Mobility Network

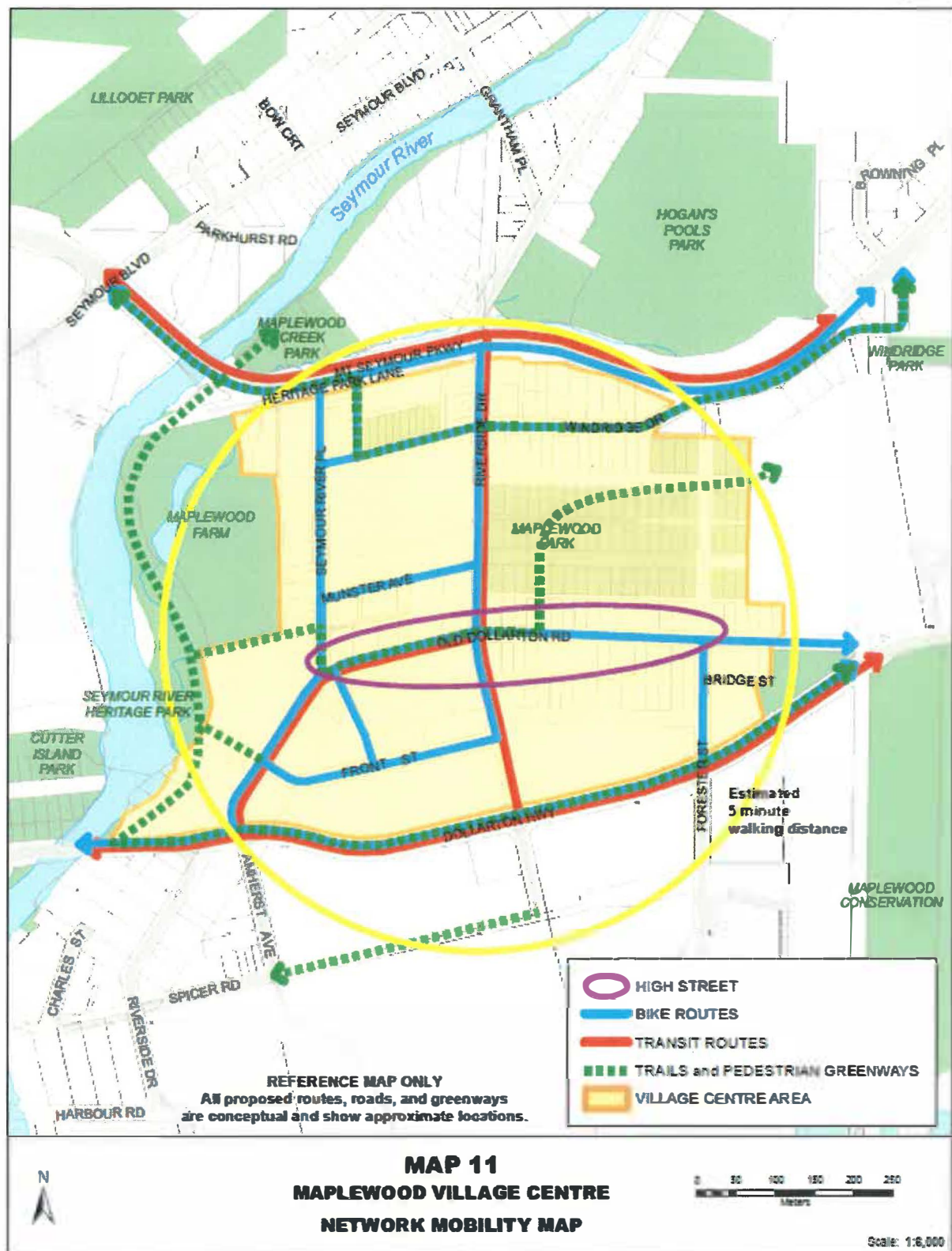
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3. Provide way-finding signage directing pedestrians and cyclists to the Village Centre
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### 3.3 Sustainability

1. Explore and advance alternative and on-site or neighbourhood renewable energy generation systems and connections, particularly the potential for eco-industrial networking whereby local industries utilize each other's by-products as energy sources
2. Undertake an environmental reconnaissance to guide detailed planning for Maplewood Village Centre
3. Maintain stands of significant trees and strive to connect habitat and greenspace through greenways
4. Promote the implementation of green building and water conservation practices
5. Manage storm water on site to the greatest extent possible
6. Integrate opportunities for urban agriculture
7. Encourage new multi-family housing developments to provide composting facilities and/ or coordinate composting services





Map 11. Maplewood Village Centre Network Mobility Map

## Schedule 2 to Bylaw 8279

### BYLAW 8279

The District of North Vancouver Official Community Plan Bylaw 7900 (2011)  
Amendment Bylaw 8279 (2017)



Map 3.1 Form and Character Development Permit Area: as illustrated on Schedule 2, by adding the properties to Map 3.1, designating them as a Form and Character of Commercial, Industrial, and Multi-Family Development Development Permit Area



## Schedule 3 to Bylaw 8279

### BYLAW 8279

The District of North Vancouver Official Community Plan Bylaw 7900 (2011)  
Amendment Bylaw 8279 (2017)

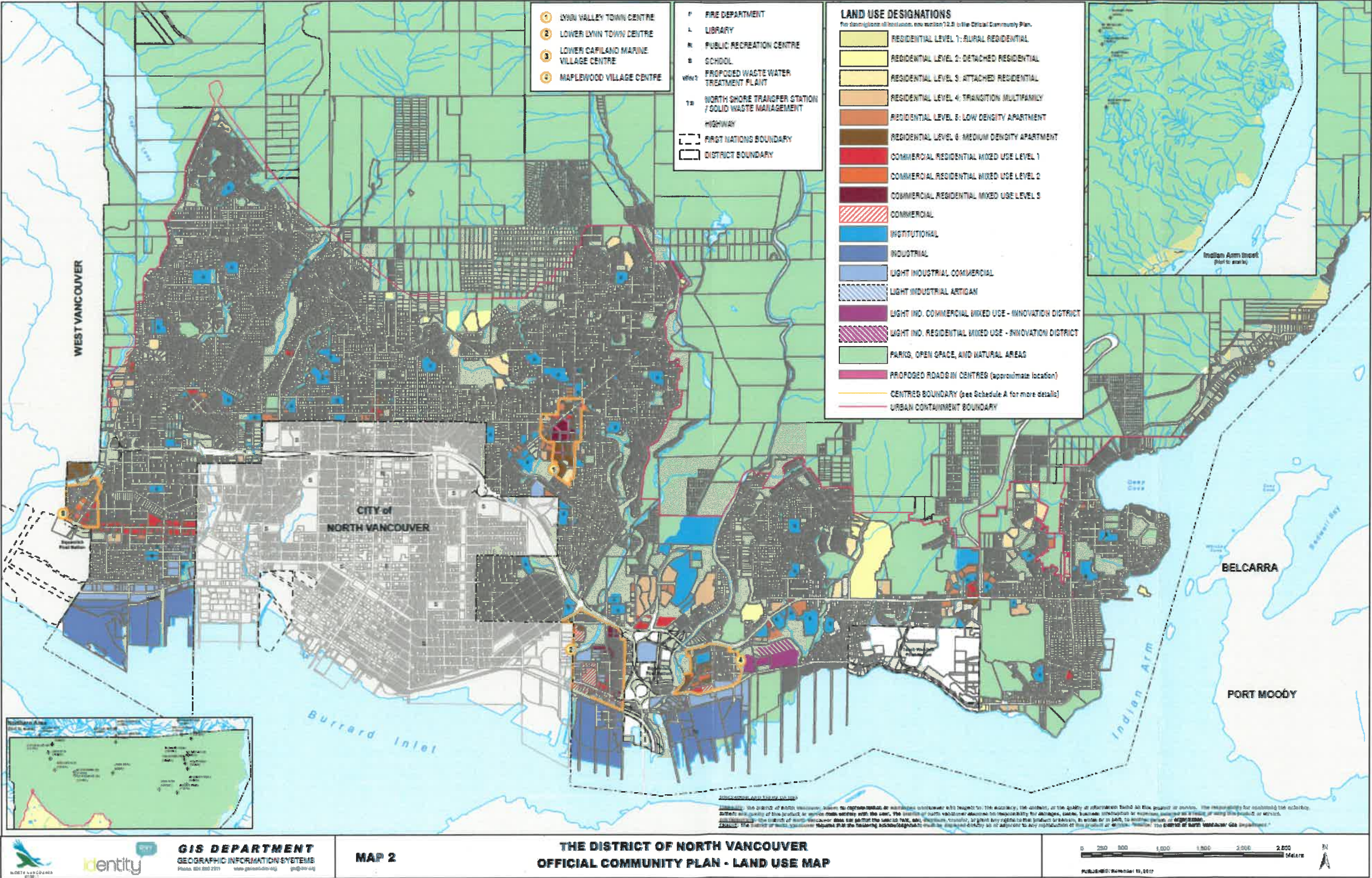


Map 4.1 Energy and Water Conservation and Reduction of Greenhouse Gas Emissions Development Permit Area:  
as illustrated on Schedule 3, by adding the properties to Map 4.1, designating them as an Energy  
and Water Conservation and Greenhouse Gas Emissions Reduction Development Permit Area.



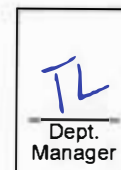


Schedule 4 to Bylaw 8279





AGENDA INFORMATION	
<input checked="" type="checkbox"/> Regular Meeting	Date: <u>November 20, 2017</u>
<input type="checkbox"/> Other:	Date: _____



## The District of North Vancouver REPORT TO COUNCIL

November 14, 2017  
File: 13.6480.30/001.002.000

**AUTHOR:** Tom Lancaster, Manager of Community Planning

**SUBJECT:** OCP Implementation Monitoring Committee Workplan

### RECOMMENDATION:

THAT Council approve the OCP Implementation Monitoring Committee Workplan contained in this report.

### REASON FOR REPORT:

Council approved a Terms of Reference (TOR) for an OCP Implementation Monitoring Committee that includes a requirement for Council to approve the Committee's workplan. The TOR states that the workplan should be jointly-developed by District staff and the Committee. This report presents an OCP Implementation Monitoring Committee workplan for Council's consideration of approval.

### SUMMARY:

The OCP Implementation Monitoring Committee (OCPIMC) has held two meetings since members were approved by Council. During those two meetings, the OCPIMC members have developed and agreed upon a number of protocols and a structure for Committee meetings, as well as a preliminary list of Committee priorities, and a draft workplan.

### BACKGROUND:

The OCP contains policies on implementation, plan monitoring (indicators and targets), and public involvement in keeping the OCP "relevant and alive". The OCP is explicit in stating that the indicators "...may be modified and/or as needs change and progress towards the OCP's vision is made." The OCP also lays out a vision of including members of the public in the monitoring and implementation of the plan.

Council approved a TOR for an OCP Implementation Monitoring Committee that was developed by staff at the direction of Council. That TOR includes an expectation that Council will approve a workplan for the Committee that is developed jointly by Community Planning staff and Committee members. The TOR lays out the purpose of the Committee:

The purpose of the OCP Implementation Monitoring Committee is to encourage meaningful community engagement in the implementation of the OCP, and to provide commentary and

observations, as requested, on elements of OCP implementation, monitoring, and communications with the public.

Specifically, the OCP Implementation Monitoring Committee will provide commentary and observations regarding:

- Community engagement in implementing the OCP Network of Centres and other relevant Council Policy
- The direction of OCP implementation to ensure consistency with the OCP Vision and Goals
- Other key aspects of the OCP such as housing diversity
- A review of the OCP monitoring program to ensure meaningful and appropriate indicators for monitoring progress on OCP targets.

Since being struck in September 2017, the Committee has met twice in order to develop literacy around the OCP and the process of target-setting and implementation monitoring, established protocols for Committee meetings and communications (internal/external), generated a preliminary list of priorities that matches up with the key policy areas of the OCP, and developed a draft workplan for Council consideration.

**EXISTING POLICY:**

District of North Vancouver Official Community Plan Bylaw 7900, 2011, as amended (OCP), contains policies on implementation, plan monitoring (indicators and targets), and public involvement.

**ANALYSIS:**

**Timing/Approval Process:**

Council review and approval of the Committee's workplan will allow the OCPIMC to continue with the review on a timeline that will meet the expectations of fulfilling its mandate.

**Public Input:**

The OCP contains policies on public involvement in keeping the OCP "relevant and alive". The OCP also lays out a vision of including members of the public in the monitoring and implementation of the plan.

**Conclusion:**

A draft workplan for the OCP Implementation Monitoring Committee has been developed jointly by staff and Committee members for Council's consideration of approval.

**Options:**

THAT Council approve the OCP Implementation Monitoring Committee Workplan contained in this report.

Or

That Council direct staff to change the OCP Implementation Monitoring Committee Workplan and bring it back for Council consideration.

