

AGENDA

REGULAR MEETING OF COUNCIL

Monday, April 3, 2017

7:00 p.m.

Council Chamber, Municipal Hall

355 West Queens Road,

North Vancouver, BC

Council Members:

Mayor Richard Walton

Councillor Roger Bassam

Councillor Mathew Bond

Councillor Jim Hanson

Councillor Robin Hicks

Councillor Doug MacKay-Dunn

Councillor Lisa Muri



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REGULAR MEETING OF COUNCIL

7:00 p.m.
Monday, April 3, 2017
Council Chamber, Municipal Hall,
355 West Queens Road, North Vancouver

AGENDA

BROADCAST OF MEETING

- Broadcast on Shaw channel 4 at 9:00 a.m. Saturday
- Online at www.dnv.org

CLOSED PUBLIC HEARING ITEMS NOT AVAILABLE FOR DISCUSSION

- Bylaw 8142 – Rezoning Employment Zone – Lynn Creek Light Industrial
- Bylaw 8183 – Rezoning 467 Mountain Highway
- Bylaw 8178 – OCP Amendment 3105 Crescentview Drive
- Bylaw 8179 – Rezoning 3105 & 3115 Crescentview Drive
- Bylaw 8197 – Rezoning 854, 858 & Lot 5 Orwell Street and 855 Premier Street

1. ADOPTION OF THE AGENDA

1.1. April 3, 2017 Regular Meeting Agenda

Recommendation:

THAT the agenda for the April 3, 2017 Regular Meeting of Council for the District of North Vancouver is adopted as circulated, including the addition of any items listed in the agenda addendum.

2. PUBLIC INPUT

(limit of three minutes per speaker to a maximum of thirty minutes total)

3. PROCLAMATIONS

3.1. Rail Safety Week – April 24-30, 2017

p. 9

4. RECOGNITIONS

5. DELEGATIONS

5.1. Kim Selody, Artistic Director, Presentation House Theatre Re: Update on Programming and Building

p. 13-23

6. ADOPTION OF MINUTES

6.1. March 27, 2017 Regular Council Meeting

p. 27-33

Recommendation:

THAT the minutes of the March 27, 2017 Regular Council meeting are adopted.

7. RELEASE OF CLOSED MEETING DECISIONS

8. COUNCIL WORKSHOP REPORT

9. REPORTS FROM COUNCIL OR STAFF

With the consent of Council, any member may request an item be added to the Consent Agenda to be approved without debate.

If a member of the public signs up to speak to an item, it shall be excluded from the Consent Agenda.

Recommendation:

THAT items _____ are included in the Consent Agenda and are approved without debate.

9.1. Bylaw 8223: 229 Seymour River Place Highway Closure

p. 37-43

File No. 02.0930/504

Recommendation:

THAT "229 Seymour River Place Highway Closure Bylaw 8223, 2017" is given FIRST Reading;

AND THAT staff is authorized to publish notification of the road closure for two consecutive weeks as per the provisions in the *Community Charter*.

9.2. Bylaw 8229: Belle Isle Place Highway Closure

p. 45-51

File No. 02.0930/504

Recommendation:

THAT "Belle Isle Place Highway Closure Bylaw 8229, 2017" is given FIRST Reading;

AND THAT staff is authorized to publish notification of the road closure for two consecutive weeks as per the provisions in the *Community Charter*.

9.3. Request for Letters of Support for Bill C-323 - Amendment to the *Income Tax Act* to Provide Tax Credits for Expenses Related to Rehabilitation of Historic Properties

p. 53-56

File No. 13.6800.01

Recommendation:

THAT staff is directed to prepare letters to the Federal and Provincial governments on behalf of Mayor and Council expressing support for the introduction and implementation of Bill C-323.

- 9.4. Tenant Compensation and Relocation Packages:** **p. 57-60**
“Mountain Court” (1241-1289 E. 27th St.) and
“Branches” (2601-2697 Whiteley Ct.)
File No. 08.3060.20/016.16

Recommendation:

THAT the March 22, 2017 report of the Development Planner entitled Tenant Compensation and Relocation Packages: “Mountain Court” (1241-1289 E. 27th St.) and “Branches” (2601-2697 Whiteley Ct.) is received for information.

- 9.5. Development Permit 16.16: 1241-1289 E. 27th St:** **p. 61-112**
Mountain Court Phase 2
File No. 08.3060.20/016.16

Recommendation:

THAT Development Permit 16.16, for two buildings on the west side of the Mountain Court project (Phase 2), is ISSUED.

10. REPORTS

10.1. Mayor

10.2. Chief Administrative Officer

10.3. Councillors

10.4. Metro Vancouver Committee Appointees

10.4.1. Aboriginal Relations Committee – Councillor Hanson

10.4.2. Housing Committee – Councillor MacKay-Dunn

10.4.3. Regional Parks Committee – Councillor Muri

10.4.4. Utilities Committee – Councillor Hicks

10.4.5. Zero Waste Committee – Councillor Bassam

10.4.6. Mayors Council – TransLink – Mayor Walton

11. ANY OTHER BUSINESS

12. ADJOURNMENT

Recommendation:

THAT the April 3, 2017 Regular Meeting of Council for the District of North Vancouver is adjourned.

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PROCLAMATIONS

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PROCLAMATION

"PUBLIC – RAIL SAFETY WEEK"

APRIL 24 – 30, 2017

WHEREAS: Public – Rail Safety Week is to be held across Canada from April 24 to 30, 2017 and;

WHEREAS: It is in the public's interest to raise citizen's awareness on reducing avoidable accidents, injuries and damage cause by collisions at level crossings or incidents involving trains and citizens; and

WHEREAS: Operation Lifesaver is a public/private partnership whose aim is to work with the rail industry, governments, police services, the media and other agencies and the public to raise rail safety awareness; and

WHEREAS: Operation Lifesaver has requested Council adopt this resolution in support of its ongoing effort to save lives and prevent injuries in communities, including our municipality.

NOW THEREFORE I, Richard Walton, Mayor of the District of North Vancouver, do hereby proclaim the week of April 24 – 30, 2017 as "PUBLIC – RAIL SAFETY WEEK" in the District of North Vancouver.

Richard Walton
MAYOR

Dated at North Vancouver, BC
This 3rd day of April 2017

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DELEGATIONS

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Delegation to Council Request Form

**District of North Vancouver
Clerk's Department**
355 West Queens Rd, North Vancouver, BC V7N 4N5

Questions about this form: Phone: 604-990-2311
Form submission: Submit to address above or Fax: 604.984.9637

COMPLETION: To ensure legibility, please complete (type) online then print. Sign the printed copy and submit to the department and address indicated above.

Delegations have five minutes to make their presentation. Questions from Council may follow.

Name of group wishing to appear before Council: Presentation House Theatre

Title of Presentation: Presentation House Theatre - Update on Programming and Building

Name of person(s) to make presentation: Kim Selody

Purpose of Presentation:

☒ Information only

☐ Requesting a letter of support

☐ Other (provide details below)

Please describe:

attach separate sheet if additional space is required

Contact person (if different than above): _____

Daytime telephone number: 604 990 3473

Email address: kimselody@phtheatre.org

Will you be providing supporting documentation? ☒ Yes ☐ No

If yes:

☐ Handout ☐ DVD

☒ PowerPoint presentation

Note: All supporting documentation must be provided 12 days prior to your appearance date. This form and any background material provided will be published in the public agenda.

Presentation requirements:

☒ Laptop ☐ Tripod for posterboard

☒ Multimedia projector ☐ Flipchart

☐ Overhead projector

Arrangements can be made, upon request, for you to familiarize yourself with the Council Chamber equipment on or before your presentation date.

Delegation to Council Request Form

Rules for Delegations:

1. Delegations must submit a Delegation to Council Request Form to the Municipal Clerk. Submission of a request does not constitute approval nor guarantee a date. The request must first be reviewed by the Clerk.
2. The Clerk will review the request and, if approved, arrange a mutually agreeable date with you. You will receive a signed and approved copy of your request form as confirmation.
3. A maximum of two delegations will be permitted at any Regular Meeting of Council.
4. Delegations must represent an organized group, society, institution, corporation, etc. Individuals may not appear as delegations.
5. Delegations are scheduled on a first-come, first-served basis, subject to direction from the Mayor, Council, or Chief Administrative Officer.
6. The Mayor or Chief Administrative Officer may reject a delegation request if it regards an offensive subject, has already been substantially presented to council in one form or another, deals with a pending matter following the close of a public hearing, or is, or has been, dealt with in a public participation process.
7. Supporting submissions for the delegation should be provided to the Clerk by noon 12 days preceding the scheduled appearance.
8. Delegations will be allowed a maximum of five minutes to make their presentation.
9. Any questions to delegations by members of Council will seek only to clarify a material aspect of a delegate's presentation.
10. Persons invited to speak at the Council meeting may not speak disrespectfully of any other person or use any rude or offensive language or make a statement or allegation which impugns the character of any person.
11. Please note the District does not provide grants or donations through the delegation process.
12. Delegation requests that are non-jurisdictional or of a financial nature may not be accepted.

Helpful Suggestions:

- have a purpose
- get right to your point and make it
- be concise
- be prepared
- state your request, if any
- do not expect an immediate response to a request
- multiple-person presentations are still five minutes maximum
- be courteous, polite, and respectful
- it is a presentation, not a debate
- the Council Clerk may ask for any relevant notes (if not handed out or published in the agenda) to assist with the accuracy of our minutes

I understand and agree to these rules for delegations

Kim Selody

Name of Delegate or Representative of Group

March 3, 2017

Date

Signature

For Office Use Only

Approved by:

Municipal Clerk

Deputy Municipal Clerk

✓

Appearance date:

April 3, 2017

Receipt emailed on:

March 3, 2017

Rejected by:

Mayor

CAO

Applicant informed on:

Applicant informed by:

The personal information collected on this form is done so pursuant to the Community Charter and/or the Local Government Act and in accordance with the Freedom of Information and Protection of Privacy Act. The personal information collected herein will be used only for the purpose of processing this application or request and for no other purpose unless its release is authorized by its owner, the information is part of a record series commonly available to the public, or is compelled by a Court or an agent duly authorized under another Act. Further information may be obtained by speaking with The District of North Vancouver's Manager of Administrative Services at 604-990-2207 or at 355 W Queens Road, North Vancouver.



Laugh, Cry, Think, Learn

- **Presentation House Theatre Society's mandate is:**
- To create community by using the professional theatre experience to build bridges between generations and cultures.
- To create meaningful connections between people, through the development, production, presentation and touring of professional theatre for children, youth and adults.

What we do:

- PHT produces and presents theatre for families, children and adults. A typical season also averages 60 events a year of professional music and dance, and several local arts groups hosted here. Programming includes culturally diverse artists, relevant to the people who inhabit the North Shore.
- We believe in building bridges that create a shared experience in the performing arts - between professional artists and the community, generations, diverse cultures, artists and artistic aesthetics.
- We deem that the performing arts play a vital role in creating community; that exploration and play are at the core of creativity; and that buildings are “enablers” where people dream, practice and perform. We commit to bringing professional artists and audiences together, transforming lives and encouraging us all to learn more about ourselves and each other.
- PHT plays an important role in the cultural life of the North Shore by defining and building community; developing, producing and presenting an entertaining, engaging mix of theatre, dance and music; and by creating meaningful connections through the performing arts.



*Salmon Girl -
Raven Spirit Dance*



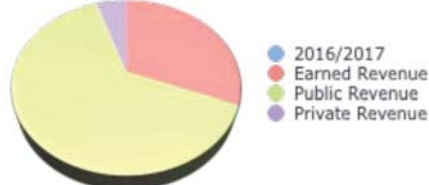
Our Finances

ANNUAL BUDGET (2015-16): \$1,097,590

ACCUMULATED SURPLUS: \$21,617

2016/2017 Revenue Breakdown:

Earned: 31% Public: 64% Private: 5%



North Vancouver District and City Contributions:

NVRCC Programming Grant: \$119,575

Non Monetary Transaction (grant in lieu of rent and taxes):
\$199,029

TOTAL: \$318,604



Our Activities

Total Performances, workshops, activities and attendance

Performances, workshops and Activities	2013/14 Actuals	2014/15 Actuals	2015/16 Actuals	2016/17 Projected
TOTAL PHT performances presented	93	112	120	118
TOTAL community groups' activities presented	31	32	36	34
TOTAL PHT workshops presented	14	14	17	16
TOTAL performances, activities and workshops	138	158	173	168

Attendance	2013/14 Actuals	2014/15 Actuals	2015/16 Actuals	2016/17 Projected
TOTAL attendance of PHT performances	8,046	8,347	8,656	8,500
TOTAL attendance of community groups' activities	2,944	3,014	3,384	3,250
TOTAL attendance of PHT workshops	784	753	957	900
Total Paid Attendance	11,774	12,114	12,997	12,650
Total Free Attendance	3,378	3,236	3,568	3,500
Total Paid and Free Attendance	15,152	15,350	16,565	16,150

Beyond our Building: Community Outreach

Fire Fly Project – Professional artists work with a class of 4 to 6 year olds to help each child create an original story,. The stories are:

- Acted out by the entire class;
- The child draws a picture of that story;
- The stories and illustrations are published in a book for each child and their family.

This season we piloted a version of the program which brought students from East View Elementary working in mentorship with children from the Xwemelch'stn Etsimxwawtxw (Capilano Little Ones Elementary), the exchange helped the children to understand each other's culture. This 6-week project ended with a presentation and feast for 160 students, teachers, parents and elders.



Esjha7an Learning Centre

Partnership with the Esjha7an Learning Centre. we partner with the Esjha7an Learning Centre, located four blocks from our theatre. The centre offers programs for adult First Nation residents on the North Shore to improve literacy skills, using the arts to help them find their voice. After seeing THE GIFT in our space (for many it was first time in their lives they had seen a play), we invited the group back to use our theatre to explore and create their work. We are working with the program coordinator, to provide a series of workshops for the group in theatre skills, so they will be able to develop their individual voices and bring their experiences to the broader public through written word, photos and video to be posted online, and finally live performance.



Our Touring this Season

Our Theatre for Young Audiences ON TOUR:

- Over 300 performances of PH Theatre shows for children, nationally and internationally. Where PH Theatre creations have been and are going:

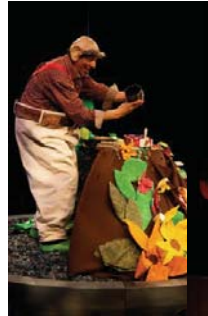


Forli, Italy	Sydney, AU	Seattle, USA
Milan, Italy	Prince George, BC	Calgary, AB
Florence, Italy	Ottawa, On	London, England
Seattle, WA	New York, NY	Kansas City, MO
Las Vegas, NA	Austin, TX	Minneapolis, MN
St. Louis, MO	Red Bank, NJ	Cape Town, SA
Mexico City, Mx	Toronto, ON	Surrey, BC

Our shows on Tour



Baking Time



Jack and the Bean



Where the Wild Things Are

Community Connections

WEAVING OUR HUMANITY –

Our partnership with the **North Shore Immigration Inclusion Partnership** and the **North Shore Multi Cultural Society** has led to an increase in the diversity of our audiences, particularly at our family oriented programming. Our joint event brought in new audiences, some of which continue to attend our programming. Hosted by North Shore Artist **Veena Sood**, the event brought together musicians and story-tellers sharing experiences of coming to Canada and finding their voice. The theme of the event was friendship and shared humanity. The sold-out event was very moving and we are in the planning stages of next year's event. Our involvement has brought us in touch with many groups and organizations working on the North Shore to make it an inclusive community.