Respectfully submitted,

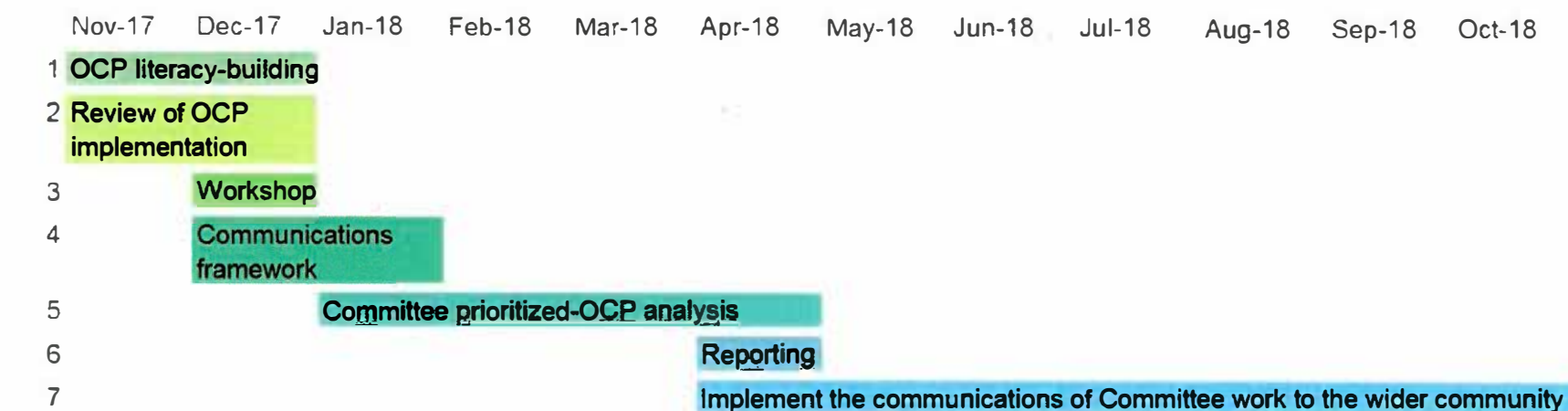


Tom Lancaster  
Manager of Community Planning

Attachment 1: draft OCP Implementation Monitoring Committee workplan

REVIEWED WITH:		
<input type="checkbox"/> Sustainable Community Dev.	<input type="checkbox"/> Clerk's Office	External Agencies:
<input type="checkbox"/> Development Services	<input type="checkbox"/> Communications	<input type="checkbox"/> Library Board
<input type="checkbox"/> Utilities	<input type="checkbox"/> Finance	<input type="checkbox"/> NS Health
<input type="checkbox"/> Engineering Operations	<input type="checkbox"/> Fire Services	<input type="checkbox"/> RCMP
<input type="checkbox"/> Parks	<input type="checkbox"/> ITS	<input type="checkbox"/> NVRC
<input type="checkbox"/> Environment	<input type="checkbox"/> Solicitor	<input type="checkbox"/> Museum & Arch.
<input type="checkbox"/> Facilities	<input type="checkbox"/> GIS	<input type="checkbox"/> Other:
<input type="checkbox"/> Human Resources	<input type="checkbox"/> Real Estate	

## Draft OCP Implementation Monitoring Committee workplan



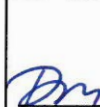
## Workplan Phases


1. Committee members develop literacy around the OCP, the process of monitoring, how targets are established, and how/why indicators are chosen. In addition to attending Committee meetings, and in order to facilitate a faster review of implementation, Committee members have committed to becoming familiar with the OCP on their own time.
2. Staff present OCP implementation monitoring conducted in 2017.
3. In-depth analysis of Committee priorities for the review of OCP implementation.
4. Prepare a framework for communicating the OCPIMC's work to the community. Prepare framework for communicating progress on OCP implementation. Prepare framework for wider community engagement.
5. The OCPIMC will consider implementation of the various sections of the OCP with the prioritized analysis (e.g. housing and transportation).
6. Interim reporting of the Committee's work to Council and to the wider community. OCPIMC will deliver a final report close to the end of the Committee's mandate.
7. The framework for communications will be put into motion concurrent with the end of the OCP implementation analysis.



AGENDA INFORMATION	
<input checked="" type="checkbox"/> Regular Meeting	Date: <u>Nov 20, 2017</u>
<input type="checkbox"/> Other:	Date: _____

  
Dept.  
Manager

  
GM/  
Director

  
CAO

## The District of North Vancouver REPORT TO COUNCIL

November 20, 2017  
File: 08.3060.20/050.15

**AUTHOR:** Robyn Hay, Development Planner

**SUBJECT:** Development Permit 50.15 - 854 - 858 Orwell Street and 855 Premier Street

### RECOMMENDATION:

THAT Development Permit 50.15 (Attachment A) for a 23 unit townhouse project at 854 - 858 Orwell Street and 855 Premier Street be issued.

### REASON FOR REPORT:

The site is in Development Permit Areas for Form and Character of Ground-Oriented Housing; Energy and Water Conservation and Greenhouse Gas Emission Reduction; and Protection from Natural Hazards (Creek Hazard). The proposed development requires issuance of a Development Permit by Council.

### SUMMARY:

Bylaw 1346, rezoning the site to a new CD 98 Zone, and Housing Agreement Bylaw 8198 was adopted by Council on July 24, 2017.

The project is now ready to be considered for the issuance of a Development Permit. This residential project includes 23 townhouse units in seven, three-storey buildings with roof decks. Shared vehicle access is proposed off Orwell Street.

The proposal is in compliance with Schedule B Development Permit Areas Guidelines of the Official Community Plan (OCP) and the Lynnmour / Inter-River Area One Design Guidelines for Multiplexes and Townhouses.



**SUBJECT PROPERTY:**

The site is located in Lynnmour Inter-River and includes three single family lots facing Orwell Street and a fourth lot facing Premier Street. The four lots were recently consolidated into one. The site is located next to three existing townhouse complexes of similar densities but does not include the two remaining adjacent single family homes, as those owners are not interested in redevelopment at this time.

The site is across from Lynnmour Elementary School and in close proximity to "Digger" Park playground in Inter River Park. An existing pathway provides an east-west connection for the neighbourhood to Digger Park and Lynnmour Elementary School.

With the proximity of Capilano University, bus service on Lillooet Road (approximately 400m walk from the site) is good with buses every 10 minutes for most of the day and running more frequently during rush hour. Bus routes serving the area include the 255, 239, 28 and 130. There is also a closer bus stop on Old Lillooet served by the local 239 which takes riders up to Capilano University.



## **EXISTING POLICY:**

### Official Community Plan

The site is designated *Residential Level 3: Attached Residential* (0.80 FSR) in the Official Community Plan.

### Zoning

The CD 98 zoning allows for up to 23 residential units. The CD 98 zone also regulates the permitted building height and setbacks to boundaries, density for the project, landscaping requirements and vehicle parking requirements on the site.

In addition to the CD 98 zoning, development at the site must conform to the Development Covenant registered on the property as a condition of the rezoning.

### Development Permit Areas

The property is designated within Development Permit Areas for:

- Form and Character;
- Energy and Water Conservation and GHG Emission Reduction; and
- Protection from Natural Hazards (Creek Hazard).

The proposal has been measured against the existing development permit guidelines in Schedule B of the OCP for:

- Guidelines for Ground-Oriented Housing

All new development within these Development Permit Areas are required to attain a development permit, and development proposals are measured against the OCP's Schedule B Development Permit Area Guidelines.

## **THE PROPOSAL:**

The project consists of 23 townhouses, within seven, three-storey buildings. The buildings have an approximate height of 12.1m (40 ft). The unit mix is family oriented with:

- 3 two bedroom units (13%);
- 19 three bedroom units (83%); and
- 1 four bedroom unit (4%).



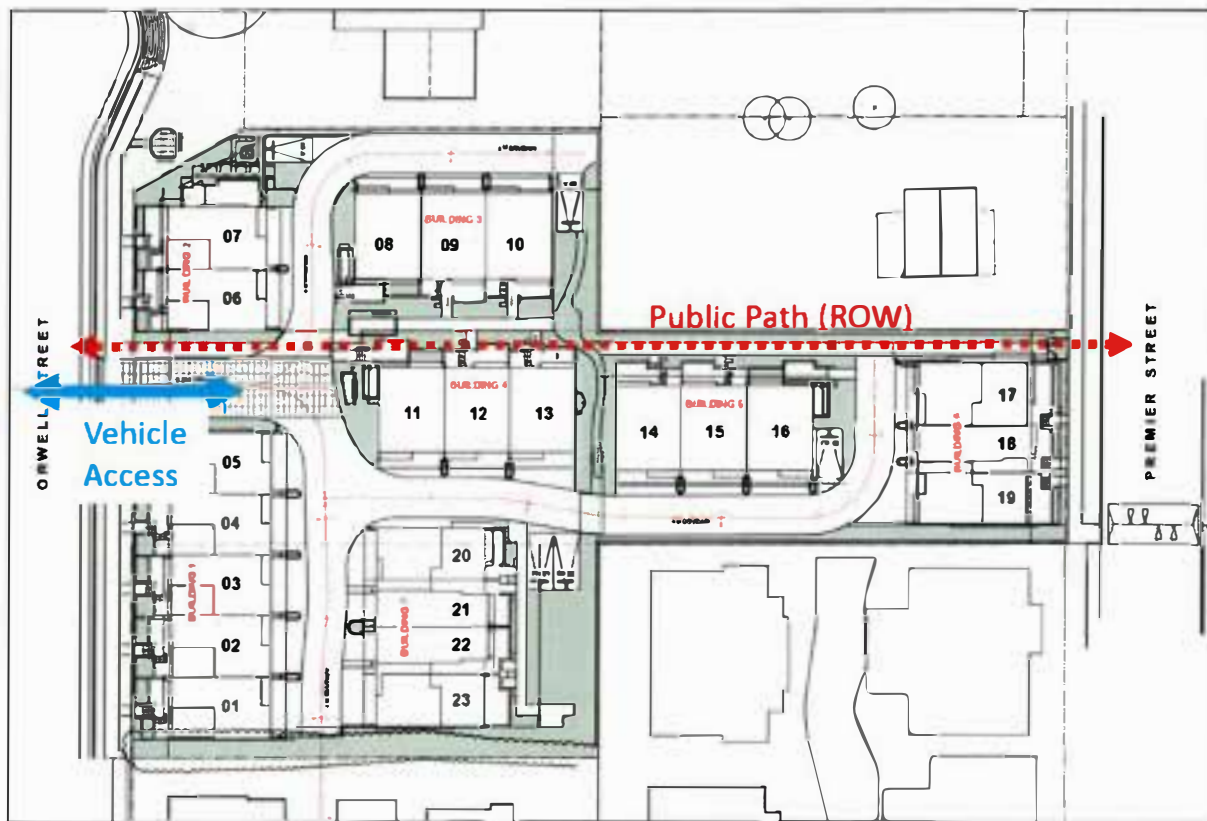


### Access

The project is designed with units facing directly onto each adjacent street and pedestrian access provided through an east-west pathway that runs through the site. This pathway will be a public pathway to further supplement the pedestrian network in the area.

Vehicle access to the site is provided from Orwell Street and the site is serviced by an internal driveway. Parking is located at grade and each unit has two parking spaces. There are no tandem parking spaces proposed.

The internal driveway has been designed in such a manner that should the two remaining single family lots to the north wish to redevelop in the future, they will have the ability to work with this strata to share the driveway, thereby freeing up more space for landscaping and reducing the number of driveway crossings. The development covenant registered on the title secures the provision of this easement in favour of the two adjacent single family parcels.



### Parking

Vehicle parking has been provided in keeping with the zoning requirements for the site and includes two spaces for each unit. 20% of parking stalls will be EV-ready.

	Number of Units	CD 98 Required Parking	Proposed Parking
Residential Parking	23 units	46 spaces	46 spaces
Visitor Parking		2 spaces	2 spaces
<b>Total</b>	<b>23 units</b>	<b>48 spaces</b>	<b>48 spaces</b>

The proposal also includes space for two bicycle storage spaces within each garage. The garage also includes electric outlets for electrical bicycle charging. Garages include sufficient space to accommodate bike storage and a workbench. Vehicle and bicycle parking proposed complies with the CD 98 zoning.



## **Development Permit for the Form and Character of Guidelines for Ground-Oriented Housing**

### Building Design:

The proposal is in keeping with the Official Community Design Guidelines for Ground Oriented Housing and the Lynnmour / Inter-River Area One Design Guidelines for Multiplexes and Townhouses.

**Height and Massing (C1.1):** The project proposes a design that is complementary to the neighbouring projects, matching the scale and form of the existing developments. The buildings features colour and material accents, and projected elements to create visual interest. The building materials consist of Hardi-Plank, weatherboard fibre cement siding, metal panel stone cladding, and glazing.

**Street Orientation (C1.3):** Two buildings are orientated towards Orwell Street and one building is orientated towards Premier Street. The units that face the respective street frontages have individual walk-up entries to provide activation and the windows above provide passive surveillance opportunities ("eyes on the street").



PROPOSED TOWNHOUSE DEVELOPMENT SKETCH

**Setbacks and Siting (C1.6 Setbacks, C2.4 Privacy):** The project is proposing setbacks in keeping with the Lynnmour Inter River requirements and in keeping with the neighbouring projects. These setbacks are designed to provide a harmonious streetscape and provide sufficient room on side and rear yards for landscaping that will protect the privacy of neighbours.

**Private Outdoor Space (C2.6):** Each unit has access to ground level patio space, balconies next to the living room and kitchen areas, and a roof top deck, thereby ensuring a mix of spaces available to families in addition to the parks and open space across the street and at the north end of the block.

**Variation in Design (C3.2):** The modern character and use of natural colours and materials gives the project a distinct identity from the neighbouring projects.

**Weather Protection (C3.9):** Each unit has its own individual entry with a canopy for weather protection and a sense of personal identity.

### Landscaping

Notable highlights from the OCP guidelines include:

**Sustainable Landscape Design (C2.2):** The landscaping is concentrated along the site frontages (both Orwell Street and Premiere Street), along the public walkway which traverses through the site from east to west, and other strategic locations through the site to enhance the landscaped character of the area.

There is sufficient space for the landscaping proposed (including large canopy trees), limiting long term tree maintenance problems. Furthermore, the landscape design features a number native and drought tolerant species.

### Acoustic Performance

Development Permit 50.15 includes the District's residential acoustic regulations for maximum noise levels in the bedrooms, living areas and other areas of the units. Prior to issuance of a Building Permit, the applicant will be required to submit a report from a qualified noise consultant demonstrating that the building will enable these standards to be met.

### **Development Permit for Energy and Water Conservation and Greenhouse Gas Emission Reductions**

The site falls within the Development Permit Area for Energy and Water Conservation and Greenhouse Gas Emission Reduction and must also address the District's Green Building Policy. The applicant is working with E3 Eco Group energy consultants and have achieved an equivalency to a Gold rating and meeting Energuide Rating 82 to address municipal objectives. The highlights of the sustainability measures which have been secured by covenant include:

- An air source heat pump for space heating;
- Advanced air tightness measures;
- A heat recovery ventilator; and
- EnergyStar appliances and lighting.

### **Development Permit for the Protection from Natural Hazards – Creek Hazard**

This site falls within the Development Permit area for Protection from Creek Hazard and as such is required to build to flood construction levels to ensure the habitable areas are above the flood level. Northwest Hydraulic Consultants have reviewed the project and provided flood construction levels for the safe development of this site.

Given the change in grade across the site, portions of the site will need to be re-graded to address the flood protection measures, as well as ensuring that each unit steps up to the

front door. The requirements outlined in the flood protection report have been incorporated into the design and have been secured by covenant.

### **Inter-River Sub-Area Transportation Study:**

In 2016, a review of vehicle circulation within the Lynnmour / Inter-River area was conducted by the District's Transportation Planning department. Their work was summarized in the Inter-River Sub-Area Transportation Study, provided to Council in September, 2016. This study, which involved local stakeholders and residents, determined locations for future road circulation improvements. No changes were required to this application to improve vehicle connectivity in the area.

### **OFF-SITE IMPROVEMENTS:**

The project will be upgrading both street frontages to provide new sidewalks, boulevard landscaping, and standard road improvements on both Premier Street and Orwell Street, in accordance with the Development Services Bylaw and the Lynnmour/ Inter-River Area One Design Guidelines.

In addition to these public realm improvements, local residents have requested further traffic calming measures on Premier Street. After studying this question, CTS Engineers have recommended the installation of an additional traffic hump to slow traffic as it approaches the raised pedestrian crossing to the north of the site.

Also in response to a request from local residents, the applicant has offered to extend the sidewalk not only in front of their application site, but also in front of the neighbouring site, as that will then finish the sidewalk on the southern half of Premier Street and facilitate safe pedestrian access to the park and school.

All off-site work is secured in the development covenant registered on the title and Development Permit 50.15 by requirement for the Engineering Servicing Agreement.

### **COMMUNITY AMENITY CONTRIBUTION:**

The District's Community Amenity Contribution (CAC) Policy requires an amenity contribution for projects including an increase in residential density. In this case, a CAC of \$125,020 was secured as part of the rezoning of the site to the CD 98 Zone. The CD 98 bylaw allows the CACs from this development to be used towards:

- Affordable housing;
- Improvements to public parks, trails and greenways;
- Public plazas and other public realm projects;
- Environmental restoration and enhancement projects;
- Improvements to public service facilities including recreation centres, the Lynnmour Boys and Girls Club and the Lynnmour Elementary School; and
- Public art.



## **CONCURRENCE:**

### Staff

The project has been reviewed by staff from Permits, Parks, Engineering, Legal, Community Planning, Urban Design, Transportation Planning, the Fire Department, and the Arts Office.

### Advisory Design Panel

The application was considered by the Advisory Design Panel on February 11, 2016 and the Panel recommended approval with minor amendments including sloping roofs and privacy screens to key interfaces for roof decks and securing the public path. Furthermore, the pathway has been designed with a strong landscape features such as pergolas and surrounding 'green screens' with benches that help to identify the path. The pathway is secured by a public right-of-way registered and gates have been removed to allow a welcome and open feel to the path.

Overall the site planning, elevations and massing were noted as positive with an attractive streetscape appearance and a successful entry experience. Staff are satisfied with the resolution of these items.

## **Public Input:**

In accordance with District policy the applicant held a facilitated public information meeting on March 29, 2016. The meeting was well attended by approximately 30 local residents. Generally the project was well received and recognized as being in keeping with the existing projects in the neighbourhood. Discussion topics included:

- Location of the vehicle access;
- Number and style of parking spaces;
- On street parking supply;
- Privacy and landscaping;
- Traffic calming on Premier Street;
- Construction of sidewalks; and
- Roof top decks.

The applicant has responded to the local residents' input and suggestions by:

- Including a traffic calming speed bump on Premier Street;
- Extending the public sidewalk along Premier Street;
- Providing additional on-site parking spaces for visitors; and
- Refining the design of the roof decks to reduce dominance and improve privacy for the neighbours.

## CONSTRUCTION MANAGEMENT PLAN:

This neighbourhood currently has three townhouse applications being processed. This is one of two applications located on Premier Street. In order to reduce the development's impact on pedestrian and vehicular movements and Lynnmour Elementary School, the applicant has submitted a draft construction management plan. A final version of the plan will required prior to issuance of a building permit and must:

1. Coordinate the construction activities with other developments in the area in order to minimize disruption;
2. Provide safe passage for pedestrians, cyclists, and vehicle traffic;
3. Outline roadway efficiencies (i.e. location of traffic management signs and flaggers);
4. Provide a point of contact for all calls and concerns;
5. Provide a sequence and schedule of construction activities;
6. Ascertain a location for truck marshalling;
7. Develop a plan for trade vehicle parking which is acceptable to the District and minimizes impacts to neighbourhoods;
8. Address silt/dust control and clean-up;
9. Provide a plan for litter clean-up and street sweeping adjacent to the site; and
10. Include a communication plan to notify surrounding businesses and residents.



**Conclusion:**

The project has been developed in accordance with the CD 98 Zone regulations and the Development Permit Area Guidelines for Ground-Oriented Housing; Energy Conservation and Greenhouse Gas Emission Reduction; and Protection from Natural Hazards (Creek Hazard) in the OCP. This project is also consistent with the directions established in the OCP and the Lynnmour Inter-River Local Plan related to DP guidelines and goals regarding the provision of family housing. Development Permit 50.15 is now ready for Council's consideration.

**Options:**

The following options are available for Council's consideration:

1. Issue Development Permit 50.15 (Attachment A) to allow for the proposed construction (staff recommendation); or
2. Deny Development Permit 50.15

Respectfully submitted,



Robyn Hay  
Development Planner

REVIEWED WITH:		
<input type="checkbox"/> Sustainable Community Dev.	<input type="checkbox"/> Clerk's Office	External Agencies:
<input type="checkbox"/> Development Services	<input type="checkbox"/> Communications	<input type="checkbox"/> Library Board
<input type="checkbox"/> Utilities	<input type="checkbox"/> Finance	<input type="checkbox"/> NS Health
<input type="checkbox"/> Engineering Operations	<input type="checkbox"/> Fire Services	<input type="checkbox"/> RCMP
<input type="checkbox"/> Parks	<input type="checkbox"/> ITS	<input type="checkbox"/> NVRC
<input type="checkbox"/> Environment	<input type="checkbox"/> Solicitor	<input type="checkbox"/> Museum & Arch.
<input type="checkbox"/> Facilities	<input type="checkbox"/> GIS	<input type="checkbox"/> Other:
<input type="checkbox"/> Human Resources	<input type="checkbox"/> Real Estate	

**Attachments:**

*Attachment A: Development Permit 50.15*

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**THE CORPORATION OF THE DISTRICT OF NORTH VANCOUVER**

**DEVELOPMENT PERMIT 50.15**

This Development Permit 50.15 is hereby issued by the Council for The Corporation of the District of North Vancouver to the registered owner for the development of townhouses on the properties located at 854 - 858 Orwell Street and 855 Premier Street, legally described as Lot A District Lot 612 Group 1 New Westminster District Plan EPP72566 (PID: 030-194-784) subject to the following terms and conditions:

- A. The following requirement is imposed under Subsection 490 (1) (c) of the Local Government Act:
1. Substantial construction as determined by the Manager of Permits and Licenses shall commence within two years of the date of this permit or the permit shall lapse.
  2. A Construction Management Plan is required prior to issuance of the Building Permit and Excavation Permit, and may require amendments during the course of construction to ensure that construction impacts are minimized.
- B. The following requirements are imposed under Subsections 491 (2) of the Local Government Act:
1. No work shall take place except to the limited extent shown on the attached plans (DP50.15 A - Q) and in accordance with the following specifications:
    - (i) The site shall be developed in accordance with the recommendations of the report prepared by Northwest Hydraulic Consultants dated February 2, 2016 and the flood covenant CA6163698 and CA6163699.
    - (ii) A qualified professional engineer shall confirm that the building permit drawings meet the recommendations of the Northwest Hydraulic Consultants dated February 2, 2016 referenced above, or meets and equivalent or higher degree of protection.
- C. The following requirements are imposed under Subsections 491 (7) and (8) of the Local Government Act:
1. The site shall be developed in accordance with the attached plans DP50.15 - A – Q.

2. Prior to the issuance of a Building Permit, the following shall be submitted to:

(i) Building:

- (a) a report and recommendations prepared by persons trained in acoustics and current techniques of noise measurements, demonstrating that any rooftop mechanical equipment will comply with the District of North Vancouver Noise Regulation Bylaw, and the noise levels in those portions of the dwelling listed below shall not exceed the noise levels expressed in decibels set opposite such portions of the dwelling units. For the purpose of this section the noise level is the A-weighted 24-hour equivalent (Leq) sound level and will be defined simply as the noise level in decibels:

Portion of Dwelling Unit	Noise Level (Decibels)
bedrooms	35
living, dining, recreation rooms	40
kitchen, bathrooms, hallways	45

- (b) registered easement and right-of-way in accordance with Development Covenant CA6163696 and CA6163697.

(ii) Parks:

- a. Three copies of a final detailed landscape plan prepared by a landscape architect registered in British Columbia for the approval of the General Manager of Engineering or their designate;
- b. A written landscape estimate submitted by the landscape architect for approval by the Parks and Engineering Services Department for the installation of all landscaping as shown on the final approved landscape plan; and
- c. A completed "Permission to Enter" agreement to provide evidence that a landscape architect has been retained to supervise the installation of the landscape works and the written authorization for the District or its agents to enter the premises and expend any or all of the deposit monies to complete the landscape works in accordance with the approved landscape plan.

(iii) Engineering:

- a. Finalized civil and electrical engineering plans designed by a professional engineer, for review and acceptance by the Engineering Department;
- b. An executed Engineering Services Agreement between the property owner and the District related to the required upgrading of off-site facilities on Orwell Street and Premier Street. Upgrades will include, but are not limited to: sidewalk, curb and gutter, street trees and street improvements.
- c. A security deposit as specified in the Engineering Services Agreement.

D. The following requirements are imposed under Subsections 491 (9) and (10) of the Local Government Act:

1. Prior to issuance of the Building Permit the following are required:

- (i) A completed green building checklist, outlining the measures to be incorporated in the building leading to a performance level equivalent to or better than the “gold” standard under a certified green building rating system.

E. The following requirements are imposed under Subsection 300 of the Local Government Act:

1. Prior to issuance of the Building Permit the following deposits are required:

- (i) A security deposit equal to the greater of 125% of the estimated cost of all on-site landscaping, in accordance with the approved cost estimate or \$100,000. The deposit must be provided prior to issuance of a building permit for the proposed development on the Land and will be held as security for landscaping, building and environmental works.
- (ii) An engineering security deposit, in an amount specified in the Engineering Services Agreement, to cover the construction and installation of all off-site engineering and landscaping requirements.

Nothing in this Development Permit alters or affects in any way any of the preconditions to issuance of a Building Permit as set out in the Development Covenant CA6163696 and CA6163697 registered against the Land in favour of the District under number 50.15.

---

**Mayor**

---

**Municipal Clerk**

Dated this                      day of                      , 20.