NORTH SHORE NEIGHBOURHOOD HOUSE -

We are now in our 4th year of partnering with NSNH with our Take Your Seat Campaign. With the financial assistance from Neptune Terminals, we are able to work together each year, giving access to seniors to the full slate of our programming. The program increase outreach into the seniors community and enables access to all our programming. The benefit to NSNH is being able to enrich the lives of their target clientele.

Community Recognition

ConneXions North Vancouver:

For the past 3 years we have worked with this organization to provide meaningful employment to young adults with autism. This year we were honoured to receive the **Employer of the Year Special Recognition Award** for our contribution to the organizations goals here on the North Shore. The organization raises our profile and outreach into their community. The benefit for ConneXions, beyond us providing gainful employment to one of their clients, is bringing awareness, and setting a positive example of the contribution that adults with autism can bring to the community

Unity In Diversity Award – From the Baha’i Community of West Vancouver – In recognition of our work to promote community connections among diverse people through the Arts



Patrice Balbina - invited to Cape Town, SA this May

I Wish – co-production with Teatro Elsinor, Italy

Community Users

Performing Arts WORKSHOPS and CLASSES

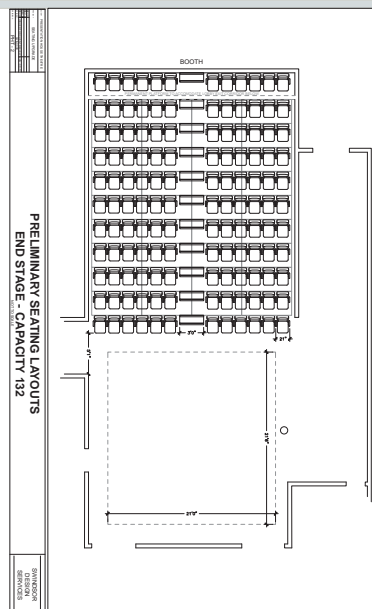
Academy of Middle Eastern Dance – Pooneh – Artistic Director
Connie Kartzmark Ballet
Vancouver Pars National Ballet – Azita
Hype Theatre – (classes in theatre for youth)
Special Dynamics Dance
Linda Chawla – movement classes for adults
Impromptu Rock Choir – Rehearsals and performances
Virginia D – workshops in theatre
Grand Theft Impro – Artistic Director – Alan Marriot
Camp Monarch – theatre/dance/arts camp kids
KTAS Drumming – Korean drumming
Kirby Barber – workshops in photography
Persian film Association – workshops in video
Joseph Sallay – workshops in music
Brad Muirehead – theatre classes
Tina Overbury – “Live Your Best Story” workshops
North Shore Multi Cultural Society – Story Telling

DEVELOPMENT and RESIDENCIES

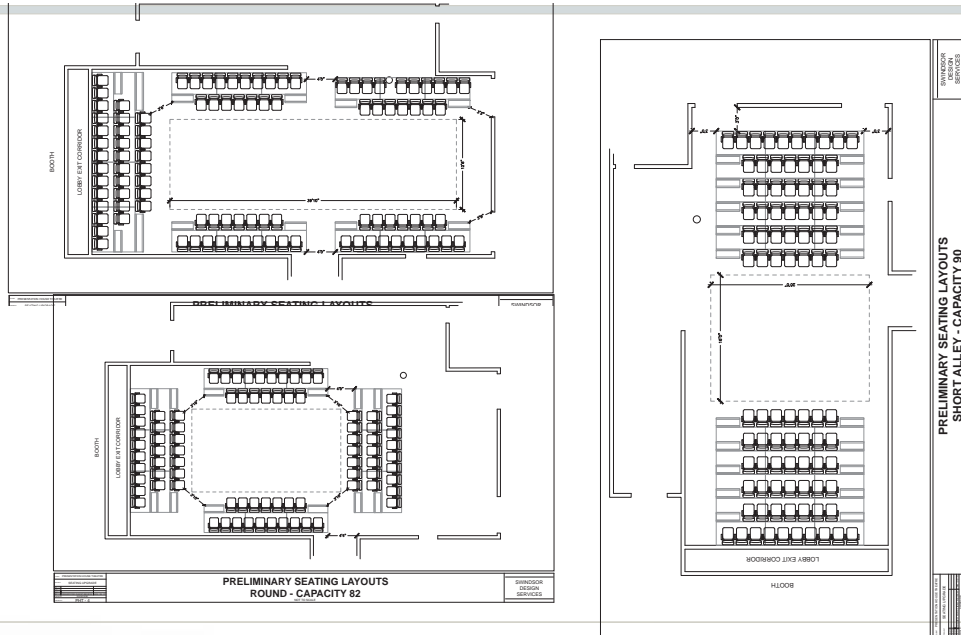
Raven Spirit Dance – *Salmon Girl* (Aboriginal Theatre/Dance)
Cap Jazz Series - Jared Burrows - Artistic Director
Bodacious– Women’s Professional Play Reading
Frank Theatre – *Walt Whitman’s Secret* (LGBT)
Surrounded By Owls Theatre - *The Gift* (Aboriginal Theatre/Dance)
Lonesome Moon Prod. – *Ages of the Moon* (Adult Theatre)
Urban Ink – *Sal Capone* (Culturally Diverse/Aboriginal)
Lisa Ravensbergen (Aboriginal Theatre)
A Bunch of Actors – (Adult Theatre)
Vancouver Intercultural Orchestra –(music)
Cause and Effect Circus – *A New Conformity* (Circus)

Our New Seating System

PHT has successfully collaborated with the City to upgrade the Lighting and Sound systems and is now working with the City on a sustainable way to replace the very out of date and worn theatre seating. We are happy to inform you, that the funding from the City of North Vancouver and Heritage Canada – Cultural Spaces is confirmed, and we will install new, state-of-the-art flexible seating in PHT's theatre this summer (July - August 2017) without disturbing PHT's main theatre season. This new flexible seating will increase our ability to respond to new trends towards audience engagement and provide flexibility of space and performance design to suit a much greater variety of artistic creations, increase revenues, and also improve comfort for our patrons



Possible Configurations



First Welcome – Hych’Ka



In co-production with Mortal Coil Performance Society,

First Welcome – HYCH’KA

is a Celebration of 1st Meetings between:

- People
- Cultures
- Species
- Worlds



This is an outdoor, site specific, free series of events taking place around the North Shore in various locations, including Lonsdale Quay, Waterfront Park, Edgemont Village, and Lynn Valley.

Partners include the North Shore Recreation and Culture Commission, the North Shore Multi Cultural Society, and members of the Squamish and Tsleil-Waututh Nations. This free, family oriented experience explores immigration and first contact using music, dance and puppetry. The cornerstone of these experiences is a 4-meter-high puppet.

In collaboration with the Musqueam First Nation's Wolf Pack Dance Group, this performance experience will feature a pot luck, live music, singing, puppetry and parades that engage all present, celebrating a nation founded on the experiences of immigration and first contact. This project is made possible by a Heritage Canada 150 grant.



Our Facilities and the Future

With the Gallery moving out in Sept, 2017, we are:

- Negotiating a New Tenancy Agreement with CNV Real Estate and Facilities Dept for a 5 year lease until 2022.
- The City of North Vancouver has agreed to support PHT, the Third Floor Studio Space, when the Gallery vacates the premises. To generate some of the revenue lost with the departure of the Gallery, PHT will rent this space to arts and cultural groups in the community.

With the Museum leaving in 2019, we are,

- Planning a use for the Museum space for the remaining 3 years of the life of the building
- Actively engaging in discussions on a purpose built facility for our activities



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MINUTES

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**DISTRICT OF NORTH VANCOUVER
REGULAR MEETING OF COUNCIL**

Minutes of the Regular Meeting of the Council for the District of North Vancouver held at 7:01 pm on Monday, March 27, 2017 in the Council Chambers of the District Hall, 355 West Queens Road, North Vancouver, British Columbia.

Present: Mayor R. Walton
Councillor R. Bassam
Councillor M. Bond
Councillor J. Hanson
Councillor R. Hicks
Councillor D. MacKay-Dunn
Councillor L. Muri

Staff: Mr. D. Stuart, Chief Administrative Officer
Ms. C. Grant, General Manager – Corporate Services
Mr. G. Joyce, General Manager – Engineering, Parks & Facilities
Mr. D. Milburn, General Manager – Planning, Properties & Permits
Mr. A. Wardell, Acting General Manager – Finance & Technology
Mr. J. Gordon, Manager – Administrative Services
Ms. J. Paton, Manager – Development Planning
Ms. C. Archer, Confidential Council Clerk

1. ADOPTION OF THE AGENDA

1.1. March 27, 2017 Regular Meeting Agenda

**MOVED by Councillor BOND
SECONDED by Councillor MURI**

THAT the agenda for the March 27, 2017 Regular Meeting of Council for the District of North Vancouver is adopted as circulated.

CARRIED

2. PUBLIC INPUT

2.1. Mr. Bruce R. Lindsay, 4100 Block St. Pauls Avenue:

- Spoke in opposition to allowing backyard hens in the District;
- Commented on health and safety concerns, including the risk of avian flu, attracting predators to residential areas, and noise and smell; and,
- Commented on the abandonment of hens in other jurisdictions.

2.2. Mr. John Harvey, 1900 Block Cedar Village Crescent:

- Spoke regarding the North Vancouver Bus Depot;
- Commented on notice provided to the public for North Vancouver Community Policing Committee meetings; and,
- Provided an update on an RCMP conduct investigation.

2.3. Mr. John Miller, 1600 Block Tatlow Avenue:

- Spoke in support of item 9.6; and,
- Expressed concern about the materials changes made by the Advisory Design Panel after the public input meeting.

3. PROCLAMATIONS

Nil

4. RECOGNITIONS

Nil

5. DELEGATIONS

5.1. Mary Ellen Schaafsma, United Way of the Lower Mainland

Re: North Shore Community Profile

Ms. Mary Ellen Schaafsma, Director, Social Innovation & Research, United Way of the Lower Mainland, provided an overview of the North Shore Community Profile, highlighting population, economic and social indicators. Ms. Schaafsma noted the District has the highest proportion of families with children and the highest proportion of single-family residences of the three North Shore municipalities, as well as the lowest percentage immigrant population. Of particular concern is the 0.5% overall rental vacancy rate and 0% vacancy rate for units with three or more bedrooms.

MOVED by Councillor BASSAM

SECONDED by Councillor MACKAY-DUNN

THAT the delegation of United Way of the Lower Mainland is received.

CARRIED

6. ADOPTION OF MINUTES

6.1. March 6, 2017 Regular Council Meeting

MOVED by Councillor MURI

SECONDED by Councillor BASSAM

THAT the minutes of the March 6, 2017 Regular Council meeting are adopted.

CARRIED

7. RELEASE OF CLOSED MEETING DECISIONS

Nil

8. COUNCIL WORKSHOP REPORT

Nil

9. REPORTS FROM COUNCIL OR STAFF

With the consent of Council, Mayor Walton varied the agenda as follows:

9.5 Bylaws 8192 and 8193: 1503-1519 Crown Street

File No. 08.3060.20/014.16

MOVED by Councillor BASSAM

SECONDED by Councillor HICKS

THAT “The District of North Vancouver Rezoning Bylaw 1345 (Bylaw 8192)” is ADOPTED;

AND THAT “Housing Agreement Bylaw 8193, 2016 (1503-1519 Crown Street)” is ADOPTED.

CARRIED

Opposed: Councillor MURI

9.6 Development Permit 37.16: 1700 Marine Drive

File No. 08.3060.20/037.16

Public Input:

Mr. Jehan Elizeh, 700 Block Marine Drive:

- Advised he is the developer for the project; and,
- Commented on the design of the building.

MOVED by Councillor BASSAM

SECONDED by Councillor HICKS

THAT Development Permit 37.16, to allow a 33-unit mixed-use development at 1700 Marine Drive, is ISSUED.

CARRIED

9.7 Bylaw 8158 – Zoning Bylaw Text Amendments for Industrial Buildings and Structures

File No. 08.3060.20/044.15

MOVED by Councillor MURI

SECONDED by Mayor WALTON

THAT staff is directed to proceed with public consultation as detailed in the March 10, 2017 report of the Development Planner entitled Bylaw 8158 – Zoning Bylaw Text Amendments for Industrial Buildings and Structures.

CARRIED

Councillor BOND declared a potential conflict of interest in the following item due to his employment with the Ministry of Transportation and Infrastructure. He left the meeting at 7:43pm.

9.8 Park Dedication Removal Bylaw 8206, 2016 (Portions of Keith-Lynn and Lynn Canyon Parks) – Alternative Approval Process Results and Adoption
File No. 01.0115.30/002/000

MOVED by Councillor MURI

SECONDED by Councillor BASSAM

THAT “Park Dedication Removal Bylaw 8206, 2016” is ADOPTED.

CARRIED

Absent for Vote: Councillor BOND

Councillor BOND returned to the meeting at 7:44 pm.

9.9 North Shore Municipal Transportation Committee
File No. 16.8620.01/021.000

MOVED by Councillor MURI

SECONDED by Councillor BASSAM

THAT Council endorse the creation of a North Shore Staff transportation committee;

AND THAT the new Committee is directed to report back to Council with a recommended list of joint North Shore transportation priorities.

CARRIED

9.10 North Vancouver Community Arts Council Request for Funding – North Shore Cultural Mapping Project
File No. 05.1930/Grants and Sponsorships/2017

Public Input:

Ms. Nancy Cottingham Powell, 300 Block Lonsdale Avenue:

- Noted that she is the Executive Director of the North Vancouver Community Arts Council;
- Commented on the economic and social impacts of project; and,
- Advised that federal grants could cover 50 to 75 percent of the overall project costs.

MOVED by Mayor WALTON

SECONDED by Councillor MURI

THAT the request for \$5,000 from the North Vancouver Community Arts Council, as detailed in the March 17, 2017 report of the Acting General Manager, Finance & Technology, entitled North Vancouver Community Arts Council Request for Funding – North Shore Cultural Mapping Project, is approved.

CARRIED

Opposed: Councillors BASSAM, HICKS and MACKAY-DUNN

9.4 Bylaws 8197 and 8198: 858, 854 & Lot 5 Orwell Street and 855 Premier Street
File No. 08.3060.20/050.15

MOVED by Councillor BASSAM

SECONDED by Councillor MACKAY-DUNN

THAT “The District of North Vancouver Rezoning Bylaw 1346 (Bylaw 8197)” is given SECOND and THIRD Readings;

AND THAT “Housing Agreement Bylaw 8198, 2016 (858, 854 + Lot 5 Orwell St. and 855 Premier St.)” is given SECOND and THIRD Readings.