DP 50.15 B



**INTEGRA ARCHITECTURE INC.**  
 416 WEST PENDER STREET  
 VANCOUVER, BC V6B 1T5  
 T 604.686.4229 F 604.686.4270  
 info@integra-arch.com  
 www.integra-arch.com



**BRODY DEVELOPMENT**  
 (CONTINUING) LP

**CONTINUUM TOWNHOMES**  
 838 ORWELL STREET  
 NORTH VANCOUVER, BC

**SITE PLAN**

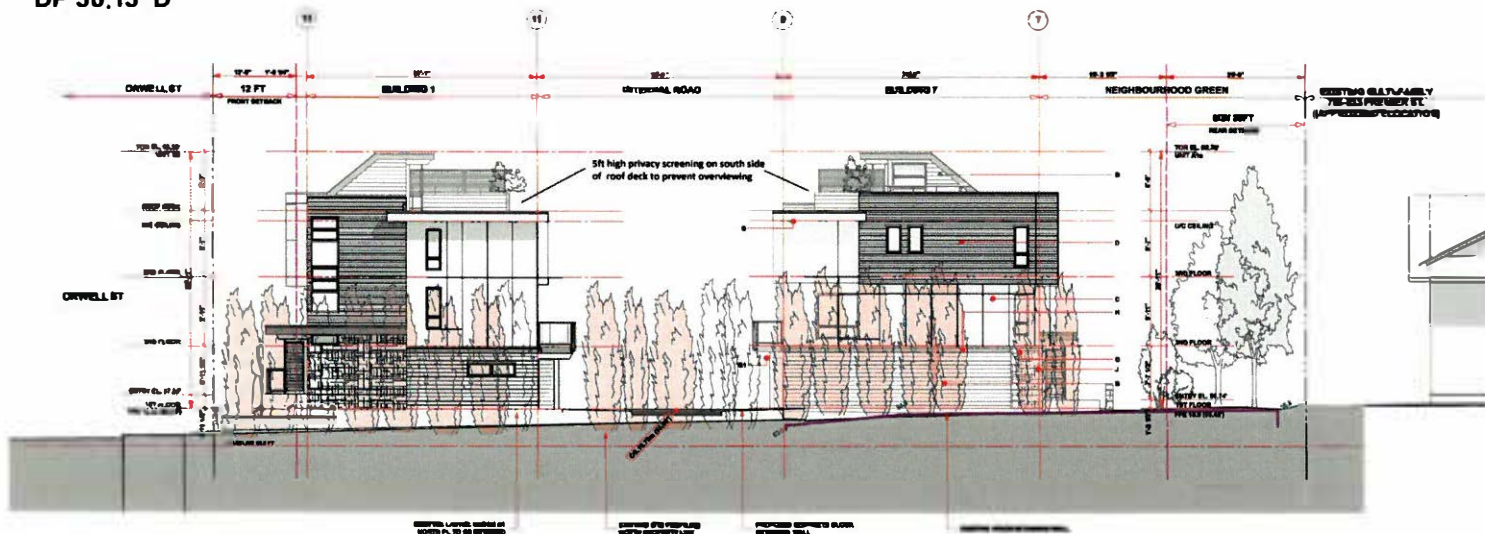
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 1:144 (SCALE)  
 Thursday, June 15, 2017 (DATE)  
 4 - DP APPLICATION REV (REVISION)

**A-1.000**

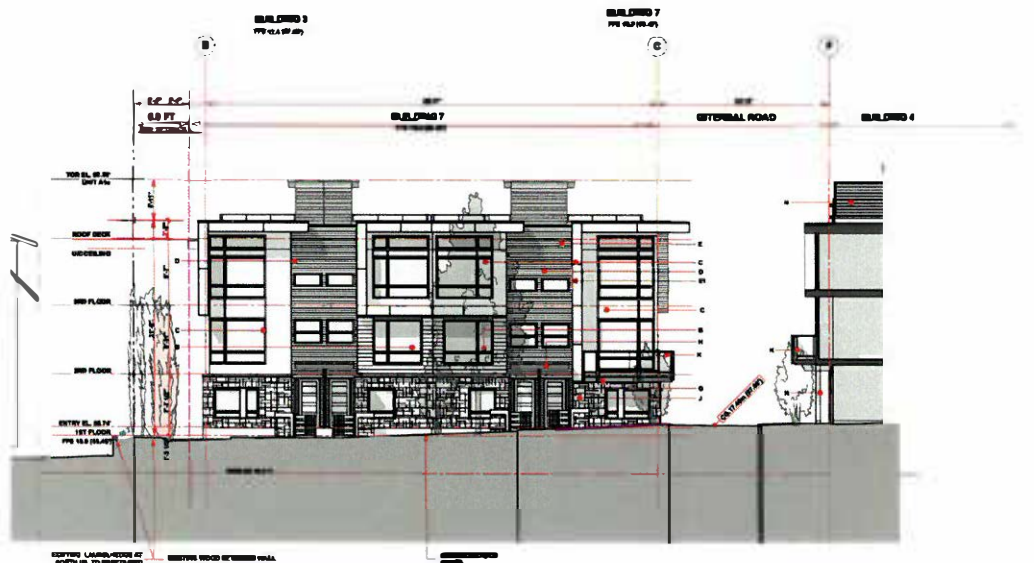




**DP 50.15 D**



**SOUTH ELEVATION - PROPERTY LINE**



**2 BLD 7 - EAST ELEVATION**

**MATERIALS LEGEND:**

	Measurement	Order to reflect	
A	Last Day	First	Customer's business process groups
B	First Day	Second	Business Unit's internal structure
C	Second Day	Third	Business Unit's internal structure
D	Third Day	Fourth	Business Unit's internal structure
E	Fourth Day	Fifth	Business Unit's internal structure
F	Fifth Day	Sixth	Business Unit's internal structure
G	Sixth Day	Seventh	Business Unit's internal structure
H	Seventh Day	Eighth	Business Unit's internal structure
I	Eighth Day	Ninth	Business Unit's internal structure
J	Ninth Day	Tenth	Business Unit's internal structure
K	Tenth Day	Eleventh	Business Unit's internal structure
L	Eleventh Day	Twelfth	Business Unit's internal structure
M	Twelfth Day	Thirteenth	Business Unit's internal structure
N	Thirteenth Day	Fourteenth	Business Unit's internal structure
O	Fourteenth Day	Fifteenth	Business Unit's internal structure



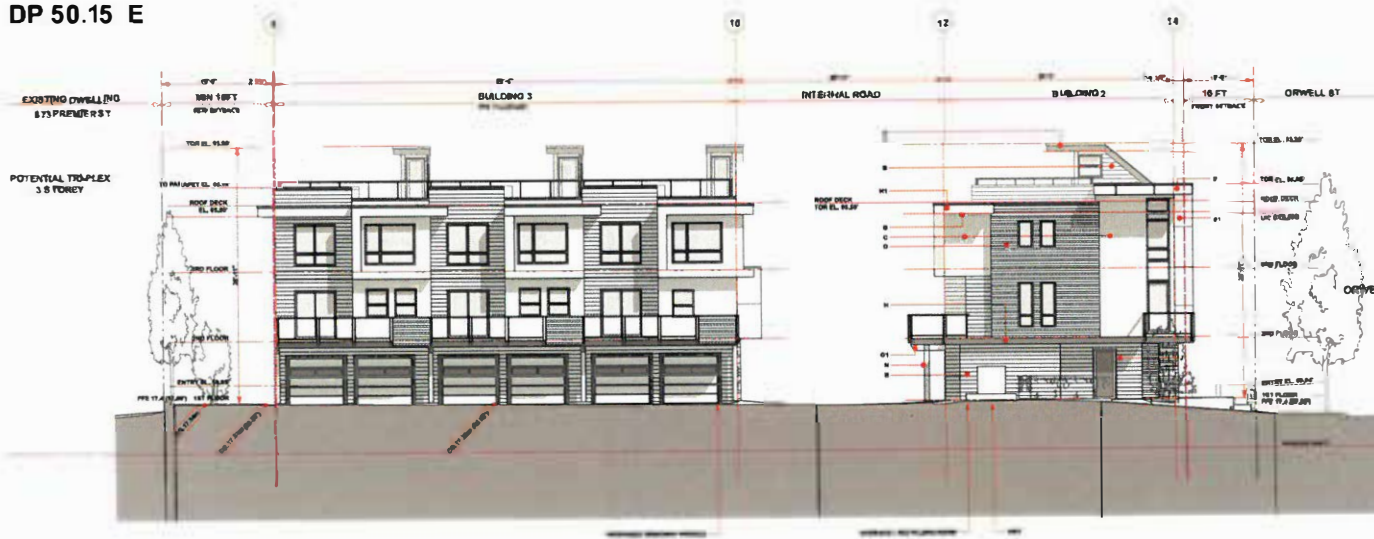
**INTEGRAL ARCHITECTURE INC.**

**418 WEST PENDER STREET  
WASHINGTON, DC 20017-1175  
TEL: (202) 691-8200 FAX: (202) 691-8207  
[info@integro.arch.com](mailto:info@integro.arch.com)  
[www.integro-arch.com](http://www.integro-arch.com)**

## INTERVIEW



DP 50.15 E

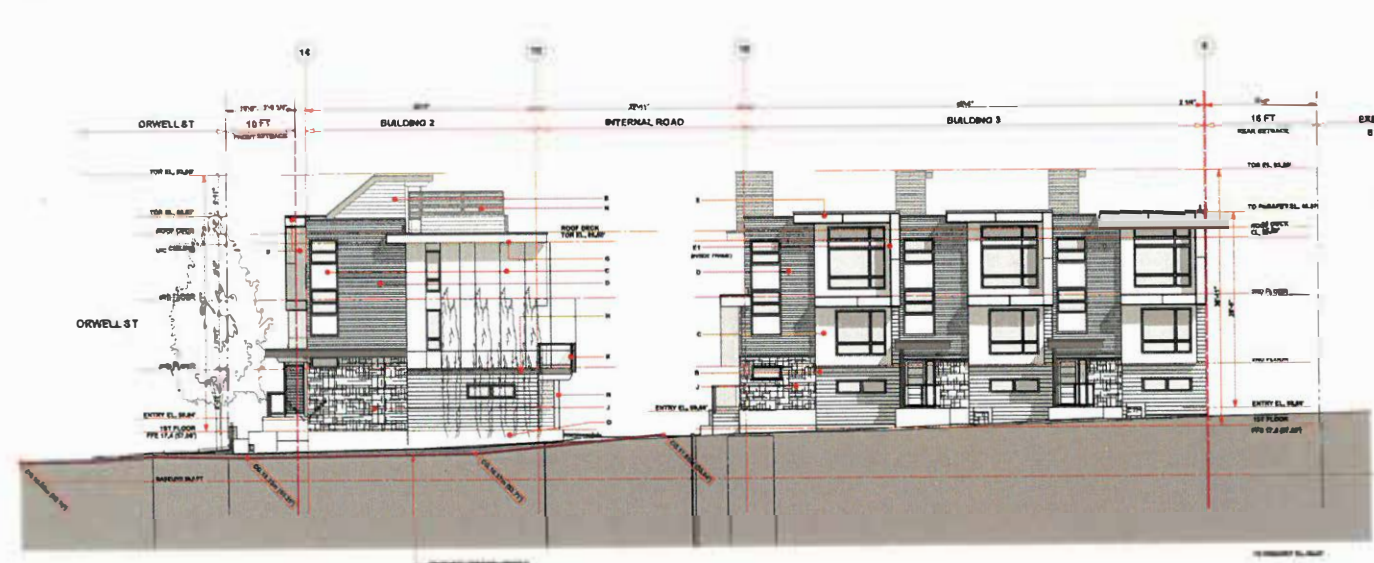


4 NORTH ELEVATION - PROPERTY LINE  
SCALE 1/8" = 1'-0"

MATERIALS LEGEND:

Material	Color in north	Material	Color in north
A Light Gray Flat Roof	Light Gray	Light Gray Flat Roof	Light Gray
B Dark Gray	Dark Gray	Dark Gray	Dark Gray
C Dark Gray	Dark Gray	Dark Gray	Dark Gray
D Dark Gray	Dark Gray	Dark Gray	Dark Gray
E Dark Gray	Dark Gray	Dark Gray	Dark Gray
E1 Dark Gray	Dark Gray	Dark Gray	Dark Gray
F Dark Gray	Dark Gray	Dark Gray	Dark Gray
G Dark Gray	Dark Gray	Dark Gray	Dark Gray
G1 Dark Gray	Dark Gray	Dark Gray	Dark Gray
H Dark Gray	Dark Gray	Dark Gray	Dark Gray
H1 Dark Gray	Dark Gray	Dark Gray	Dark Gray
J Dark Gray	Dark Gray	Dark Gray	Dark Gray
K Dark Gray	Dark Gray	Dark Gray	Dark Gray
L Dark Gray	Dark Gray	Dark Gray	Dark Gray
M Dark Gray	Dark Gray	Dark Gray	Dark Gray
N Dark Gray	Dark Gray	Dark Gray	Dark Gray
N1 Dark Gray	Dark Gray	Dark Gray	Dark Gray
D Dark Gray	Dark Gray	Dark Gray	Dark Gray

**INTERRA ARCHITECTURE INC.**  
416 WEST PENDER STREET  
VANCOUVER, BC V6B 1T5  
T 604.684.4220 F 604.684.4270  
info@interraarch.com  
www.interraarch.com



2 INTERNAL STREET - SOUTH ELEVATION  
SCALE 1/8" = 1'-0"

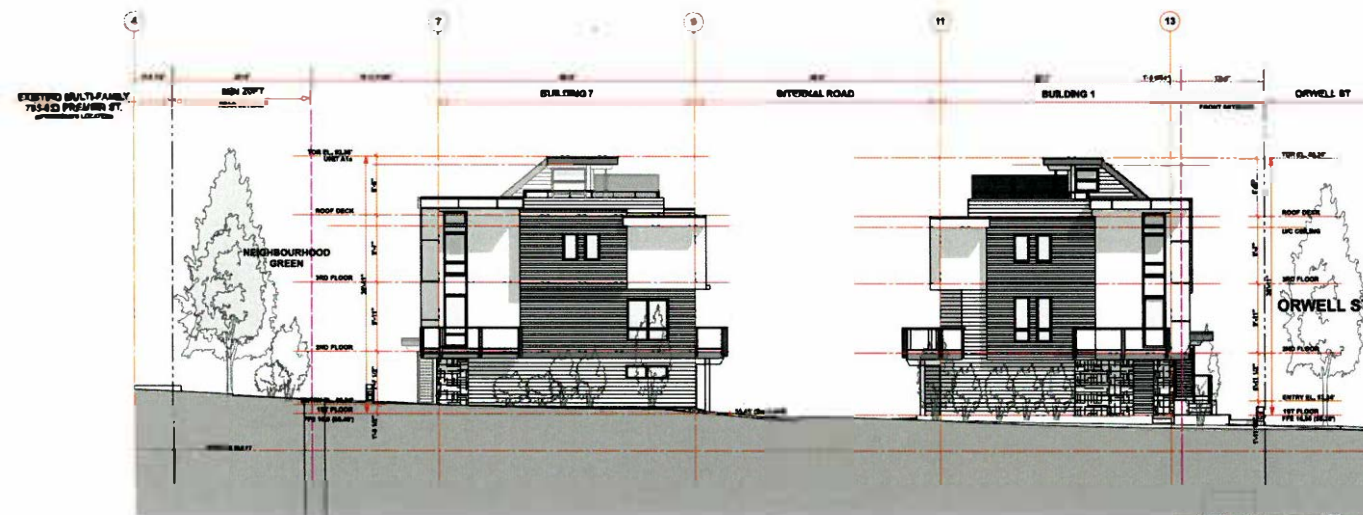



**BRODY DEVELOPMENT (CONTINUUM) LP**  
**CONTINUUM TOWNHOMES**  
858 ORWELL STREET  
NORTH VANCOUVER, BC  
**BUILDING 2 / 3**  
1/23/18  
JUNE 13, 2017  
4. DP APPLICATION REV 111111




A-4.020

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		Editor's note:	
		Reference to:	
A	Light Gray	Flat Roof	See note
B	Dark Gray	Shed Roof	See P 13-44 Horizontal, Low Pitching, unadorned pattern 7 exposure
C	Dark Gray	Arched Roofs Indefinite	Arched Roofs Indefinite
D	Dark Gray	Flat Roof	Arched Roofs Indefinite
E	Dark Gray	Arched Roofs Indefinite	Arched Roofs Indefinite
E1	Dark Gray	Arched Roofs Indefinite	Arched Roofs Indefinite
F	Dark Gray	Arched Roofs Indefinite	Arched Roofs Indefinite
G	Dark Gray	Arched Roofs Indefinite	Arched Roofs Indefinite
G1	Dark Gray	Arched Roofs Indefinite	Arched Roofs Indefinite
H	Dark Gray	Shed Roof	See P 13-44 Horizontal, Low Pitching, unadorned pattern 7 exposure
H1	Dark Gray	Shed Roof	See P 13-44 Horizontal, Low Pitching, unadorned pattern 7 exposure
J	Dark Gray	Shed Roof	See P 13-44 Horizontal, Low Pitching, unadorned pattern 7 exposure
K	Dark Gray	Shed Roof	See P 13-44 Horizontal, Low Pitching, unadorned pattern 7 exposure
L	Dark Gray	Shed Roof	See P 13-44 Horizontal, Low Pitching, unadorned pattern 7 exposure
M	Dark Gray	Shed Roof	See P 13-44 Horizontal, Low Pitching, unadorned pattern 7 exposure
N	Dark Gray	Shed Roof	See P 13-44 Horizontal, Low Pitching, unadorned pattern 7 exposure
N1	Dark Gray	Shed Roof	See P 13-44 Horizontal, Low Pitching, unadorned pattern 7 exposure
O	Dark Gray	Shed Roof	See P 13-44 Horizontal, Low Pitching, unadorned pattern 7 exposure

**\*\*\*\*\***

81

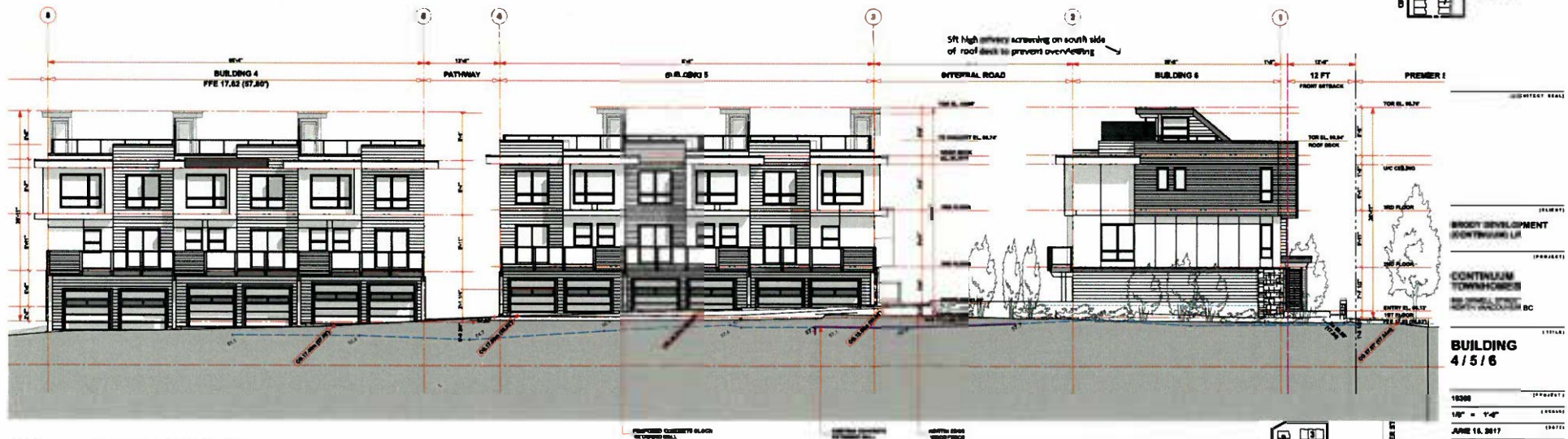


DP 50.15 G



1 INTERNAL PATHWAY - NORTH ELEVATION

SCALE: 1/8" = 1'-0"



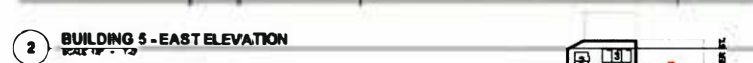
2 INTERNAL STREET - SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

**BUILDING  
4/5/6**

15000 (PROJECT)  
1/8" = 1'-0" (SCALE)  
JUNE 16, 2017 (DATE)  
4 - DP APPLICATION REV (REVISION)  
A-4.040 (DRAWING)





**CONTINUUM  
TOWNHOMES**  
858 COWFELL STREET  
NORTH VANCOUVER, BC

16300

JUNE 18, 2017

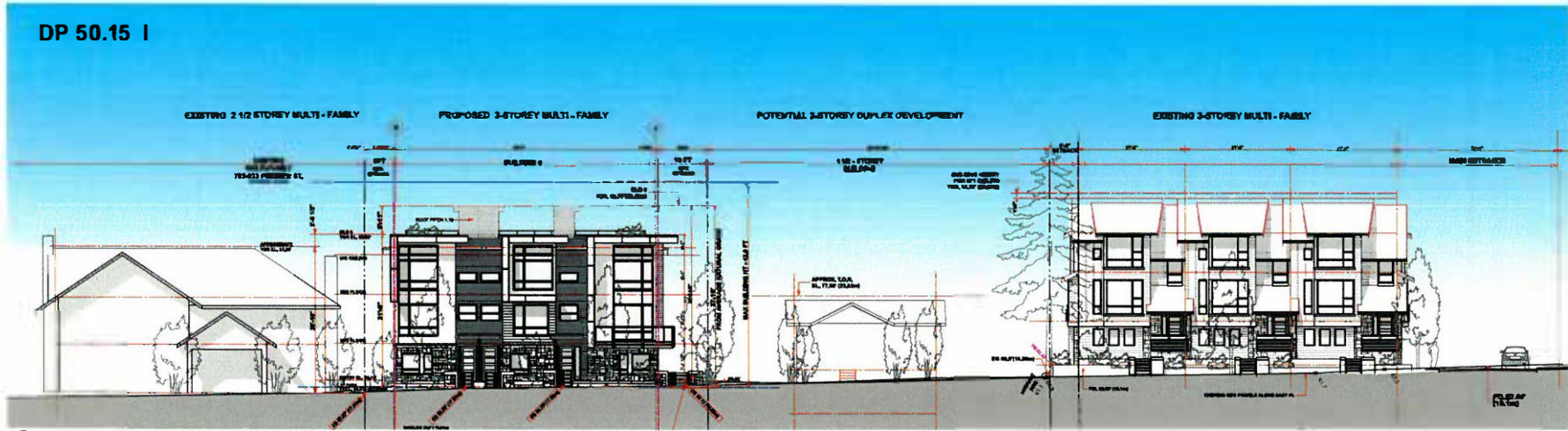
© 2000 Blackwell Science Ltd *Journal of Internal Medicine* 247: 395–402

#### 4.37 Application 120

**A-4.050**



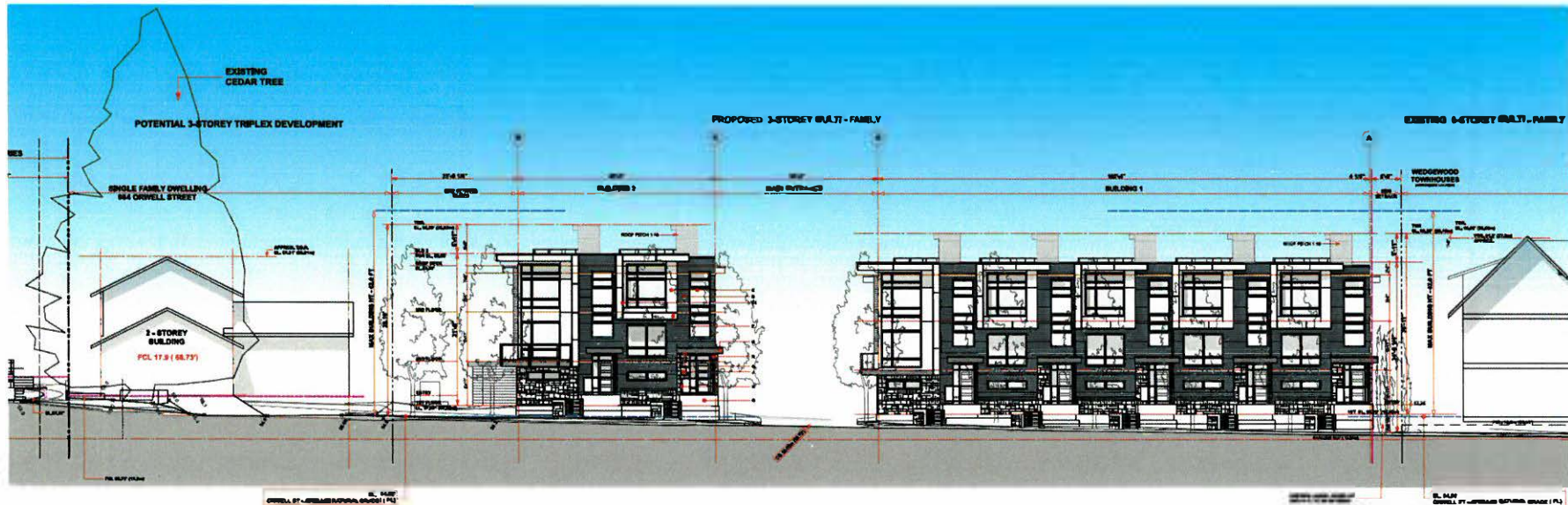
DP 50.15 I



1 STREETScape - PREMIER STREET  
SCALE 1" = 10'



INTEGRA ARCHITECTURE INC.  
416 WEST PENDER STREET  
VANCOUVER, BC V6B 1T5  
7 604.682.4270  
info@integra.arch.com  
www.integra.arch.com  
1888-800-0000000000000000



2 STREETScape - ORWELL STREET  
SCALE 1" = 10'

BRODY DEVELOPMENT  
(CONTINUM) LP

CONTINUM TOWNHOMES  
804 ORWELL STREET  
NORTH VANCOUVER, BC

STREET ELEVATIONS

18508  
1" = 10' (1/8" = 1'-0") (1/4" = 1'-0")  
JUNE 15, 2017  
4 - DP APPLICATION REV

A-4.500



50.15 J

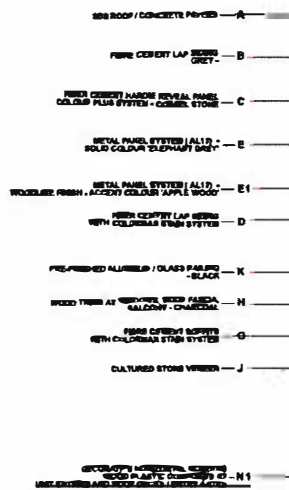
**D - HARDBE PANEL -  
COLORMAX STAIN MAPLE**

**F - CULTURED STONE**

A close-up photograph of a wooden staircase railing, showing the texture and grain of the wood. The railing is composed of several horizontal slats.