CARRIED

Opposed: HANSON and MURI

9.3 Bylaws 8219, 8220 and 8221: OCP Amendment, Rezoning, and Housing Agreement: Townhouse Development at 1946-1998 Glenaire Drive
File No. 08.3060.20/044.16

Public Input:

Mr. Robert Cadez, 1000 Block West Georgia Street:

- Advised he is the applicant for the project;
- Commented on the family-oriented design of the building; and,
- Noted that developers of all the proposed projects in the area are collaborating on utility upgrades and construction management plans.

MOVED by Councillor BASSAM

SECONDED by Councillor HICKS

THAT the “District of North Vancouver Official Community Plan Bylaw 7900, 2011, Amendment Bylaw 8219, 2017 (Amendment 23)” to amend the Official Community Plan (OCP) from “Residential Level 2: Detached Residential” (RES2) to “Residential Level 4: Transition Multifamily” (RES4) is given FIRST reading;

AND THAT the “District of North Vancouver Rezoning Bylaw 1350 (Bylaw 8220)” to rezone the properties at 1946, 1958, 1970, 1984 and 1998 Glenaire Drive from “Single-Family Residential 7200 Zone” (RS3) to “Comprehensive Development Zone 100” (CD100) is given FIRST reading;

AND THAT “Housing Agreement Bylaw 8221, 2017 (1946-1998 Glenaire Drive) is given FIRST reading;

AND THAT pursuant to Section 475 and Section 476 of the Local Government Act, additional consultation is not required beyond that already undertaken with respect to Bylaw 8219;

AND THAT in accordance with Section 477 of the Local Government Act, Council has considered Bylaw 8219 in conjunction with its Financial Plan and applicable Waste Management Plans;

AND THAT Bylaw 8219 and Bylaw 8220 are referred to a Public Hearing.

CARRIED

Opposed: Councillors HANSON and MURI

9.1 Reconsideration of Bylaw 8217: Zoning Bylaw Amendment re: Temporary Use Permits

File No. 08.3060.20/007.17

MOVED by Mayor WALTON

SECONDED by Councillor HANSON

THAT “The District of North Vancouver Rezoning Bylaw 1349 (Bylaw 8217)” is given FIRST Reading;

AND THAT Bylaw 8217 is referred to a Public Hearing.

CARRIED

Opposed: Councillors BASSAM and BOND

9.2 Bylaw 8144: Development Procedures Bylaw

File No. 08.3060.20/007.17

MOVED by Councillor MURI

SECONDED by Councillor HANSON

THAT “Development Procedures Bylaw 8144, 2017” is given FIRST Reading.

CARRIED

10. REPORTS

10.1. Mayor

Nil

10.2. Chief Administrative Officer

Nil

10.3. Councillors

- 10.3.1.** Councillor Hicks reported on the replacement of the Lions Gate sewage treatment plant to be completed in 2020.

10.4. Metro Vancouver Committee Appointees

10.4.1. Aboriginal Relations Committee – Councillor Hanson

Nil

10.4.2. Housing Committee – Councillor MacKay-Dunn

Nil

10.4.3. Regional Parks Committee – Councillor Muri

Nil

10.4.4. Utilities Committee – Councillor Hicks

Nil

10.4.5. Zero Waste Committee – Councillor Bassam

Nil

10.4.6. Mayors Council – TransLink – Mayor Walton

Nil

11. ANY OTHER BUSINESS

Nil

12. ADJOURNMENT

MOVED by Councillor MACKAY-DUNN

SECONDED by Councillor BOND

THAT the March 27, 2017 Regular Meeting of Council for the District of North Vancouver is adjourned.

CARRIED
(9:03 pm)

Mayor


Municipal Clerk


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REPORTS

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AGENDA INFORMATION	
<input checked="" type="checkbox"/> Regular Meeting	Date: April 3, 2017
<input type="checkbox"/> Workshop (open to public)	Date: _____


 Dept.
Manager


 GM/
Director


 CAO

The District of North Vancouver

REPORT TO COUNCIL

March 3, 2017
File: 02.0930/504

AUTHOR: Janine Ryder – Acting Manager, Real Estate & Properties

SUBJECT: **Proposed Highway Closing and Dedication Removal Bylaw 8223 - 229 Seymour River Place Highway Closure**

RECOMMENDATION:

THAT "229 Seymour River Place Highway Closure Bylaw 8223 2017" is given FIRST READING.

THAT Staff is authorized to publish notification of the road closure for two consecutive weeks as per the provisions in the Community Charter.

REASON FOR REPORT:

To obtain the First Reading of the "229 Seymour River Place Highway Closure Bylaw 8223 2017" to authorize the closure and the raising of title to 240 square feet (22.3 square metres) of road allowance adjacent to 229 Seymour River Place (the "Road Parcel") (**see Attachment 1**), which will authorize the subsequent transfer of the Road Parcel to Fannie International Investments Ltd. ("Fannie") for the purpose of consolidation with the adjacent properties for a mixed use development.

SUMMARY:

The District has entered into an Agreement of Purchase and Sale with Fannie for the disposition of the Road Parcel for the appraised value of \$72,000.00. The Agreement of Purchase and Sale is conditional on the adoption of a bylaw to close to traffic and remove the dedication of this lane allowance as set out in proposed Bylaw 8223 (**see Attachment 2**) and to obtain rezoning and OCP amendment bylaws.

EXISTING POLICY:

Sections 26 and 40 of the *Community Charter*, governs road closures and dispositions of municipal land. A road closure survey plan has been submitted by the applicant (**see Attachment 3**).

ANALYSIS:

Timing/Approval Process:

In accordance with Section 40 and Section 94 of the *Community Charter* council must provide a two week public notification period regarding its intention to close a portion of road allowance for the purpose of disposition. Council must then provide an opportunity for persons who consider they are affected by the proposed bylaw to make representations at a subsequent Council meeting.

Concurrence:

The proposed road closure has been reviewed and approved by the Planning, Finance and Transportation departments.

As the subject property is within 800 metres of an arterial highway, Ministry of Transportation and Infrastructure approval is required. A preliminary discussion with the Ministry of Highway has not highlighted any issues with the development.

Financial Impacts:

The District will receive the purchase price of \$72,000.00 from Fonnies upon closure and subsequent transfer of the title to the land. The proceeds of the disposition of this Road Parcel will be placed into the Land Opportunity Fund as per the Land Opportunity Reserve Fund Policy 5-1840-8.

Public Input:

As per the provisions in the *Community Charter*, the public will have an opportunity for persons who consider they are affected by the road closure to make representations to Council.

Conclusion:

Staff recommends that Council give proposed Bylaw 8223 first reading and direct staff to publish notice of the road closure and disposition in accordance with the *Community Charter*.

Options:

1. Council to give proposed Bylaw 8223 first reading and direct staff to publish notice of road closure in accordance of the *Community Charter*.
2. Council does not give proposed Bylaw 8223 first reading.

Respectfully submitted,



Janine Ryder
Acting Manager, Real Estate & Properties

**SUBJECT: Proposed Highway Closing and Dedication Removal Bylaw 8223 -
229 Seymour River Place Highway Closure**

Page 3

REVIEWED WITH:		
<input type="checkbox"/> Sustainable Community Dev. _____	<input type="checkbox"/> Clerk's Office _____	External Agencies:
<input type="checkbox"/> Development Services _____	<input type="checkbox"/> Communications _____	<input type="checkbox"/> Library Board _____
<input type="checkbox"/> Utilities _____	<input checked="" type="checkbox"/> Finance <i>[Signature]</i> _____	<input type="checkbox"/> NS Health _____
<input type="checkbox"/> Engineering Operations _____	<input type="checkbox"/> Fire Services _____	<input type="checkbox"/> RCMP _____
<input type="checkbox"/> Parks & Environment _____	<input type="checkbox"/> ITS _____	<input type="checkbox"/> Recreation Com. _____
<input type="checkbox"/> Facilities _____	<input type="checkbox"/> Solicitor _____	<input type="checkbox"/> Museum & Arch. _____
<input type="checkbox"/> Human resources _____	<input type="checkbox"/> GIS _____	<input type="checkbox"/> Other: _____

ATTACHMENT 1
Subject Road Parcel



ATTACHMENT 2

The Corporation of the District of North Vancouver

Bylaw 8223

A bylaw to close and remove highway dedication

WHEREAS under the *Community Charter* the Council may close to traffic and remove the dedication of a highway; and,

WHEREAS the Council has posted and published notices of its intention to close the highway referred to in this Bylaw and remove its dedication, and has provided an opportunity for persons who consider they are affected to make representations to the Council; and,

WHEREAS the Council does not consider that the closure will affect the transmission or distribution facilities or works of utility operators;

The Council for The Corporation of the District of North Vancouver enacts as follows:

1. Citation

This bylaw may be cited as "229 Seymour River Place Highway Closure Bylaw 8223 2017".

2. Bylaw to close and remove highway dedication

2.1 The portion of highway dedicated by Plan 1587, shown in the attached plan hereto as Schedule "A" is closed to all types of traffic and the dedication as highway is removed.

2.2 The Mayor and Clerk are authorized to execute and delivered such transfers, deeds of land, plans and other documents as are required to effect the aforesaid closure and removal of highway dedication.

READ a first time

NOTICE given under Section 94 of the *Community Charter* on

OPPORTUNITY for representations to Council provided in accordance with Section 40 of the *Community Charter* on

READ a second time

READ a third time

Certified a true copy of "Bylaw 8223" as at Third Reading

Municipal Clerk

APPROVED by the Ministry of Transportation and Infrastructure on

ADOPTED

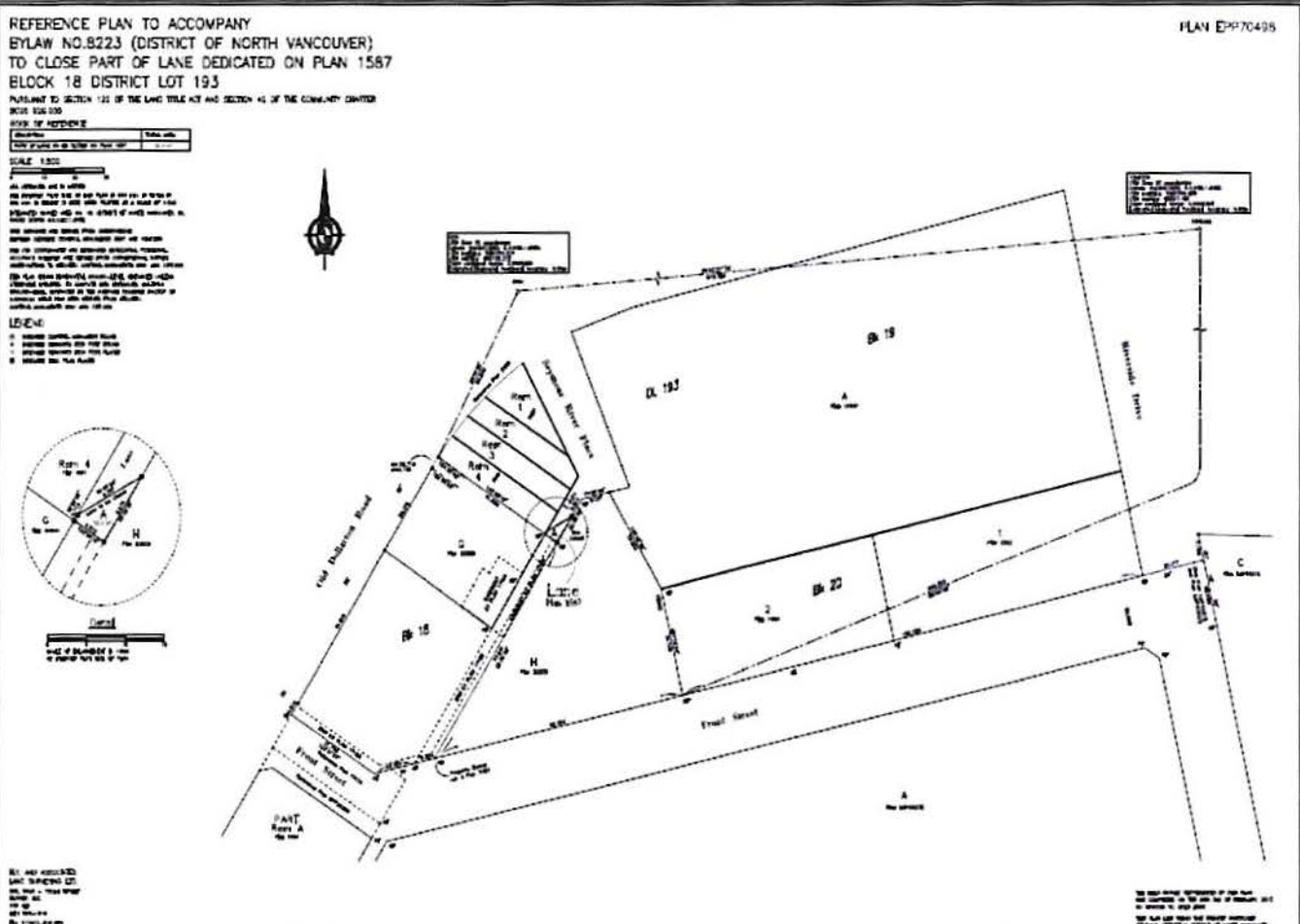
Mayor

Municipal Clerk

Certified a true copy


Municipal Clerk

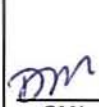
Road Closure Plan



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AGENDA INFORMATION	
<input checked="" type="checkbox"/> Regular Meeting	Date: April 3, 2017
<input type="checkbox"/> Workshop (open to public)	Date: _____


 Dept.
Manager


 GM/
Director


 CAO

The District of North Vancouver REPORT TO COUNCIL

March 20, 2017
File: 02.0930/504

AUTHOR: Janine Ryder – Acting Manager, Real Estate & Properties

SUBJECT: **Proposed Highway Closing and Dedication Removal Bylaw 8229 - Belle Isle Place Highway Closure**

RECOMMENDATION:

THAT "Belle Isle Place Highway Closure Bylaw 8229 2017" is given FIRST READING; and

THAT Staff is authorized to publish notification of the road closure for two consecutive weeks as per the provisions in the Community Charter.

REASON FOR REPORT:

To obtain the First Reading of the "Belle Isle Place Highway Closure Bylaw 8229 2017" to authorize the closure and the raising of title to 12,963 square feet (1204.3 square metres) of municipal road (the "Road Parcel") which will authorize the subsequent transfer of the Road Parcel to Citimark Belle Isle Project Ltd ("Citimark") for the purpose of consolidation with the adjacent properties for a residential development.

SUMMARY:

The District has entered into a Land Exchange Agreement with Citimark for the disposition of the Road Parcel and another portion of District land (**see Attachment 1**) in exchange for 6.411 square feet of 1886 Belle Isle Place and \$2,255,750 in cash. The Agreement is conditional on the adoption of a bylaw to close to traffic and remove the dedication of this lane allowance as set out in proposed Bylaw 8229 (**see Attachment 2**) and to obtain a rezoning bylaw.

EXISTING POLICY:

Sections 26 and 40 of the *Community Charter*, governs road closures and dispositions of municipal land. A road closure survey plan has been submitted by the applicant (**see Attachment 3**).

ANALYSIS:

Timing/Approval Process:

In accordance with Section 40 and Section 94 of the *Community Charter* council must provide a two week public notification period regarding its intention to close a portion of road allowance for the purpose of disposition. Council must then provide an opportunity for persons who consider they are affected by the proposed bylaw to make representations at a subsequent Council meeting.

Concurrence:

The proposed road closure has been reviewed and approved by the Planning, Finance and Transportation departments.

As the subject property is within 800 metres of an arterial highway, Ministry of Transportation and Infrastructure approval is required.

Financial Impacts:

The District will receive the net proceeds of \$2,255,750.00 from Citimark upon closure and subsequent transfer of the title to the land. The proceeds of the disposition of this Road Parcel will be placed into the Land Opportunity Fund as per the Land Opportunity Reserve Fund Policy 5-1840-8.

Public Input:

As per the provisions in the *Community Charter*, the public will have an opportunity for persons who consider they are affected by the road closure to make representations to Council.

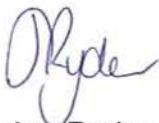
Conclusion:

Staff recommends that Council give proposed Bylaw 8229 first reading and direct staff to publish notice of the road closure and disposition in accordance with the *Community Charter*.

Options:

1. Council to give proposed Bylaw 8229 first reading and direct staff to publish notice of road closure in accordance of the *Community Charter*.
2. Council does not give proposed Bylaw 8229 first reading.

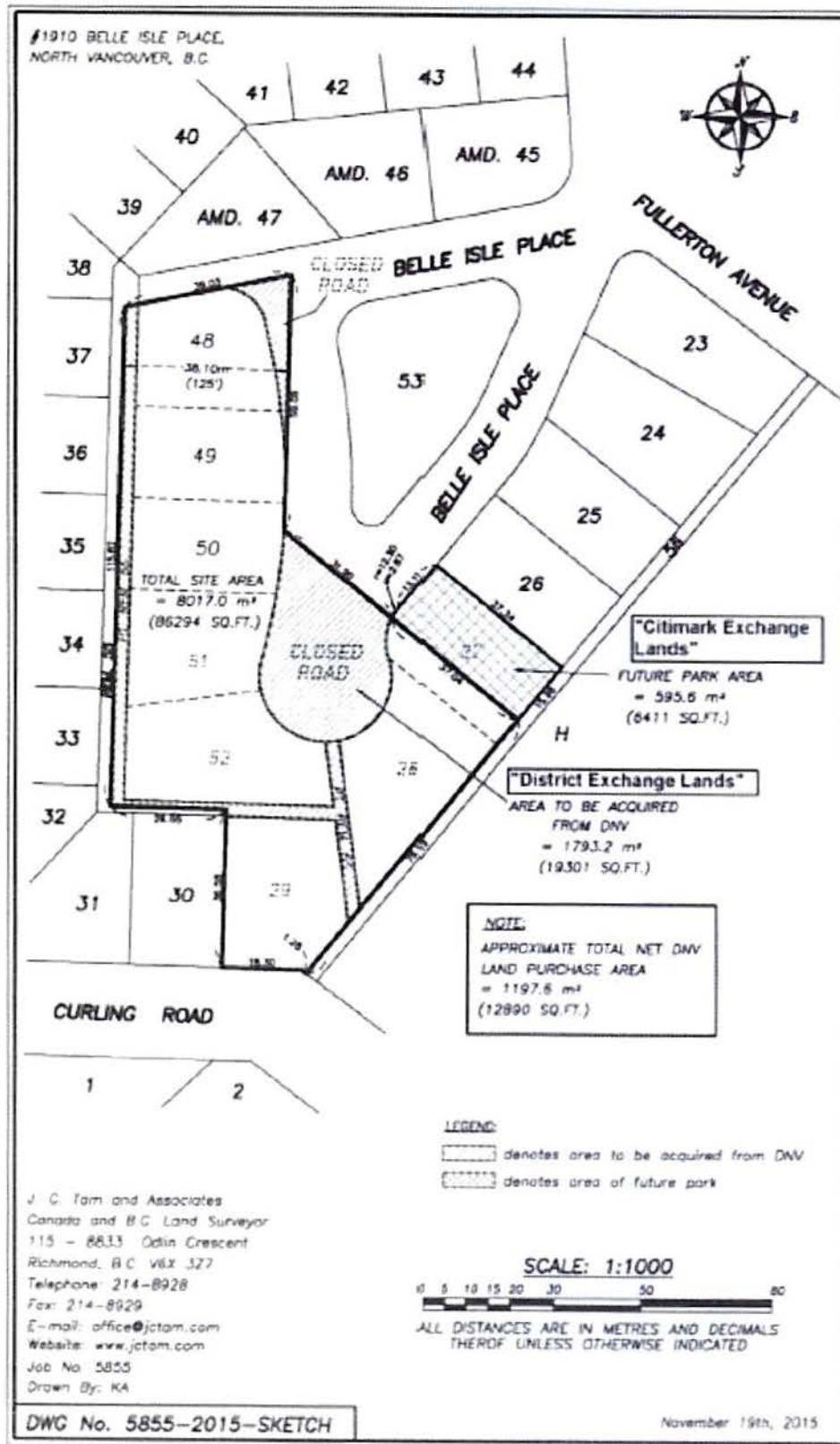
Respectfully submitted,



Janine Ryder
Acting Manager, Real Estate & Properties

REVIEWED WITH:		
<input type="checkbox"/> Sustainable Community Dev. _____	<input type="checkbox"/> Clerk's Office _____	External Agencies:
<input type="checkbox"/> Development Services _____	<input type="checkbox"/> Communications _____	<input type="checkbox"/> Library Board _____
<input type="checkbox"/> Utilities _____	<input checked="" type="checkbox"/> Finance <i>fw</i> _____	<input type="checkbox"/> NS Health _____
<input type="checkbox"/> Engineering Operations _____	<input type="checkbox"/> Fire Services _____	<input type="checkbox"/> RCMP _____
<input type="checkbox"/> Parks & Environment _____	<input type="checkbox"/> ITS _____	<input type="checkbox"/> Recreation Com. _____
<input type="checkbox"/> Facilities _____	<input type="checkbox"/> Solicitor _____	<input type="checkbox"/> Museum & Arch. _____
<input type="checkbox"/> Human resources _____	<input type="checkbox"/> GIS _____	<input type="checkbox"/> Other: _____

ATTACHMENT 1 Land Exchange Area



ATTACHMENT 2

The Corporation of the District of North Vancouver

Bylaw 8229

A bylaw to close and remove highway dedication.

WHEREAS under the *Community Charter* the Council may close to traffic and remove the dedication of a highway; and,

WHEREAS the Council has posted and published notices of its intention to close the highway referred to in this Bylaw and remove its dedication, and has provided an opportunity for persons who consider they are affected to make representations to the Council; and,

WHEREAS the Council does not consider that the closure will affect the transmission or distribution facilities or works of utility operators;

The Council for The Corporation of the District of North Vancouver enacts as follows:

1. Citation

This bylaw may be cited as "Belle Isle Place Highway Closure Bylaw 8229, 2017".

2. Bylaw to close and remove highway dedication

2.1 The portion of highway dedicated by Plan 8967, shown in the attached plan hereto as Schedule "A" is closed to all types of traffic and the dedication as highway is removed.

2.2 The Mayor and Clerk are authorized to execute and delivered such transfers, deeds of land, plans and other documents as are required to effect the aforesaid closure and removal of highway dedication.

READ a first time

NOTICE given under Section 94 of the *Community Charter* on

OPPORTUNITY for representations to Council provided in accordance with Section 40 of the *Community Charter* on

READ a second time

READ a third time

Certified a true copy of "Bylaw 8229" as at Third Reading

Municipal Clerk

APPROVED by the Ministry of Transportation and Infrastructure on

ADOPTED

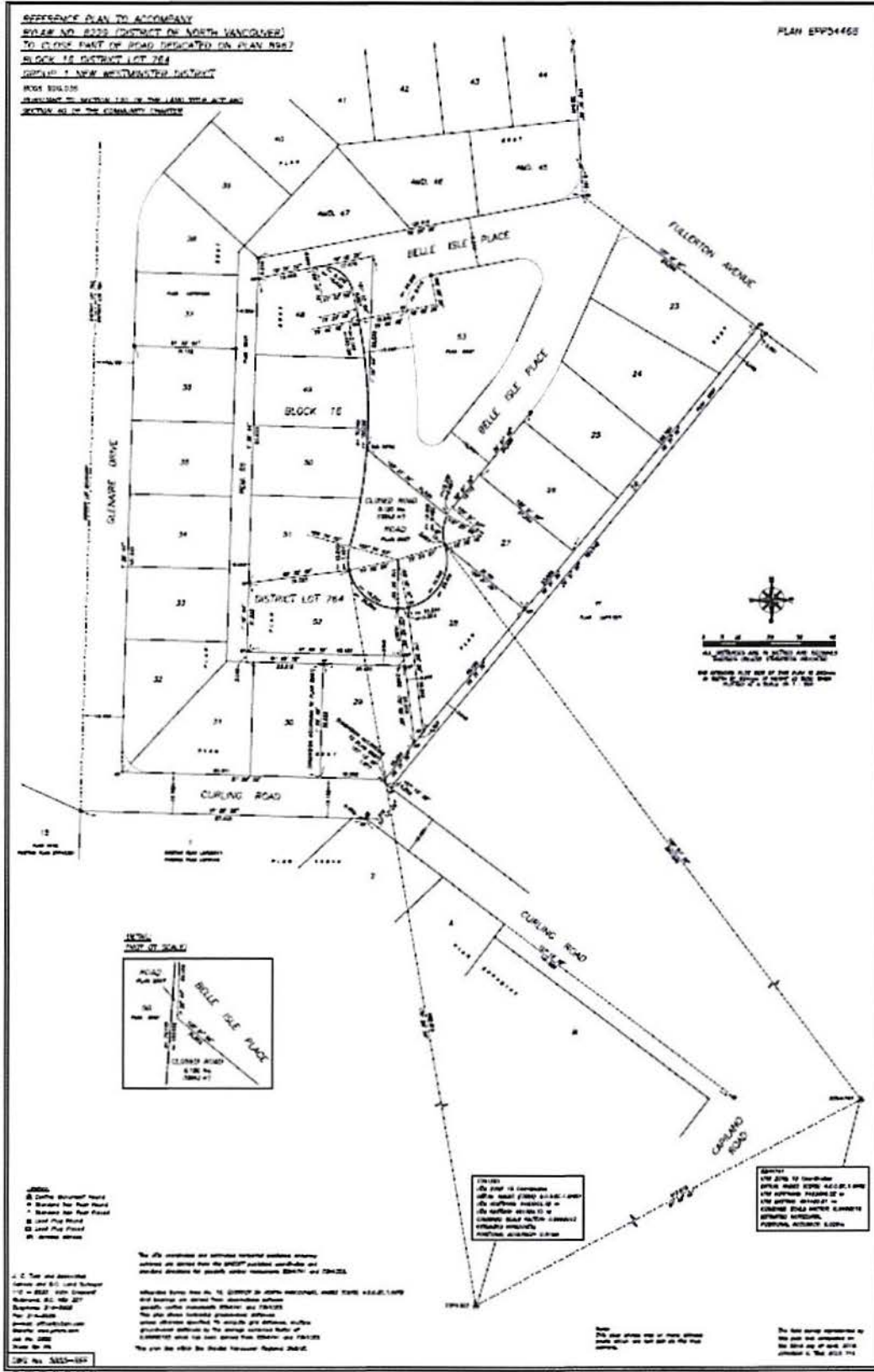
Mayor

Municipal Clerk

Certified a true copy


Municipal Clerk

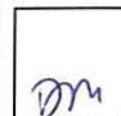
ATTACHMENT 3
Road Closure Survey




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AGENDA INFORMATION	
<input checked="" type="checkbox"/> Regular Meeting	Date: <u>April 3, 2017</u>
<input type="checkbox"/> Other:	Date: _____


Dept.
Manager


GM/
Director


CAO

The District of North Vancouver

REPORT TO COUNCIL

March 9, 2017
File: 13.6800.01

AUTHOR: Tom Lancaster, Manager, Community Planning

SUBJECT: Request for Letters of Support for Bill C-323 – Amendment to the *Income Tax Act* to Provide Tax Credits for Expenses Related to Rehabilitation of Historic Properties

RECOMMENDATION:

THAT staff be directed to prepare letters to the Federal and Provincial governments on behalf of Mayor and Council expressing support for the introduction and implementation of Bill C-323.

REASON FOR REPORT:

The District of North Vancouver Community Heritage Committee has requested that Mayor and Council consider forwarding letters in support of Bill C-323 to the Member of Parliament, Peter van Loan, to the Federal government and to the Provincial Government.

BACKGROUND:

On December 6, 2016, Peter van Loan, Conservative critic for Canadian Heritage and National Historic Sites, introduced a Private member's **Bill C-323, *An Act to Amend the Income Tax Act (Rehabilitation of Historic Property)***, to establish a tax credit for expenses related to the rehabilitation of a historic (designated) property. The proposed legislation also establishes a tax deduction for the capital cost of the property.

A similar long-standing system in the U.S. has been critical to the preservation, rehabilitation and adaptive re-use of historic buildings and heritage advocates in Canada have long been requesting that such a system be instituted in Canada.

A Fact Sheet (**Attachment 1**) provides further information for Council outlining the proposed tax credits and expected benefits.

SUBJECT: Request for Letters of Support for Bill C-323 – Amendment to the *Income Tax Act* to Provide Tax Credits for Expenses Related to Rehabilitation of Historic Properties

March 9, 2017

Page 2

OPTIONS:

The following options are available for Council's consideration:

1. **THAT** staff be requested to prepare letters on behalf of Mayor and Council providing support for the introduction of Bill C-323 to the Federal and Provincial Government to encourage implementation of any necessary legislative or administrative changes at the municipal level (staff recommendation); or
2. **THAT** Mayor and Council not proceed with letters of support for the introduction and implementation Bill C-323.



Tom Lancaster
Manager of Community Planning

Attachment 1: Bill C-323 Fact Sheet

REVIEWED WITH:		
<input type="checkbox"/> Sustainable Community Dev. _____	<input type="checkbox"/> Clerk's Office _____	External Agencies:
<input type="checkbox"/> Development Services _____	<input type="checkbox"/> Communications _____	<input type="checkbox"/> Library Board _____
<input type="checkbox"/> Utilities _____	<input type="checkbox"/> Finance _____	<input type="checkbox"/> NS Health _____
<input type="checkbox"/> Engineering Operations _____	<input type="checkbox"/> Fire Services _____	<input type="checkbox"/> RCMP _____
<input type="checkbox"/> Parks _____	<input type="checkbox"/> ITS _____	<input type="checkbox"/> NVRC _____
<input type="checkbox"/> Environment _____	<input type="checkbox"/> Solicitor _____	<input type="checkbox"/> Museum & Arch. _____
<input type="checkbox"/> Facilities _____	<input type="checkbox"/> GIS _____	<input type="checkbox"/> Other: _____
<input type="checkbox"/> Human Resources _____	<input type="checkbox"/> Real Estate _____	

Bill C-323 Fact Sheet

What is Bill C-323?