414 WEST PENDER STREET  
VANCOUVER, BC V6B1T5  
TEL: 604-681-1111 FAX: 604-681-1112  
info@integra-arch.com  
www.integra-arch.com  
\*\*\*\*\*  
\*\*\*\*\*

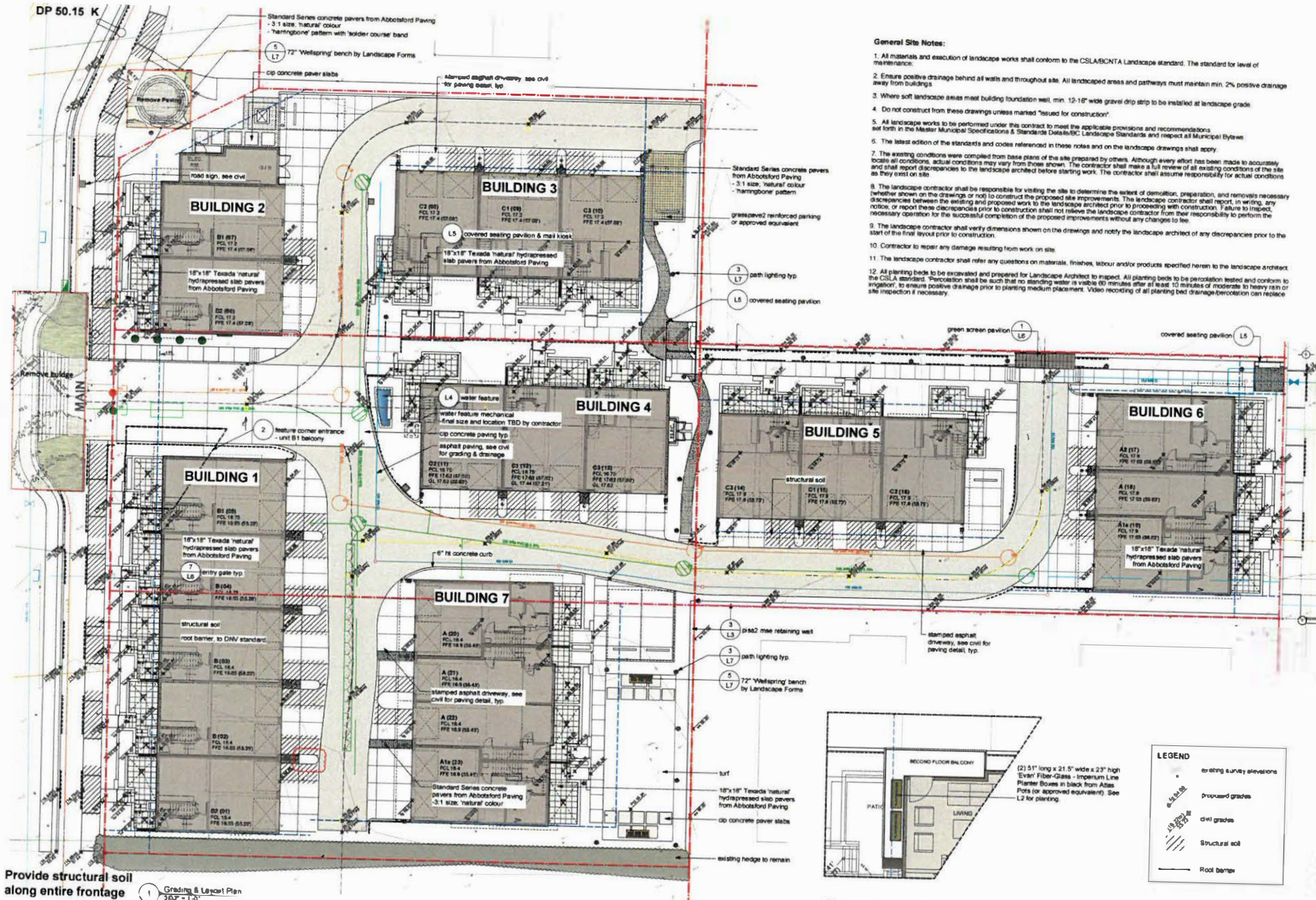
**SOFFIT W/ COLORMAX STAIN**

Material		Remarks	
A	Light Grey Flat Roof	688 roof Roof deck area concrete garage	
B	Dark Grey	Exposed Stone SBS 21 24-48 Dark Grey	Hardfleck Light Grey - external facade, 7 square
C	Orange	James Hardie ColourPlus Precast Concrete Slabs	Horizontal panels on "Tuff" Timber - external facade
D	Black	Shutterboard Fibre Cement Siding	Fibre Shutter Board - external facade, horizontal & 90° corners
E	Grey Siding	AN 13 Aluminum Composite Panel Siding	Subsidiary locations at facade frame elements only (external product information Panel or Easy track color to match)
E1	Orange	AN 13 Aluminum Composite Panel Siding	Subsidiary locations at facade frame elements only (external product information Panel or Easy track Color Plus Cement Light Siding with Colorable stain system)
F	Black	Windows at Window VPC	Typical Vinyl windows and sliding doors
G	Dark Grey	Exposed Stone ColourPlus Fibre Cement Slabs	Horizontal panels at main roof overhang, external walling
G1	Grey	Aluminum Siding	4 small subsidiary elements at entrance (external & overhangs)
H	Orange	Exposed Stone SBS 21 24-48 Orange/Red	Wood cladding, wood panels at flat overhang at entrance, entrance
H1	Dark Grey	Exposed Stone SBS 21 24-48 Dark Grey	Wood cladding at flat roof and frame
J	Grey / White	Cultural Stone Fibre Cement Siding	Stone cladding at external walls
K	Black	Shutterboard Fibre Cement Siding	Black (main facade) Fibre cladding addition / siding glass railing @ entrance, roof details
L	Black	Stone Shutter L.M.	Black (main facade) Flamingo @ north cladding at entrance, stone cladding at entrance, stone
M	Black	Shutterboard Fibre Cement Siding	Flamingo @ north cladding at entrance, stone cladding at entrance, stone
N	Black	Shutterboard Fibre Cement Siding	Flamingo @ north cladding at entrance, stone cladding at entrance, stone
N1	Black	Shutterboard Fibre Cement Siding	Flamingo @ north cladding at entrance, stone cladding at entrance, stone
G	Light Grey	Aluminum Siding	Exposed stone SBS 21 24-48 Orange/Red

4. OF APPLICATION REV <sup>10/20/00</sup>

85





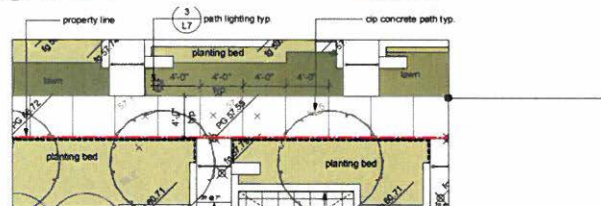




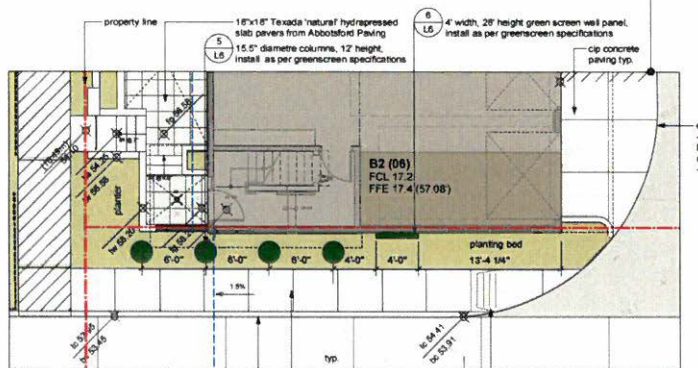




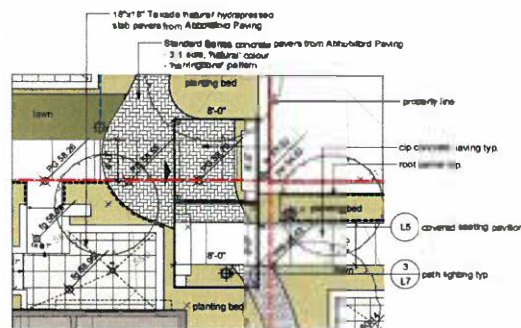
1 Amenity Area Plan View  
Scale: 3/16"=1'-0"



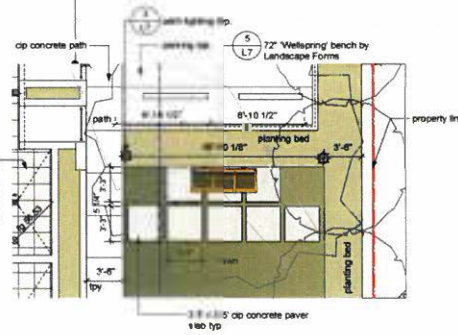
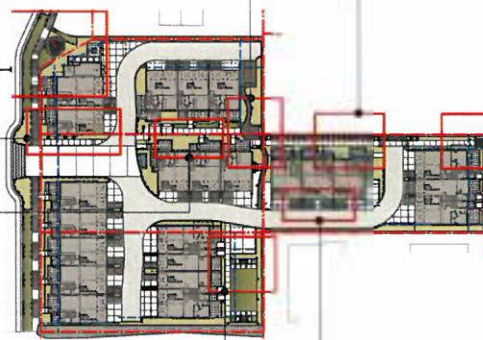
4 CIP Concrete Path Way Plan View TYP  
Scale: 3/16"=1'-0"



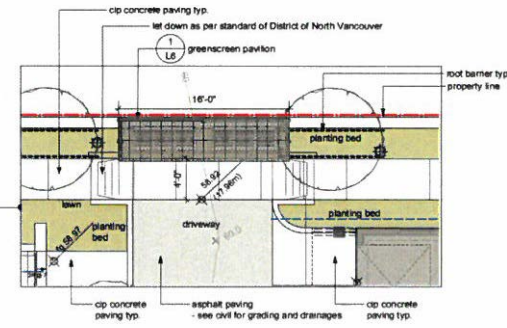
6 Green Screen, Green Column Plan View  
Scale: 3/16"=1'-0"



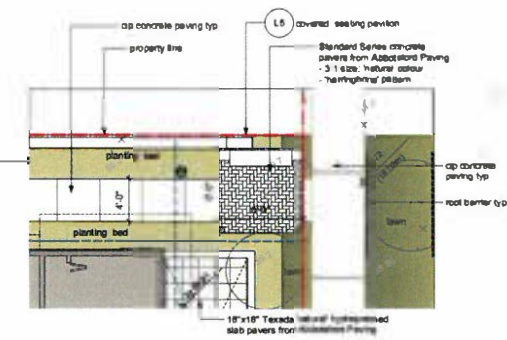
2 Covered Seating Area Plan View  
Scale: 3/16"=1'-0"



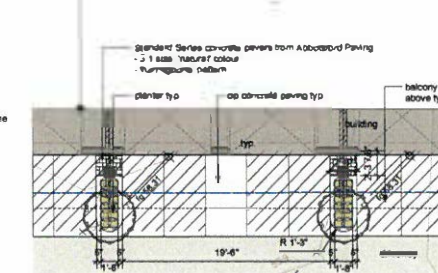
7 Amenity Play Area Plan View  
Scale: 3/16"=1'-0"



3 Green Screen Plan View  
Scale: 3/16"=1'-0"



5 Covered Entry with Seating Area Plan View  
Scale: 3/16"=1'-0"



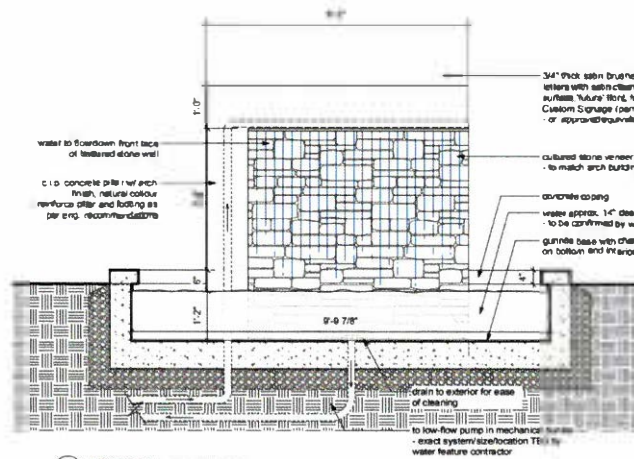
8 Path Way And Planter Plan View  
Scale: 3/16"=1'-0"

**water feature -  
stone water wall**

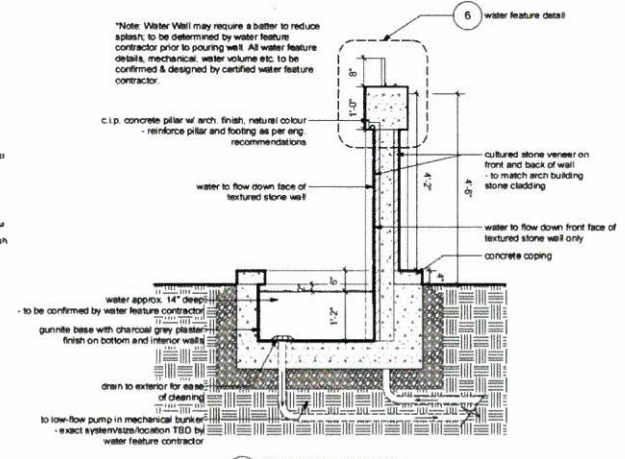


stone tile cladding (to  
match end)