- On December 6, 2016, Peter van Loan, Conservative critic for Canadian Heritage and National Historic Sites, introduced a Private member's **Bill C-323, *An Act to Amend the Income Tax Act (Rehabilitation of Historic Property)***, proposing a tax credit to encourage both commercial and residential owners of designated heritage buildings to maintain/rehabilitate such buildings rather than demolish them.
- It is recognized that maintaining or restoring historic buildings is costly so the tax credit is intended to provide support to the owners for their investment in the cultural heritage of Canada
- Bill C-323 includes the creation of:
 - A 20% tax credit on eligible costs for rehabilitation work done to designated historic places (commercial & owner-occupied residential);
 - An accelerated Capital Cost Allowance (25%/50%/25%) for eligible capitalized costs incurred under the same conditions of the tax credit (commercial only).

These two tax measures would transform the economic fundamentals for renewing historic places, and would encourage building conservation of every size and type, from landmark commercial buildings to modest homes.

What are the Expected Benefits?

- A similar program in the US (the long-running US Federal Historic Tax Credit Program) has been critical to the preservation, rehabilitation and adaptive re-use of historic buildings. This program has seen \$23.1 billion in federal credits generate more than \$28.1 billion in additional federal tax revenue and leverage over \$120.8 billion in private investment – a 5 to 1 ratio of private investment to tax credits. Funded projects have in turn created 2.4 million jobs, preserved 41,254 historic properties, and created over 525,000 housing units, including 27% for low/moderate income families.
- The measures included in Bill C-323 have the potential to have the same positive outcomes in Canada. Indeed, there is solid evidence it would. In a Canada-wide pilot program, led by the federal government between 2001 and 2007 to test the benefit of a heritage tax incentive, the **Commercial Heritage Properties Incentive Fund** offered financial incentives to attract developers to derelict heritage buildings. The results were impressive: a total of \$21.5 million in federal contributions spread across 49 projects leveraged over 8 times more in private sector investment (\$177.2 million).

- In addition, building renewal and reuse capitalizes on materials and energy already invested, reduces construction and demolition waste, and avoids the environmental impact associated with new development. A recent study shows that it takes from 10 to 80 years for a new “green” building to make up for the negative climate change impacts of its construction.

What are the Benefits to District of North Vancouver and its Residents?

In the current real estate market where the land value is so much higher than the building value, these proposed tax credits would provide an incentive to residential and commercial owners of heritage properties to maintain and restore their buildings as opposed to demolishing them.

- Since the proposed tax applies to designated buildings only, this will provide an added incentive to owners of homes on the heritage register to potentially designate their homes heritage, either with or without additional development of the property. Either way, the more homes which are designated, means the more homes which will be retained into the future, for all citizens to admire.
- The District has **nine** designated buildings legally protected by Bylaw.
- Overall the trickle down effects of this policy will also help the DNV to fulfill objectives of the Official Community Plan: “Take action on climate change by reducing greenhouse gas emissions” and recognition of existing historic neighbourhoods with “a legacy that links our past, present, and future”.

Reference Links

Full Text of Bill C-323

<http://www.parl.gc.ca/HousePublications/Publication.aspx?Language=E&Mode=1&DocId=8657960>

Heritage BC Summary

<http://www.heritagebc.ca/heritage-tax-credit-bill-c323>

National Trust Sample Letter

http://www.nationaltrustcanada.ca/bill323_sample_letter?utm_source=News+Alerts&utm_campaign=08407fc966-

[EMAIL CAMPAIGN 2017 01 16&utm_medium=email&utm_term=0 9eec381e21-08407fc966-201827729](http://www.nationaltrustcanada.ca/bill323_sample_letter?utm_source=News+Alerts&utm_campaign=08407fc966-201827729)

AGENDA INFORMATION	
<input checked="" type="checkbox"/> Regular Meeting <input type="checkbox"/> Other:	Date: <u>April 3, 2017</u> Date: _____

9.4

 Dept. Manager	 GM/ Director	 CAO
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The District of North Vancouver REPORT TO COUNCIL

March 22, 2017
File: 08.3060.20/016.16

AUTHOR: Casey Peters, Development Planner

SUBJECT: Tenant Compensation and Relocation Packages: "Mountain Court" (1241-1289 E. 27th St.) and "Branches" (2601-2697 Whiteley Ct.)

RECOMMENDATION:
THAT Council receive this report for information.

REASON FOR REPORT:

At the regular Council meeting of November 9, 2015 Council passed a motion requesting that staff report back on the tenant compensation and relocation assistance packages for the "Mountain Court" and "Branches" projects in Lynn Valley. The motion of November 9, 2015 is included below:

THAT staff report back on the details of the Tenant Compensation and Relocation Program as outlined in the October 29, 2015 report of the Community Planner entitled Development Permit 48.14 – 1241-1289 East 27th St – Mountain Court Phase 1;

AND THAT staff identify existing money for the Tenant Compensation and Relocation Program for the Branches development.

SUMMARY:

During the redevelopment process for "Branches" and "Mountain Court", the developer provided compensation and relocation assistance packages to existing tenants.

In brief, the tenants at Whiteley Court, redeveloped to Branches, received compensation as follows:

Total Number of Rental Units at Time of Rezoning	Number of Occupied Units at Eligibility Date	Number of Tenants Receiving an Addition Month Free Rent	Number of Tenants Also Receiving Residency Cash Bonus	Total Residency Cash Bonus
47	45	45	31	\$146,192

SUBJECT: Tenant Compensation and Relocation Packages: Mountain Court and Branches

March 22, 2017

Page 2

The Mountain Court tenant assistance and relocation program is still in progress but a summary of the compensation is provided below.

Total Number of Rental Units at Time of Rezoning	Number of Occupied Units at Eligibility Date*	Number of Tenants Receiving an Addition Month Free Rent	Number of Tenants Also Receiving Residency Cash Bonus	Total Residency Cash Bonus
75	66	66	54	\$284,462

* Eligibility date was July 2014 and Polygon allowed tenants to move any time after the end of May 2016 and still receive their compensation.

In addition to the information in the summary table above, the developer is providing an additional \$26,990 to 12 units which were occupied after the eligibility date for total compensation amount of \$311,452.

ANALYSIS:

Polygon is the developer for both "Branches" and "Mountain Court". The developer worked with tenants at each project and provided a tenant compensation and assistance package for each. Eligibility dates were established and new tenants, who moved in on short term fixed date rentals, were not eligible for tenant compensation.

1. Branches:

The "Branches" project on Whiteley Court, south of E. 27th St, received Bylaw adoption in December 2006. Council at the time elected to allocate \$180,000 of project CACs to housing affordability objectives in the community. \$20,000 of the \$180,000 was directed towards the amount available for the tenant relocation assistance, which increased the residency bonus from \$25 per month to \$36 per month. The remaining \$160,000 was allocated towards the creation of the District's Affordable Housing fund.

The developer provided the following tenant compensation program:

- One month free rent (required by the Residential Tenancy Act);
- One additional month free rent;
- Residency bonus equal to \$36 per month the resident was a tenant; and
- First right to rent units in the new rental building.

45 tenants received an additional free month of rent. In addition, 31 tenants received both the additional free rent and the residency bonus.

The developer has advised that the total value of the tenant compensation assistance package implemented for "Branches" was \$146,192. All monies allocated to tenant compensation during the "Branches" rezoning have been distributed to the tenants.

2. Mountain Court:

The Development Permit for phase one of the "Mountain Court" project was issued on November 9, 2015. The developer provided six months' notice to the existing tenants and the tenants are required to vacate by May 31, 2017.

As stated in the third reading report provided to Council on July 6, 2015, residents who have been tenants prior to July 1, 2014 are eligible for the following:

- One month free rent (required by the Residential Tenancy Act);
- One additional month free rent;
- Residency bonus equal to:
 - \$20 per month for years 1-5;
 - \$30 per month for years 6-10; and
 - \$40 per month for greater than 10 years.
- A relocation liaison available to assist tenants with locating alternate accommodation;
- First right to rent units in the new rental building; and
- A purchase discount for strata units in the new development.

The developer has provided the following update to staff (March 22, 2017) regarding the implementation of the tenant compensation and relocation program at "Mountain Court":

- At the eligibility date there were 66 suites occupied which were eligible for tenant compensation.
- Of the 66 eligible tenants, 54 remained on the property as of May 2016 and either have already received the tenant bonus or will receive it.
- Polygon has voluntarily provided some compensation to 12 of the fixed term tenants who were not eligible for compensation.
- All tenants who rented after Polygon purchased the property were advised that the property would be redeveloped and rented knowing it was only a short-term opportunity.
- As of May 1, 2017, 10 tenants will still be remaining on the property (and vacating by the end of May).
- To date, Polygon has paid approximately \$220,000 in compensation to tenants and an additional \$64,462 is to be paid.
- Polygon and Westwood Ridge relocation liaison staff are continuing to work with tenants to assess their individual relocation needs and assist tenants with the following:
 - sharing comparable market and non-market rental listings in the area (or other areas upon request)
 - ongoing communications with neighbouring building managers
 - providing reference letters
 - assistance scheduling showings
 - regular support phone calls, emails and weekly visits to tenants in the effort to find alternate housing.
- To date, 71% of original tenants who have vacated Mountain Court over the past 1.5 years have relocated to an address on the North Shore. Most residents who have moved off the North Shore have purchased in other municipalities within Metro Vancouver or chosen to relocate outside the North Shore in order to be closer to family and/or work.

SUBJECT: Tenant Compensation and Relocation Packages: Mountain Court and Branches

March 22, 2017

Page 4

- Twenty-five tenants have signed up to be on the “first right to rent” waitlist for available opportunities in the new rental building at phase one of the “Mountain Court” redevelopment, once it is complete.
- One resident has taken advantage of Polygon’s purchase discount, and is now living in their new home at “Canyon Springs” (the strata development to the east).

In summary, out of the 75 rental units 66 were occupied and eligible to receive compensation.

- 54 of 66 eligible tenants will receive the compensation package (totalling \$284,462)
- 12 tenants occupied units after the “eligibility” date and will still receive some compensation (an additional amount totalling \$26,990)
- Total compensation of \$311,452

Conclusion:

Council approved the “Residential Tenant Relocation Assistance Policy” on November 28, 2016. The rezoning applications for the two projects were processed prior to this policy being endorsed by Council however the tenant relocation and compensation provided was generally in line with the policy. Tenant packages for future projects that include existing purpose-built rental units will be negotiated using the current policy.

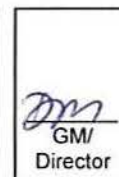
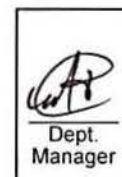
The tenant compensation and relocation packages secured through the rezoning process for “Branches” and “Mountain Court” projects have been implemented as expected.



Casey Peters
Development Planner

REVIEWED WITH:		
<input type="checkbox"/> Sustainable Community Dev. _____	<input type="checkbox"/> Clerk's Office _____	External Agencies:
<input type="checkbox"/> Development Services _____	<input type="checkbox"/> Communications _____	<input type="checkbox"/> Library Board _____
<input type="checkbox"/> Utilities _____	<input type="checkbox"/> Finance _____	<input type="checkbox"/> NS Health _____
<input type="checkbox"/> Engineering Operations _____	<input type="checkbox"/> Fire Services _____	<input type="checkbox"/> RCMP _____
<input type="checkbox"/> Parks _____	<input type="checkbox"/> ITS _____	<input type="checkbox"/> NVRC _____
<input type="checkbox"/> Environment _____	<input type="checkbox"/> Solicitor _____	<input type="checkbox"/> Museum & Arch. _____
<input type="checkbox"/> Facilities _____	<input type="checkbox"/> GIS _____	<input type="checkbox"/> Other: _____
<input type="checkbox"/> Human Resources _____	<input type="checkbox"/> Real Estate _____	

AGENDA INFORMATION	
<input checked="" type="checkbox"/> Regular Meeting	Date: <u>APRIL 3, 2017</u>
<input type="checkbox"/> Workshop (open to public)	Date: _____



The District of North Vancouver REPORT TO COUNCIL

March 17, 2017

File: 08.3060.20/016.16

AUTHOR: Casey Peters, Development Planner

SUBJECT: Development Permit 16.16 – 1241-1289 E. 27th St: Mountain Court Phase 2

RECOMMENDATION:

That Development Permit 16.16 (Attachment A) for two buildings on the west side of the Mountain Court project (phase two) at 1241-1289 E. 27th Street, be issued.

REASON FOR REPORT:

The site is in Development Permit Areas for “Form and Character of Multi-Family Housing” and for “Energy and Water Conservation and Greenhouse Gas Emission Reduction”. The proposed development requires issuance of a Development Permit by Council.

SUMMARY:

Bylaw 8101, rezoning the subject land to a new CD86 Zone, was adopted on November 9, 2015.

A Development Permit was issued by Council on November 9, 2015 for Phase one included two buildings on the east side of the site. Proposed DP 16.16 is for phase two of this project which includes the two buildings on the west side of the site. “Building C” is a 69 unit building on the northwest corner and “Building D” is a 109 unit building on the southwest corner.

The proposal is in compliance with the Official Community Plan, the Schedule B Development Permit Area Guidelines, and the CD86 zone.



BACKGROUND:

Bylaw 8101 (rezoning the property to CD86), Housing Agreement Bylaw 8102 (rental protection) and Housing Agreement Bylaw 8112 (securing the rental building), were both adopted on November 9, 2015. A Development Permit was issued for phase one (east two buildings) at the same time.

Since then, the applicant has worked with a neighbouring property owner to release an existing easement for access that will be replaced by the creation of a new east-west road. Once that easement was released the applicant provided six months' notice to the existing tenants at Mountain Court. The tenants are required to vacate by May 31, 2017 and the applicant will then proceed with demolition and construction of phase one.



In addition to the rezoning and housing agreement bylaws, the legal framework for the project includes a development covenant which sets out the developer's obligations and stipulates required lot consolidation and road dedication. The development covenant requires separate covenants for green building and stormwater management as well as a right of way for east/west pedestrian access through the centre of the site. An accepted Construction Traffic Management plan and Engineering Servicing Agreement are each required as conditions of the development covenant to secure the required offsite works.

EXISTING POLICY:

Development Permit Area Designations

The subject lots are designated as Development Permit Areas for the following purposes:

- Form and Character of Multi-Family Development (Multi-Family Housing); and
- Energy and Water Conservation and Greenhouse Gas Emission Reductions.

The proposal has been reviewed against Schedule B of the Official Community Plan (OCP) and the Lynn Valley Town Centre public realm and design guidelines for the buildings, the public realm, and the green building elements. The proposal is consistent with the applicable development permit guidelines.

ANALYSIS:

Site and Surrounding Area:

The site is located in the Lynn Valley Town Centre on the south side of E. 27th St. Adjacent properties consist of existing multifamily development (zoned RM2 and RM3) to the west and south, the newly-constructed "Canyon Springs" multifamily buildings to the east (zoned CD69) and the Lynn Valley Centre (zoned CD80 for mixed use residential-commercial) to the north.

The properties to the west and south are designated "*Residential Level 6: Medium Density*", the property to the east is designated "*Residential Level 5: Low Density Apartment*", and the property to the north is designated "*Commercial Residential Mixed Use 3*" in the OCP.