1 Concept image



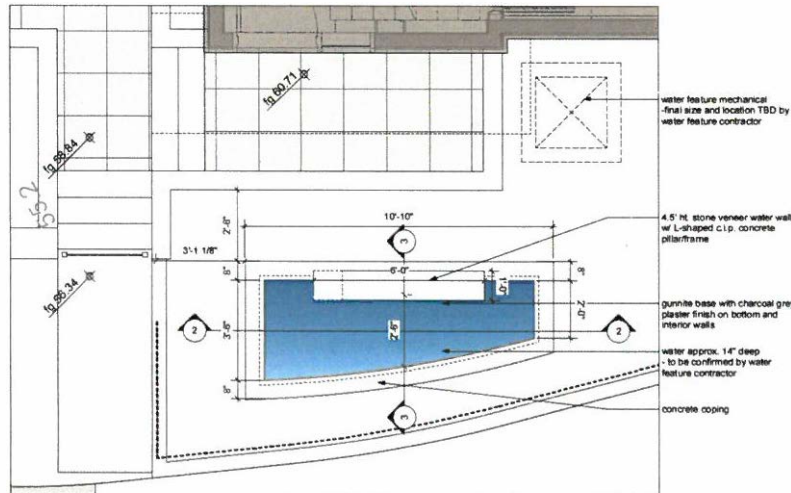
2 Water Feature - Front Elevation  
3/4"=1'-0"



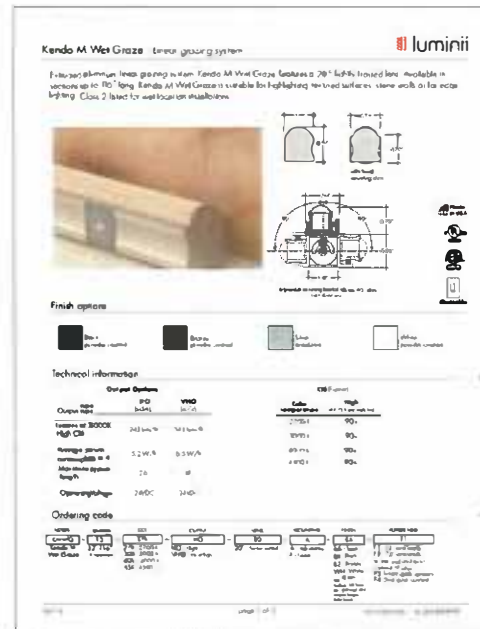
3 Water Feature - Side Section  
3/4"=1'-0"

**Water Feature Notes:**

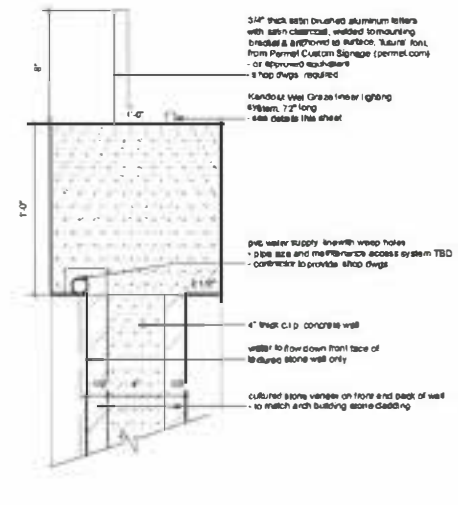
1. All work to meet applicable building code & municipal regulations.
2. All retaining walls to be constructed in accordance with the details & specifications of the engineer's drawing. Finish of walls as per owner's approval.
3. Water feature finish and coping to the approval of the client and architect.
4. All finished paving surfaces to the client's approval.
5. Refer to structural engineer's drawings for water feature and mechanical room.



4 Water Feature Plan  
1/2" = 1'-0"



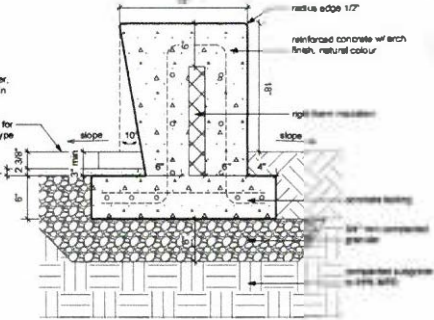
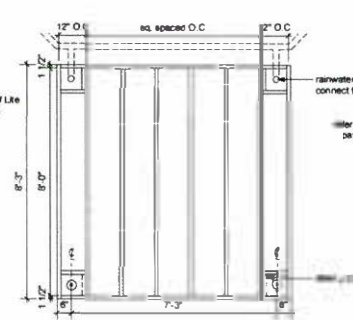
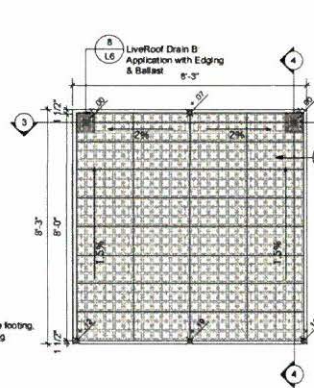
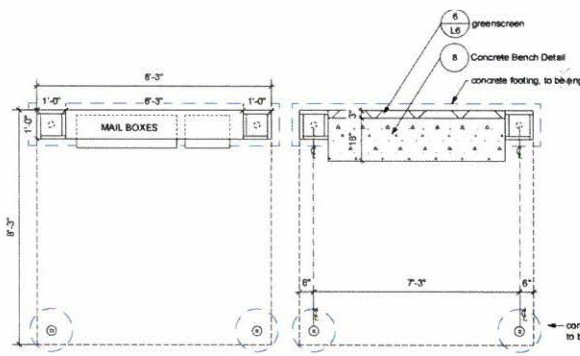
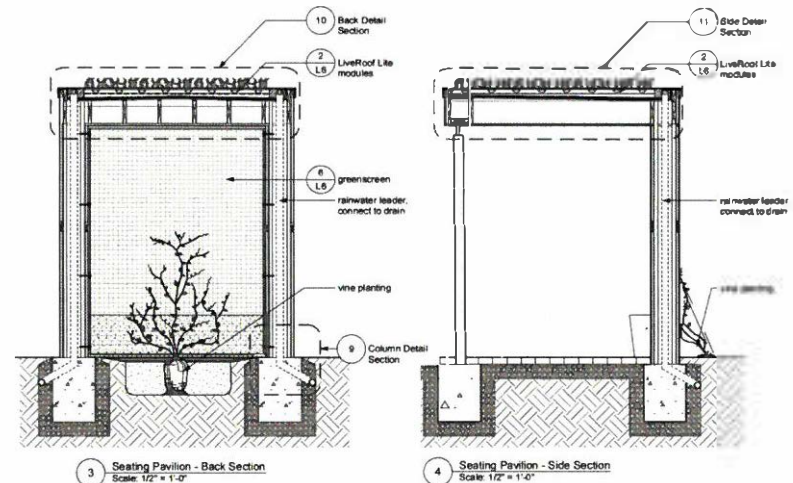
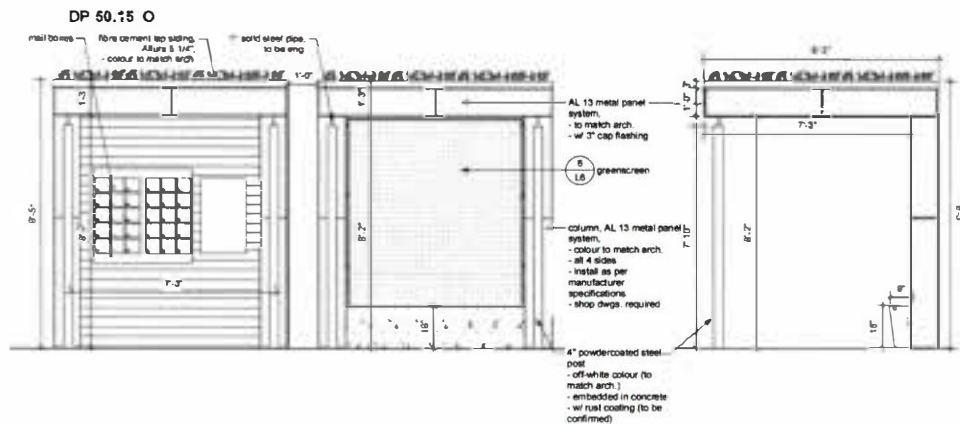
5 Kendo M Wet Graze Lighting System



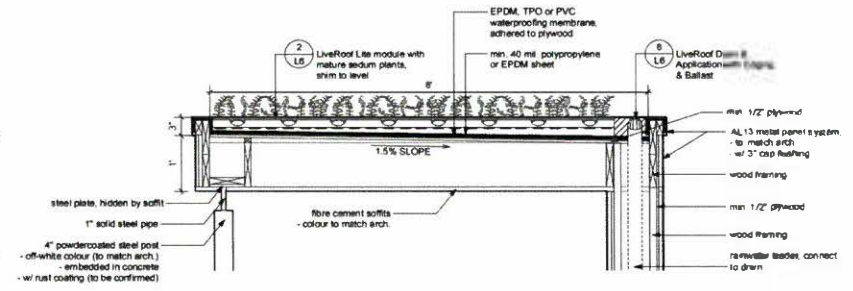
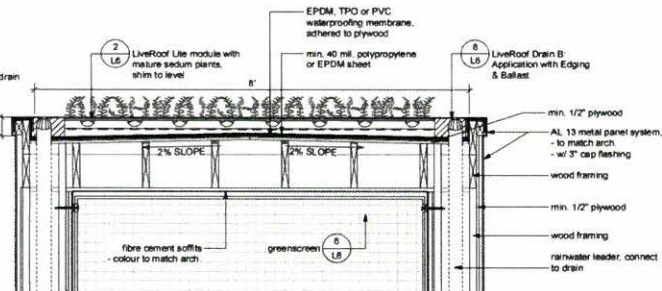
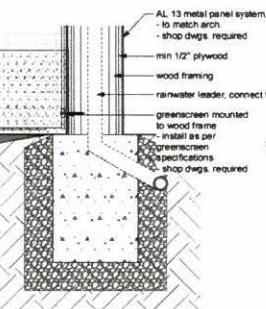
## Water Feature - Detail Sections

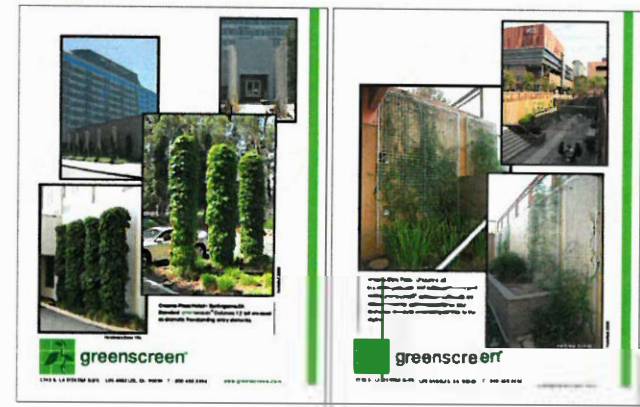
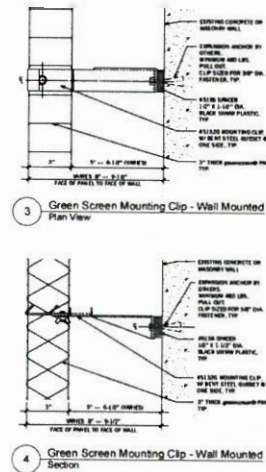
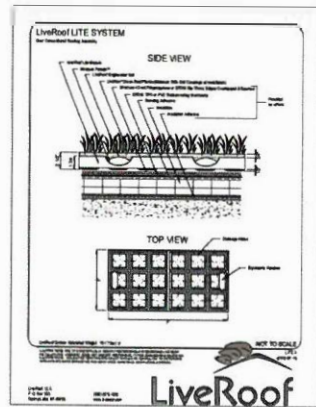
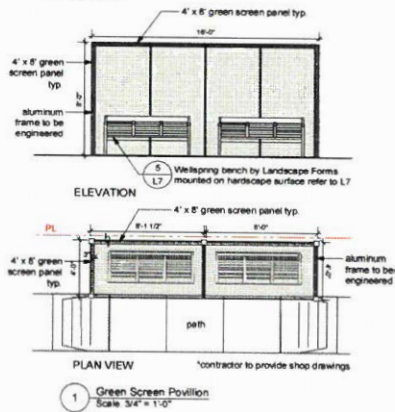




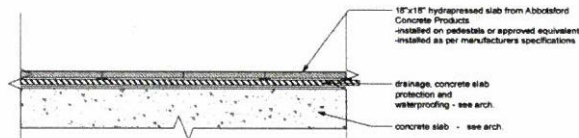


5 Seating Pavilion & Mail Kiosk - Plan View  
Scale: 1/2" = 1'-0"



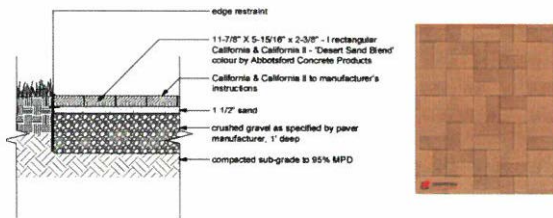




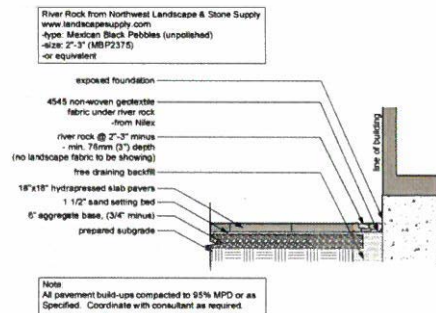


Hydrpressed Slab from Abbotsford Concrete Products  
www.pavingstones.com  
Style: Nevada  
size: 18\"/>

1 Hydrpressed Slab Paving - on slab  
Scale: 3/4\"/>



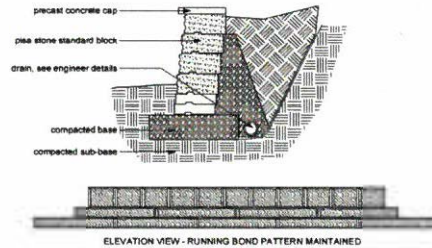
4 Concrete Paver Pavement  
Scale: 1\"/>



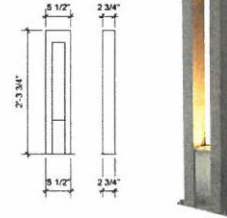
Note:  
All pavement build-ups compacted to 95% MPD or as Specified. Coordinate with consultant as required.