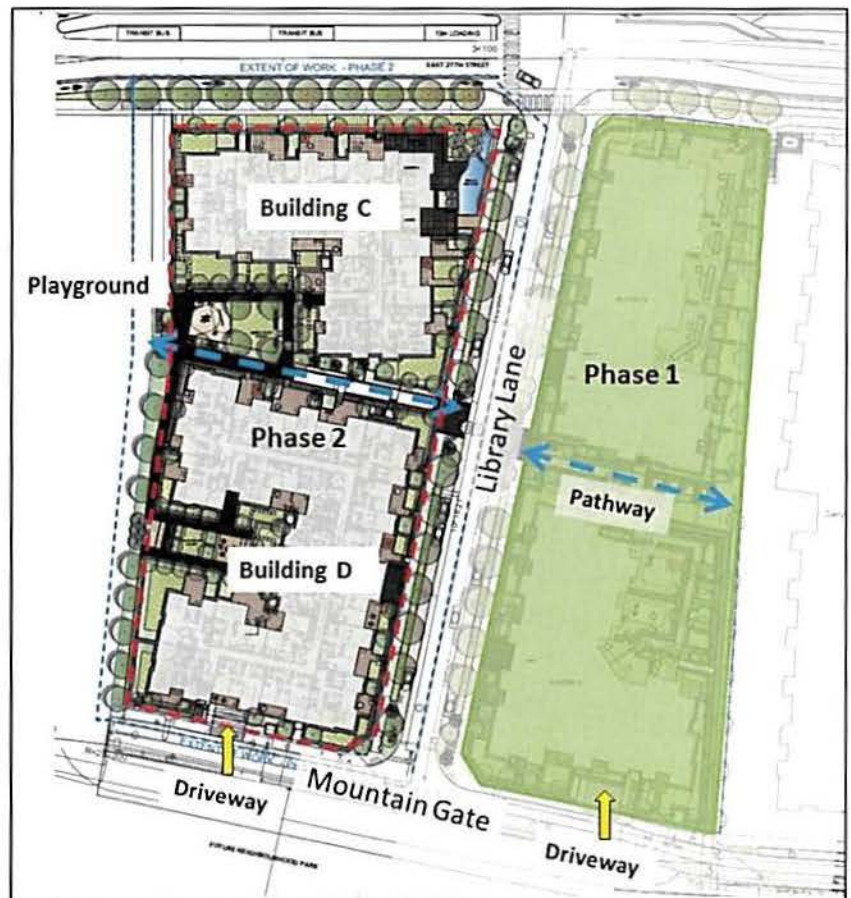
The subject properties are designated "*Residential Level 6: Medium Density Apartment*" in the OCP.

The Proposal:

Phase two of the Mountain Court proposal includes two strata buildings on the west side of the future Library Lane: a 69 unit building ("Building C") and a 109 unit building ("Building D").

Phase one (shown in green) includes two buildings on the east side of the Library Lane including a 75 unit rental building to the north and a 68 unit strata building to the south. A Development Permit was issued for phase one on November 9, 2015.

The project includes the dedication of a new north-south road (Library Lane) through the site and dedication of a new east-west road (Mountain Gate) at the south. An east-west right of way for pedestrian access is proposed through the centre of the site. Driveway access to underground parking will be from Mountain Gate with one entrance for phase one and one entrance for phase two.



The project fully complies with the CD86 Zone regulations including height, parking, setbacks and building coverage.

Parking and Bicycle Storage

Parking for phase two is provided in a two level underground garage with a total of 270 parking stalls, including 18 visitor stalls to be shared between the two buildings. The parking rate is 1.4 stalls per dwelling unit and 0.1 stalls per unit for visitors. This complies with the parking requirements of the CD86 zone (Bylaw 8101).

The proposal includes parking for 180 bicycles with bicycle racks in secure rooms. In addition 128 household storage lockers ranging in size from 2.2m² (24 sq ft) to 3.7m² (40 sq ft) are provided, each of which could accommodate one or more bicycles.

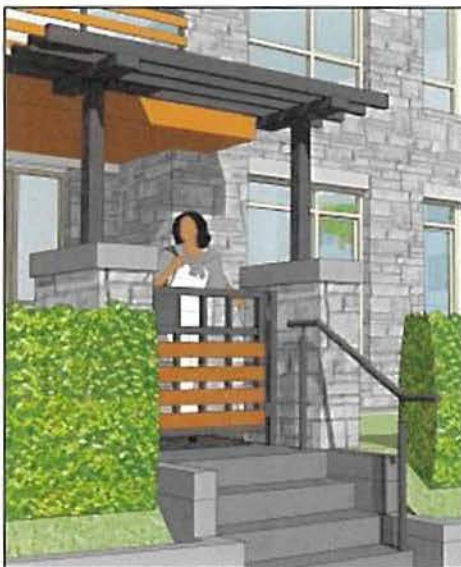
Proposed bicycle parking complies with the CD86 zoning requirements.

Development Permit for the Form and Character of Multifamily Housing:

Building Design:

Both buildings include a mix of studio, 1, 2, and 3 bedroom units. The unit mix is shown below:

	Building C	Building D
Studio	2 (3%)	2 (2%)
1 bedroom	20 (29%)	20 (18%)
2 bedroom	37 (54%)	77 (71%)
3 bedroom	10 (14%)	10 (9%)
Total:	69	109



Both of the buildings include an amenity room on the main floor and units on the ground floor of each building will include direct individual access from the exterior.

The buildings are each approximately 18.3m (60 ft) in height and the grade change across the site has been reflected in the designs by stepping the buildings.

Building C materials consist of cement panels, stone, and shingles. Building D materials consist of brick, spandrel glass, and a wood entry feature. Colour and material information is attached to DP 16.16.

The project has been reviewed against Design Guidelines for Form and Character Guidelines for Multifamily Housing and the project complies with the guidelines.

Notable highlights from the guidelines include:

- **B1.2: Connectivity:** The siting of new development should take into consideration how to enhance the pedestrian, bicycle and vehicle connections in the area.
 - This project will create a new north-south road (Library Lane), new east-west road (Mountain Gate), and a new east-west pedestrian connection.
- **B2.6: Building Setback to the Street:** To ensure there is sufficient room for a pleasant streetscape building facades should be setback a minimum distance of 4 metres (13 feet) from the ultimate curb face.
 - This project is set back 4m (13 ft) from Library Lane and Building A is set back a minimum of 5m (16.4 ft) from E. 27th Street.
- **B3.1: Variation in Building Design:** There should be subtle design variation between neighbouring buildings to avoid repetition while maintaining a harmony to the streetscape.
 - The applicant has worked to enhance the variety of building materials to increase differentiation between the buildings within the project as well as relative to adjacent buildings.
- **B3.6 Stepping down a slope:** On sloping sites, building roof lines should step down the slope in keeping with the topography.
 - The site slopes from E. 27th Street down towards Mountain Gate to the south. The project includes stepping of each of the buildings to respond to the slope.



Landscaping

Landscaping is provided around the perimeter of the site, in the courtyards, within the private patios, and along the pedestrian pathway. The northeast corner of Building C (at E. 27th and Library Lane) has been identified as a site for public art.



Pedestrian pathway

Notable highlights from the Multifamily Housing Design Guidelines include:

- **B3.17: Layered Landscaping:** Layered landscaping treatments and slightly elevated overlook of the public realm are encouraged to improve residential liveability.
 - The buildings include layered landscaping and the use of private patios to address the change in grade on the site.

Notable highlights from the Lynn Valley Public Realm and Design Guidelines include:

- **5.1.6 Landscape Design:** encourage an authentic and sustainable landscape that reflects Lynn Valley's mountain setting and local climate.
 - The proposal includes building and landscape materials that reflect a mountain character.

Acoustic Performance

Development Permit 16.16 includes the District's residential acoustic regulations for maximum noise levels in the bedrooms, living areas and other areas of the units. The applicant will be required to submit a report from a qualified noise consultant demonstrating that the building will enable these standards to be met. The requirements for acoustic performance are also secured in the development covenant for the project.

Accessible / Adaptable Units

As noted at the zoning stage, this application was in-stream when the current Accessible Design Policy for Multi-Family Housing was endorsed and the applicant has chosen to work with the previous Adaptable Design Guidelines. This approach is compliant with the development covenant and Council's previous discussions.

In response to the District's Adaptable Design Guidelines, the applicant has proposed the following:

Building C:

- Level 1B – 28 units (40%)
- Level 2 - 36 units (52%)
- Level 3 – 5 units (7%)

Building D:

- Level 1B – 70 units (64%)
- Level 2 - 34 units (31%)
- Level 3 – 5 units (5%)

The mix of units and level of accessibility proposed exceed the requirements under the Adaptable Design Guidelines.

Development Permit For Energy and Water Conservation and Greenhouse Gas Emission Reductions:

In accordance with the Energy and Water Conservation and Greenhouse Gas Emission Reduction Development Permit Area Guidelines and the Green Building Strategy, the project is designed to reduce energy consumption and incorporate building performance measures that will result in reduced costs for future owners. The applicant is utilizing an acceptable green building rating system and is required to incorporate a range of features to meet a target equivalent to the "Gold" standard, as well as meeting an energy performance baseline.

Notable highlights from the guidelines include:

- Energy Conservation: an integrated design process should be utilized to identify opportunities to reduce a building's energy consumption.
 - The proposal includes installation of Energy Star® products and energy efficient lighting in units and common areas.
- Water Conservation: an integrated design process should be utilized to identify opportunities to reduce a building's water consumption.
 - The proposal includes installation of low flow plumbing fixtures, a hot water recirculation line, and minimizes the amount of lawn/turf in the landscaping.
- Greenhouse Gas Emission Reductions: Building materials are durable for the use intended.
 - The proposal includes appropriate, durable materials such as brick, wood, and stone.

The green building covenant will establish the minimum energy performance baseline and will incorporate measures to ensure the project meets the building performance targets.

OFF-SITE IMPROVEMENTS:

As part of this application, the developer is responsible for off-site improvements including the dedication of a new north-south road (Library Lane) and east-west road (Mountain Gate). Off-site improvements include new sidewalks, curbs, and street lighting on E. 27th St, Library Lane, and Mountain Gate. The construction of Library Lane, the west portion of Mountain Gate and the west portion of the pedestrian right of way will be completed with this phase

(phase two) of the development. The east portions of these infrastructure elements have been secured through phase one of the project.

COMMUNITY AMENITY CONTRIBUTION:

The District's Community Amenity Contribution (CAC) Policy requires an amenity contribution for projects that include an increase in residential density. In this case, a proforma was reviewed that demonstrated that the provision of the rental housing and off-site works resulted in no additional amenity contribution.

This project's major benefit to the community is the provision of 75 rental units that will remain rental in perpetuity in keeping with the intent of the housing policy.

In addition, the developer is providing \$100,000 to go towards public art that has been secured through the development covenant. The developer is proposing a public art plan for the south-west corner of E. 27th Street and Library Lane. The applicant is working with an artist and the District's Public Art Officer to refine the proposed public art.

CONCURRENCE:

Staff

The project has been reviewed by staff from Permits, Parks, Engineering, Policy Planning, Urban Design, Transportation Planning, Fire Services, the Municipal Solicitor's Office, and the Arts Office.

Advisory Design Panel:

The application was considered by the Advisory Design Panel on April 14, 2016 and the Panel recommended approval of the project subject to a review of the following:

- Provision of greater distinctions in colour between buildings and incorporation of a less neutral colour palette;
- Review of the roof elements on "Building C";
- Inclusion of more natural materials for the children's play area.

In response to the Panel's comments, the applicant made changes to the building and landscaping to address the items raised by the Advisory Design Panel. Staff are satisfied with the resolution of these items.

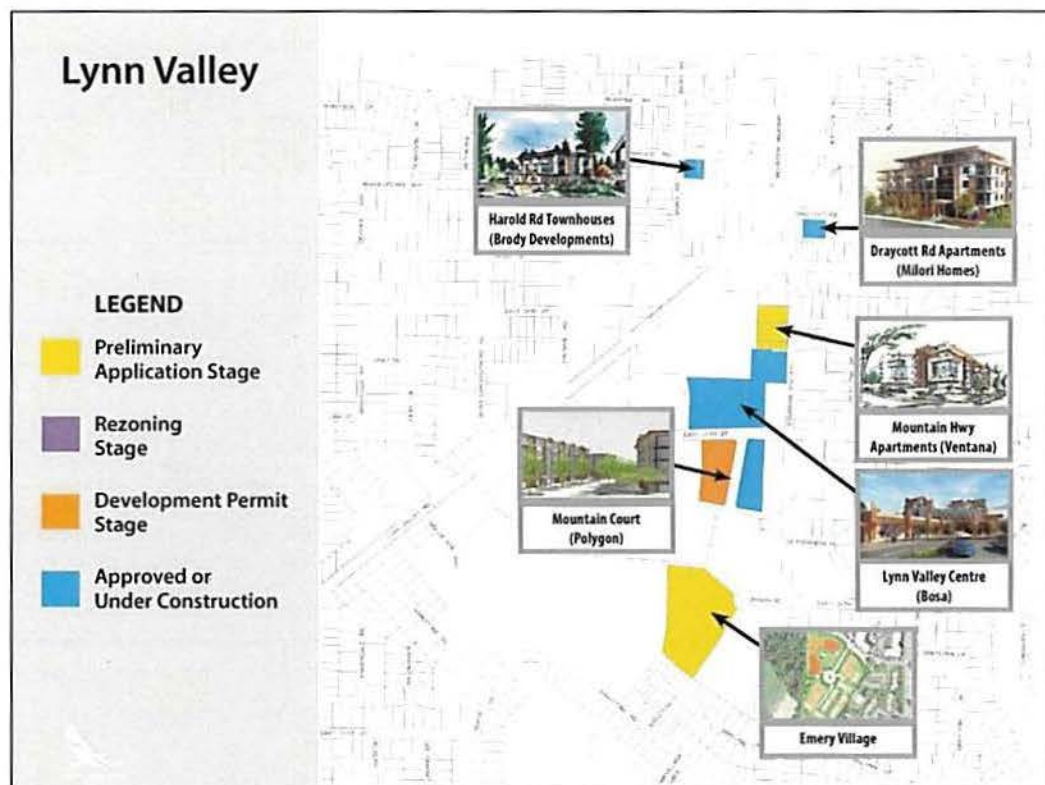
CONSTRUCTION MANAGEMENT:

In order to address the goal to reduce development's impact on pedestrian and vehicular movements, the developer has submitted a construction traffic management plan. A final construction traffic management plan will be required as a condition of Development Permit 16.16. The plan is required to be approved by the District prior to issuance of a building permit.

In particular, the construction traffic management plan must address:

1. Construction schedule
2. Coordination with other projects in the area or those affecting the transportation network
3. Construction site access and egress
4. Estimated traffic generated by the site during construction
5. Proposed truck routing and staging plan
6. Proposed crane assembly and/or concrete pouring sites
7. How traffic of all types (vehicle, transit, cyclists, pedestrians) will be managed around the site
8. A plan for monitoring and minimizing impacts to the community
9. Location of an off-street area for parking worker/trades vehicles
10. A plan for communicating with neighbours and other stakeholders

The site is shown below in relation to other residential construction projects and potential development projects.