6 CIP Concrete Paver Slabs  
Scale: 3/4\"/>

Notes:  
1. Due to the width (face width) of the Pisa Stone standard unit, it is easier to level on the compacted granular base. As a result, Pisa Stone is commonly used as the base course in installations.  
2. The method described above is ideal for straight walls. For curved applications it is necessary to use the Pisa Stone coping unit as the base course. The absence of the tongue allows the tapered blocks to curve as required.



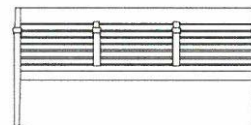
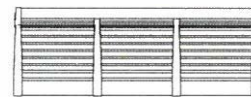
2 Allan Block Retaining Wall Typ.  
Scale: 3/4\"/>



Lighting  
External Path Lighting supplied by SLV  
Model: Salt & Pepper Item No.: 4231420U  
Material: Granite  
Lamp: Upgrade LED, 6W, Per 16, GU10  
783442U  
Dimension: as shown on the drawing  
Installation: as per manufacturer's instruction. Location  
refer to the site plan.



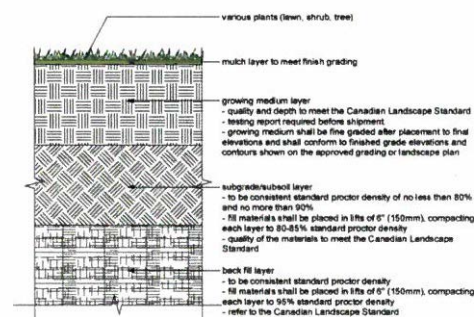
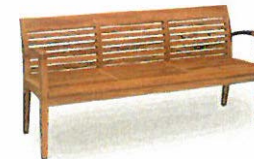
3 Path Lighting  
Scale: 1\"/>



5 Wellspring Bench  
Scale: 3/4\"/>



Wellspring Backed Bench, 72\"/>



8 Planting Bed Soil Section Typ.  
Scale: 3/4\"/>



FORMA DESIGN INC.  
www.formadesign.ca

888-888-8888  
Suite 100, Vancouver  
Project Collaborative  
Canada V7Y 1P6  
tel: (604) 285-8188  
fax: (604) 285-8200

1 issued for DP - Nov 13, 2015  
2 re-issued for DP - Jun 15, 2017

CREUS TO GREENING LTD

408 Church St  
Vancouver, BC

DETAIL 8

8 mm  
1/8\"/>

8 mm  
1/8\"/>

8 mm  
1/8\"/>

8 mm  
1/8\"/>



**AGENDA INFORMATION**☒ Regular MeetingDate: November 20, 2017☐ Other:

Date: \_\_\_\_\_

Dept.  
ManagerGM/  
Director

CAO

## The District of North Vancouver

### REPORT TO COUNCIL

November 1, 2017

File: 16.8310.01/000.000

**AUTHOR:** Councillor Lisa Muri**SUBJECT:** 29th Avenue at William Street Intersection Safety Improvements**RECOMMENDATION:**

THAT the District reinstate the temporary bump-out on the southwest corner of the 29<sup>th</sup> Street/William Avenue intersection (for 29<sup>th</sup> Street eastbound traffic) as soon as possible to address ongoing pedestrian safety concerns.

AND THAT the District make the bump-out permanent as soon as sufficient funds are available through the annual budget process.

**REASON FOR REPORT:**

To request that Council discuss the recommendation for constructing a bump-out/corner bulge at the southwest corner of the 29<sup>th</sup> Street/William Avenue intersection for vehicles travelling eastbound on 29<sup>th</sup> Street.

**SUMMARY:**

Pedestrian safety concerns have been identified at the intersection of 29<sup>th</sup> Street/William Avenue, particularly given the number of children using this route to attend Boundary Elementary School. Council previously gave direction that this bump-out would not be installed due to concerns that traffic would back up on 29<sup>th</sup> heading east. The intersection is 4-way stop control with single lane approaches in all directions, however due to high demand the parking lane along the south side of 29<sup>th</sup> Street is often used as a defacto eastbound right turn lane, which presents conflict to pedestrians; complaints that the right turners are not stopping fully at the stop sign are also being received further exacerbating the pedestrian safety issue.

The main purpose of the curb bulges is to facilitate pedestrian crossings at the intersection by limiting space for motor vehicle passage to one lane in each direction through the intersection so that pedestrians cross paths with fewer motorists during their passage. The permanent curb bulges also improve visibility of pedestrians through elevation and proximity, and shorten the pedestrian crossing distance.

**BACKGROUND:**

Boundary Elementary School has approximately 350 students and is located in South Boundary on East 26<sup>th</sup> Street. A significant number of students walk to school and pedestrian safety has already been identified by local stakeholders and addressed by Council with the recent approval of permanent curb extensions on William Avenue at East 29<sup>th</sup> Street as well as at 26<sup>th</sup> Street and new sidewalks along 29<sup>th</sup>. The curb bulges at Williams and 29<sup>th</sup> were recommended for better pedestrian safety in the 2009 *Boundary-Kirkstone Traffic Safety and Calming Study*, by Creative Transportation Solutions Ltd. and were installed temporarily.

During the Council Workshop Transportation Update meeting on February 2, 2016, Council discussed the temporary curb bulges at the 29<sup>th</sup> Street/William Avenue intersection which had been in place for several years as trial traffic calming measures. Council directed staff to make permanent the bulges on the east side of 29<sup>th</sup> Street at William, and to remove the temporary bulges at the west side of William to facilitate the eastbound right turn movement for motor vehicles. The intersection is currently regulated by all way stop control and pedestrian crosswalks are marked on all four legs.

**EXISTING POLICY:**

All motorists are required to stop fully and yield to pedestrians in the crosswalks before proceeding through the intersection.

**ANALYSIS:****Timing/Approval Process:**

Timing is considered important due to the on-going pedestrian safety concerns and repeated public requests to the District to provide pedestrian safety improvements at the intersection.

**Concurrence:**

None

**Financial Impacts:**

The temporary bump-out can be reinstated within available budgets. Installation of a permanent bump-out would cost approximately \$20,000 (construction of permanent bump-out/corner bulges for eastbound traffic)

**Liability/Risk:**

Risk of vehicle-pedestrian conflict

**Social Policy Implications:**

Safe routes to schools

**Environmental Impact:**

None

**Public Input:**

Public input received in favour of providing bump-out/corner bulge on the southwest corner of 29<sup>th</sup> Street/William Avenue including written request from the PAC Chair of Boundary Elementary School.

**Options:**

1. That the District re-instate the temporary bump-out on the southwest corner of the 29<sup>th</sup> Street/William Avenue intersection (for 29<sup>th</sup> Street eastbound traffic) to address ongoing pedestrian safety concerns as soon as possible, and install a permanent bump-out as soon as sufficient funds are available.
2. Installation of a pedestrian signal.
3. Maintain the existing geometry and laning (i.e. no change).

Respectfully submitted,

Lisa Muri  
Councillor

REVIEWED WITH:		
<input type="checkbox"/> Sustainable Community Dev.	<input type="checkbox"/> Clerk's Office	External Agencies:
<input type="checkbox"/> Development Services	<input type="checkbox"/> Communications	<input type="checkbox"/> Library Board
<input type="checkbox"/> Utilities	<input type="checkbox"/> Finance	<input type="checkbox"/> NS Health
<input type="checkbox"/> Engineering Operations	<input type="checkbox"/> Fire Services	<input type="checkbox"/> RCMP
<input type="checkbox"/> Parks	<input type="checkbox"/> ITS	<input type="checkbox"/> NVRC
<input type="checkbox"/> Environment	<input type="checkbox"/> Solicitor	<input type="checkbox"/> Museum & Arch.
<input type="checkbox"/> Facilities	<input type="checkbox"/> GIS	<input type="checkbox"/> Other:
<input type="checkbox"/> Human Resources	<input type="checkbox"/> Real Estate	

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AGENDA INFORMATION	
<input checked="" type="checkbox"/> Regular Meeting	Date: <u>November 20, 2017</u>
<input type="checkbox"/> Workshop (open to public)	Date: _____

Dept. Manager	GM/ Director	CAO
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## The District of North Vancouver REPORT TO COUNCIL

November 1, 2017

File:

**AUTHOR:** Mayor Richard Walton

**SUBJECT:** North Shore Operation Red Nose Sponsorship

**RECOMMENDATION:**

THAT a grant in the amount of \$1,000 be provided to the North Shore Rotary Club in support of their 2017 "Operation Red Nose" campaign, funds to be allocated from the Miscellaneous Funding Requests to Council account.

**BACKGROUND:**

The North Shore Rotary Clubs are currently looking for additional sponsors to support the 17<sup>th</sup> year of Operation Red Nose. Operation Red Nose is a unique designated-driver program dedicated to help fight against impaired driving on the weekends during the holiday season.

**REASON FOR REPORT:**

In 2016 the District of North Vancouver supported Operation Red Nose with a grant of \$1,000. This year the District would like to match that amount with another \$1,000 grant.

**CONCLUSION:**

If Council concurs, a cheque for \$1,000 will be issued to the North Shore Rotary Club for the 2017 Operation Red Nose campaign immediately. The money will come from the Miscellaneous Funding Requests to Council account which has a current balance of \$20,138.

Respectfully submitted,



Richard Walton  
Mayor

REVIEWED WITH:		
<input type="checkbox"/> Sustainable Community Dev. _____	<input type="checkbox"/> Clerk's Office _____	External Agencies:
<input type="checkbox"/> Development Services _____	<input type="checkbox"/> Communications _____	<input type="checkbox"/> Library Board _____
<input type="checkbox"/> Utilities _____	<input type="checkbox"/> Finance _____	<input type="checkbox"/> NS Health _____
<input type="checkbox"/> Engineering Operations _____	<input type="checkbox"/> Fire Services _____	<input type="checkbox"/> RCMP _____
<input type="checkbox"/> Parks & Environment _____	<input type="checkbox"/> ITS _____	<input type="checkbox"/> Recreation Com. _____
<input type="checkbox"/> Facilities _____	<input type="checkbox"/> Solicitor _____	<input type="checkbox"/> Museum & Arch. _____
<input type="checkbox"/> Human resources _____	<input type="checkbox"/> GIS _____	<input type="checkbox"/> Other: _____



November 6<sup>th</sup>, 2017

His Worship Mayor Richard Walton and Council  
District of North Vancouver  
355 West Queens road  
North Vancouver B.C. V7N 4N5

Dear Mayor Mussatto and Council,

**Re: SPONSORING OPERATION RED NOSE 2017**

The North Shore Rotary Clubs are looking for sponsors to support their 17<sup>th</sup> year of Operation Red Nose. Operation Red Nose is a unique designated-driver program dedicated to fight against impaired driving on the weekends during the holiday season.

The success of the Operation Red Nose service and campaign relies totally on the participation of volunteers and sponsorships. The service is provided free of charge, but donations are very welcome. Please consider encouraging members of your organization to use Operation Red Nose's services at any social function you arrange to celebrate the holiday season.

The City of North Vancouver's participation in this program will represent a direct contribution toward a safer community over the holiday season, and is in strong alignment with the *Community Supporting Community* guiding principle outlined in the City's 2014 Official Community Plan. All proceeds from Operation Red Nose are used to support youth programs on the North Shore.

You have been very generous in your support of Operation Red Nose in the past. Can we include you again, as one of this year's program sponsors? We have enclosed sponsorship forms as well as some background history of Operation Red Nose. Please contact the writer with have any questions.

Sincerely,

**Hootie Johnston**  
Sponsorship Coordinator  
2017 Operation Red Nose North Shore  
778-834-4668

Enc.

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