Under construction at this time in Lynn Valley is Walter's Place at 1325 Draycott Rd and Bosa's project on the north side of E. 27th St. The demolition of the existing Mountain Court buildings will not begin until June 2017 in order to provide the existing tenants with the required six months' notice as per the Tenant Relocation program.

Construction management plans have been submitted for both phase one and phase two of the project. Both plans include a proposed timeline, truck movements to the site, good

neighbour efforts, and a communication plan. The plans reference coordination with adjacent projects including the Bosa project on the north side of E. 27th St.

PUBLIC INPUT:

Through the zoning process, a facilitated public information meeting was held and was attended by 17 residents. Those residents were generally supportive of the proposal.

At the Public Hearing on June 16, 2015, 27 people spoke, with several commenting on affordable housing, the displacement of the existing tenants, and the low rental vacancy rates in the District. Several speakers noted the age and condition of the existing buildings and noted the need for new rental housing. It was noted that the project is in keeping with the District's OCP and the Lynn Valley Flexible Planning Framework.

Staff reported at second reading with clarification on the proposed Tenant Compensation and Relocation package.

CONCLUSION:

The project has been designed in accordance with the CD86 Zone regulations and the OCP's Development Permit Area Guidelines for Multifamily Housing and Energy and Water Conservation and Greenhouse Gas Emission Reduction. It also responds to the policy directions in the OCP with respect to the provision of family housing and the Design Guidelines for the Lynn Valley Town Centre. Development Permit 16.16 is now ready for Council's consideration.

Options:

The following options are available for Council's consideration:

1. Issue Development Permit 16.16 (Attachment A) to allow for the proposed construction (staff recommendation); or
2. Deny Development Permit 16.16.


Casey Peters
Development Planner

Attachments:

A – Development Permit 16.16

REVIEWED WITH:		
<input type="checkbox"/> Sustainable Community Dev. _____	<input type="checkbox"/> Clerk's Office _____	External Agencies:
<input type="checkbox"/> Development Services _____	<input type="checkbox"/> Communications _____	<input type="checkbox"/> Library Board _____
<input type="checkbox"/> Utilities _____	<input type="checkbox"/> Finance _____	<input type="checkbox"/> NS Health _____
<input type="checkbox"/> Engineering Operations _____	<input type="checkbox"/> Fire Services _____	<input type="checkbox"/> RCMP _____
<input type="checkbox"/> Parks & Environment _____	<input type="checkbox"/> ITS _____	<input type="checkbox"/> Recreation Com. _____
<input type="checkbox"/> Economic Development _____	<input type="checkbox"/> Solicitor _____	<input type="checkbox"/> Museum & Arch. _____
<input type="checkbox"/> Human resources _____	<input type="checkbox"/> GIS _____	<input type="checkbox"/> Other: _____

THE CORPORATION OF THE DISTRICT OF NORTH VANCOUVER

DEVELOPMENT PERMIT NUMBER 16.16

This Development Permit 16.16 is hereby issued by the Council for The Corporation of the District of North Vancouver to the registered owner(s) for the development of two multifamily residential buildings on the property described as Lot 1 District Lot 2022 Group 1 New Westminster District Plan EPP55877 (PID: 030-030-315) subject to the following terms and conditions:

A. The following requirement is imposed under Subsection 490 (1) (c) of the Local Government Act:

1. Substantial construction as determined by the Manager of Permits and Licenses shall commence within two years of the date of this permit or the permit shall lapse.
2. A Construction Management Plan acceptable to the Municipal Engineer is required prior to issuance of the Excavation Permit and Building Permit, and may require amendments during the course of construction to ensure that construction impacts are minimized.

B. The following requirements are imposed under Subsections 491 (7) and (8) of the Local Government Act:

1. The site shall be developed in accordance with the attached plans DP16.16 A - AL
2. Prior to the issuance of a Building Permit, the following shall be submitted to:

(i) Building:

- a. a report and recommendations prepared by persons trained in acoustics and current techniques of noise measurements, demonstrating that any rooftop mechanical equipment will comply with the District of North Vancouver Noise Regulation Bylaw, and the noise levels in those portions of the dwelling listed below shall not exceed the noise levels expressed in decibels set opposite such portions of the dwelling units. For the purpose of this section the noise level is the A-weighted 24-hour equivalent (Leq) sound level and will be defined simply as the noise level in decibels:

Portion of Dwelling Unit	Noise Level (Decibels)
bedrooms	35
living, dining, recreation rooms	40
kitchen, bathrooms, hallways	45

- b. A summary of the adaptable housing measures that will be provided, in keeping with the objectives of the District's adaptable housing guidelines as follows:
 - i. 55% of all dwelling units will meet or exceed level 1B accessibility;
 - ii. 40% of all dwelling units will meet or exceed level 2 accessibility;
 - iii. 5%% of all dwelling units will meet or exceed level 1B accessibility..

(ii) Parks:

- a. Three copies of a final detailed landscape plan prepared by a landscape architect registered in British Columbia for the approval of the Director of Engineering or their designate;
- b. Written on and off-site landscape estimates submitted by the landscape architect for approval by the Parks and Engineering Services Department for the installation of all landscaping as shown on the final approved landscape plan; and
- c. A completed "Permission to Enter" agreement to provide evidence that a landscape architect has been retained to supervise the installation of the landscape works and the written authorization for the District or its agents to enter the premises and expend any or all of the deposit monies to complete the landscape works in accordance with the approved landscape plan.

(iii) Engineering:

- a. Finalized civil and electrical engineering plans designed by a professional engineer, for review and acceptance by the Engineering Department; and
- b. An executed Engineering Services Agreement between the property owner and the District related to the required upgrading of off-site facilities on the fronting portion of E. 27th Street, and the construction of Library Lane and the fronting portion of Mountain Gate.

C. The following requirements are imposed under Subsections 491 (9) and (10) of the Local Government Act:

1. Prior to issuance of the Building Permit the following are required:

- a. A completed green building checklist, outlining the measures to incorporated in the project leading to a performance level equivalent

to or better than the “gold” standard under an acceptable green building rating system;

- b. An energy performance commitment form;
- c. A report from an energy performance advisor clearly establishing that the building design will achieve the energy performance target;
- d. A refundable security deposit of 5% of the building permit application fee or \$20,000, whichever is greater; and
- e. Confirmation of registration of the section 219 covenant for green building.

D. The following requirements are imposed under Subsection 300 of the Local Government Act:

1. Prior to issuance of the Building Permit the following deposits are required:

- (i) A security deposit equal to the greater of 125% of the estimated cost of all on-site landscaping, in accordance with the approved cost estimate or \$100,000. The deposit must be provided prior to issuance of a building permit for the proposed development on the Land and will be held as security for landscaping, building and environmental works.
- (ii) An engineering security deposit, in an amount specified in the Engineering Services Agreement, to cover the construction and installation of all off-site engineering and landscaping requirements.

E. Nothing in this Development Permit alters or affects in any way any of the preconditions to issuance of a building permit as set out in the Development Covenant registered against the Land in favour of the District under number CA4787078

Mayor

Municipal Clerk

Dated this day of , 20.

Project Data Sheet:

Project Data-Phase 2, Timber Court, District of North Vancouver				
Lot Area (Overall Gross)	16,730	sm	333,148	sf
Lot Area (Overall Net)	13,110	sm	141,115	sf
Phase 1 (Net) Lot 2	7,210	sm	77,608	sf
Phase 2 (Net) Lot 1	7,210	sm	77,608	sf
FSR			Proposed	
Building C (Gross)	6,700	sm	72,121	sf
(Net)	5,770	sm	62,104	sf
Building D (Gross)	10,527	sm	113,310	sf
(Net)	9,161	sm	98,609	sf
Average Grade				
Building C	137.27	m	450.4	ft
Building D	135.39	m	444.2	ft
Building Coverage	3,593	sm	38,670	sf
			49.8	%
Site Coverage	3,476	sm	37,411	sf
			48.2	%
Setbacks				
Front	5.0	m	16.40	ft
Rear	6.0	m	19.69	ft
North	5.0	m	16.40	ft
South	4.0	m	13.12	ft
Average Building Height				
Building C	18.30	m	60.04	ft
Building D	18.30	m	60.04	ft
Parking	Units	Ratio		
Building C & D	178	1.5 cars/unit	270	cars
Small Cars		1.9%	5	spaces
Bicycles				
Building C & D		1 bikes/unit	180	Bikes



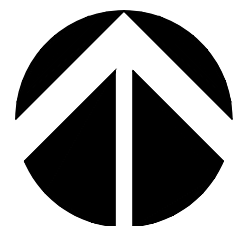
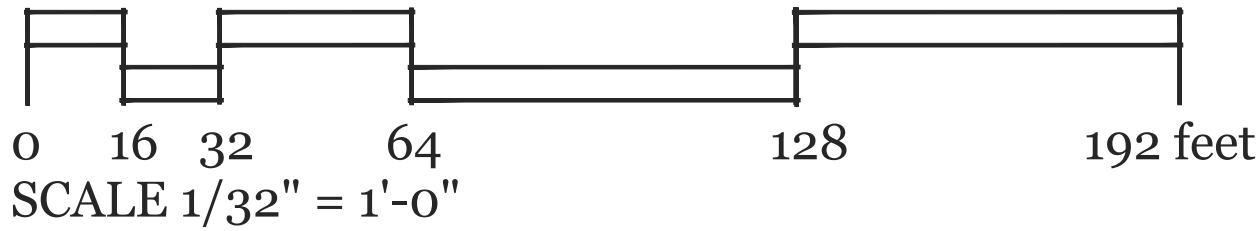
Timber Court
Phase 2
Building C & D
C - 2633 Library Lane
D - 2651 Library Lane
NORTH VANCOUVER, BC

For Polygon

Overall Site P
Data Sheet
1/32" = 1'
February 16, 2017

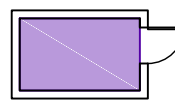
DP16.16A


SK-1.0

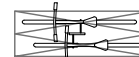



OVERALL SITE PLAN / DATA SHEET


Storage & Bikes Symbol Legend


- 

Mini Garage - 6'-0" X 10'-0"
Conc. Block
- 

Storage Locker - 48" x 72"
Metal mesh
- 

Foot Mounted Bike Rack - 24" x 60"
- 

Wall Mounted Bike Rack - 24" x 42"
- 

Optional Additional Bike Rack
Type 1
- 

Optional Additional Bike Rack
Type 2



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Tel. 604. 669. 3339 Fax 604. 669. 5651

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Revisions

Issued for Development Permit
March 15, 2016
Re-issued for Development Permit
July 15, 2016
Re-issued for Development Permit
February 16, 2017



Timber
Court

Phase 2

Building C & D

C - 2633 Library Lane

D - 2651 Library Lane

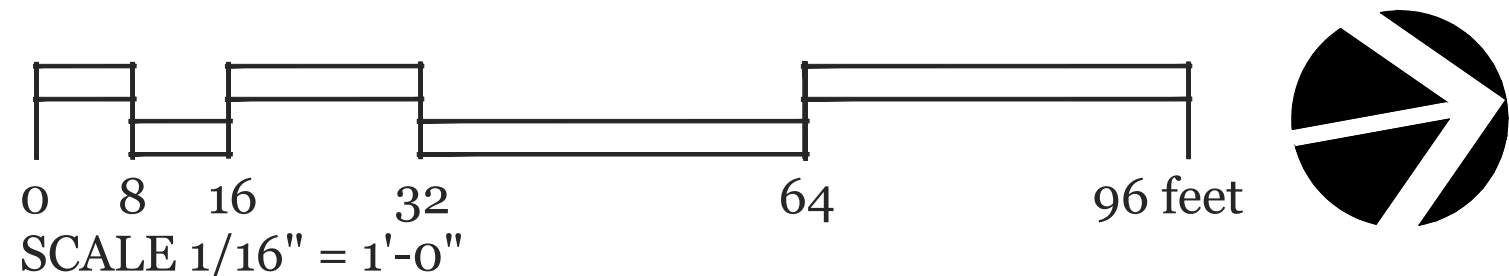
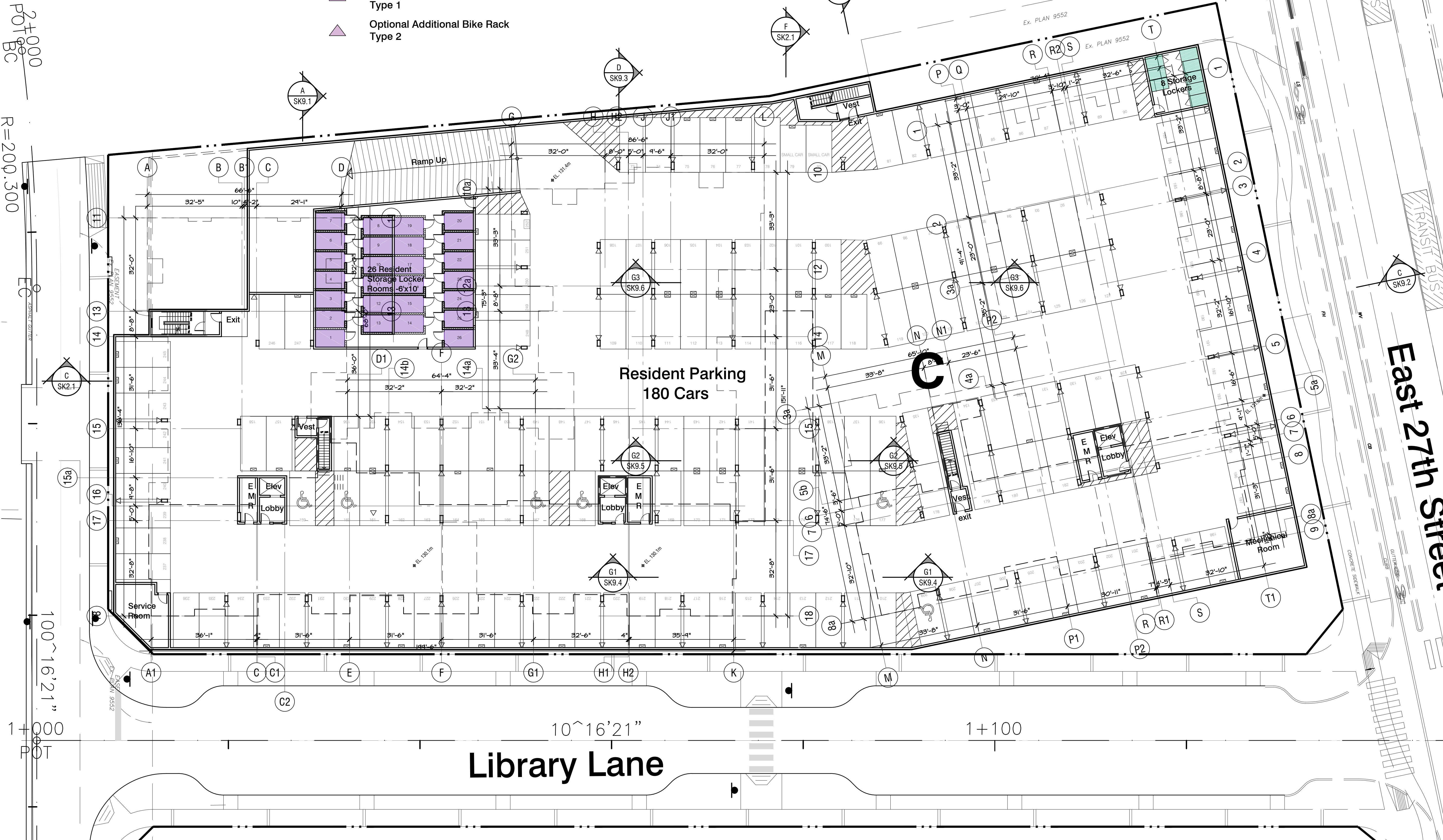
NORTH VANCOUVER BC

For
Polygon

Parking Plan -
1/16"=1'-0"

February 16, 2017

SK-3.0



PARKING PLAN - P2

Storage & Bikes Symbol Legend

- Mini Garage - 6'-0" X 10'-0" Conc. Block
- Storage Locker - 48" x 72" Metal mesh
- Foot Mounted Bike Rack - 24" x 60"
- Wall Mounted Bike Rack - 24" x 42"
- Optional Additional Bike Rack Type 1
- Optional Additional Bike Rack Type 2

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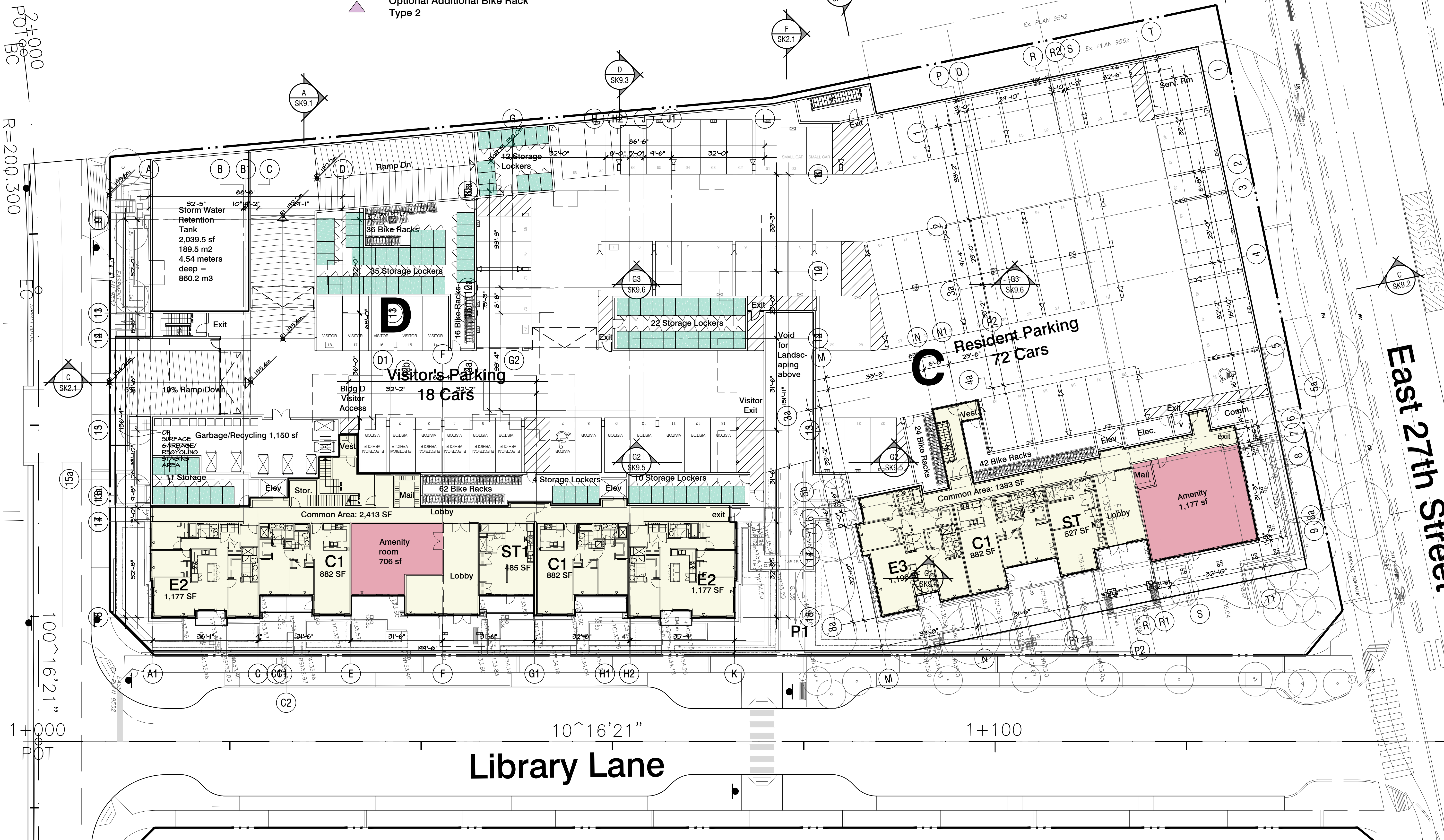
Revisions
Issued for Development Permit March 15, 2016
Re-issued for Development Permit July 15, 2016
Re-issued for Development Permit February 16, 2017

Timber Court
Phase 2
Building C & D
C - 2633 Library Lane
D - 2651 Library Lane
NORTH VANCOUVER, BC

For Polygon

Parking Plan
1/16"=1'-0"
February 16, 2017

SK-3.1

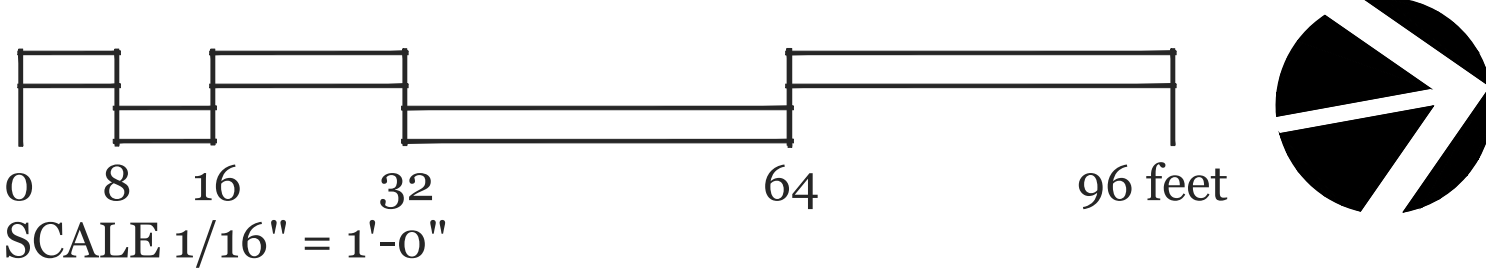


P2+000
POT BC

R=200.300

EC

100~16'21"
POT



Library Lane

PARKING PLAN - P1



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Revisions

Issued for Development Permit
March 15, 2016

Re-issued for Development Permit
July 15, 2016

Re-issued for Development Permit
February 16, 2017



Timber
Court

Phase 2

Building C & D

C - 2633 Library Lane

D - 2651 Library Lane

NORTH VANCOUVER, BC

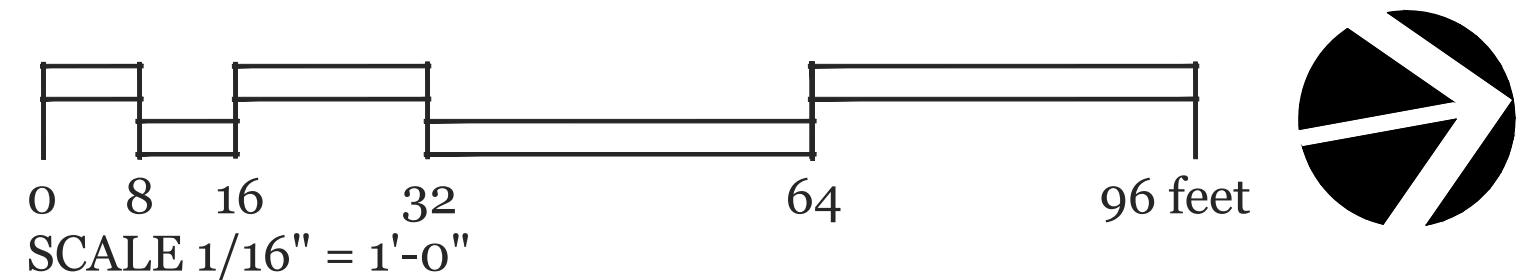
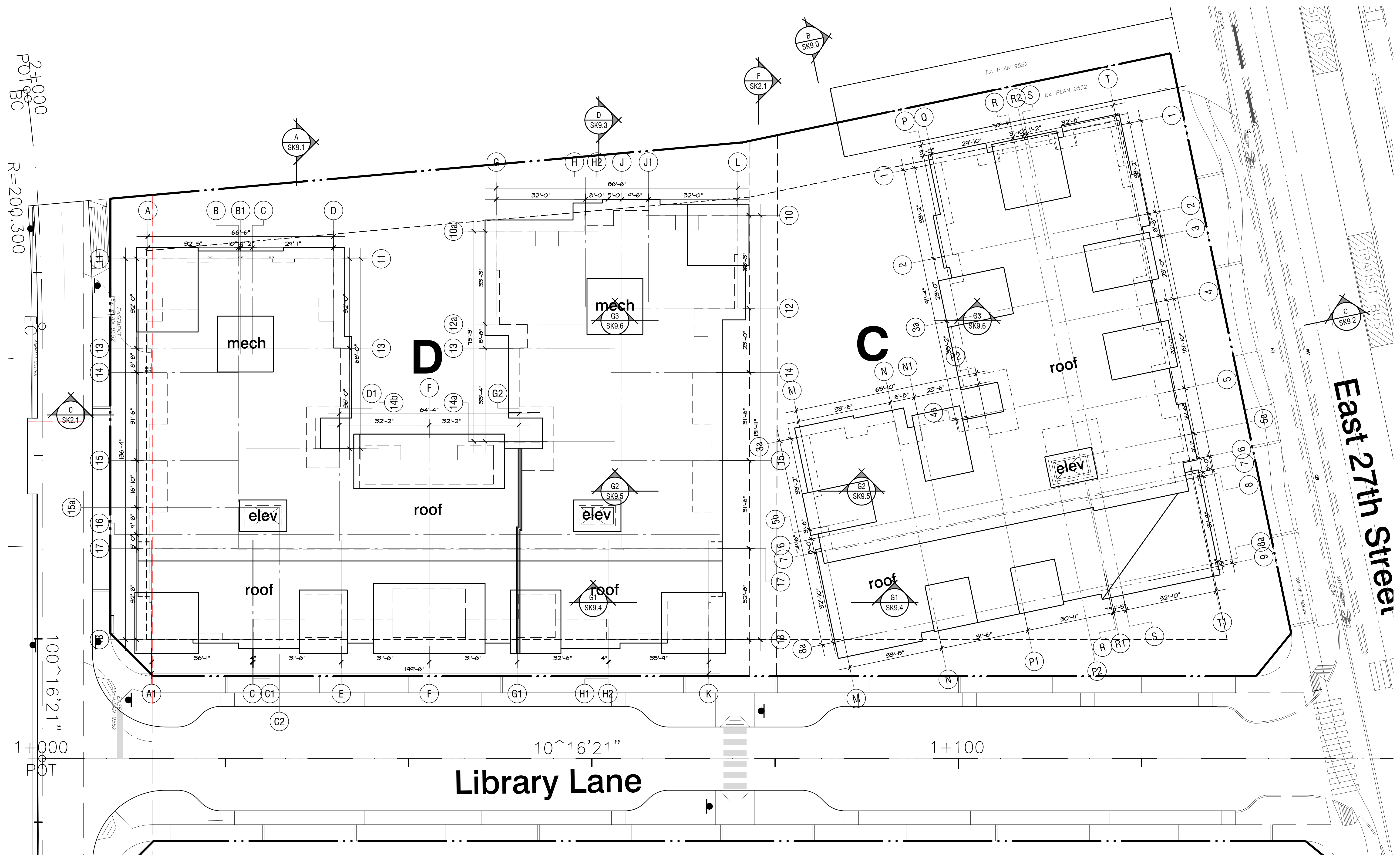
For
Polygon

Roof Plan
1/16"=1'-0"

February 16, 2017

DP16.16D


SK-3.7



ROOF PLAN



STREETSCAPES

Timber Court
Phase 2
Building C & D
C - 2633 Library Lane
D - 2651 Library Lane
NORTH VANCOUVER, BC

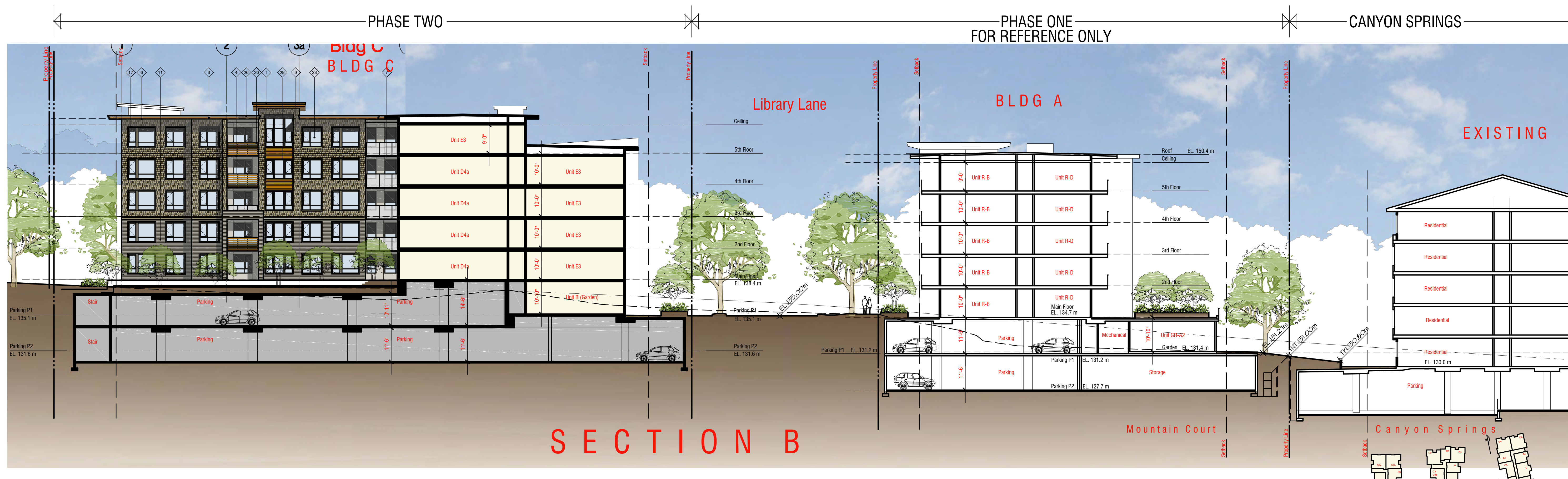
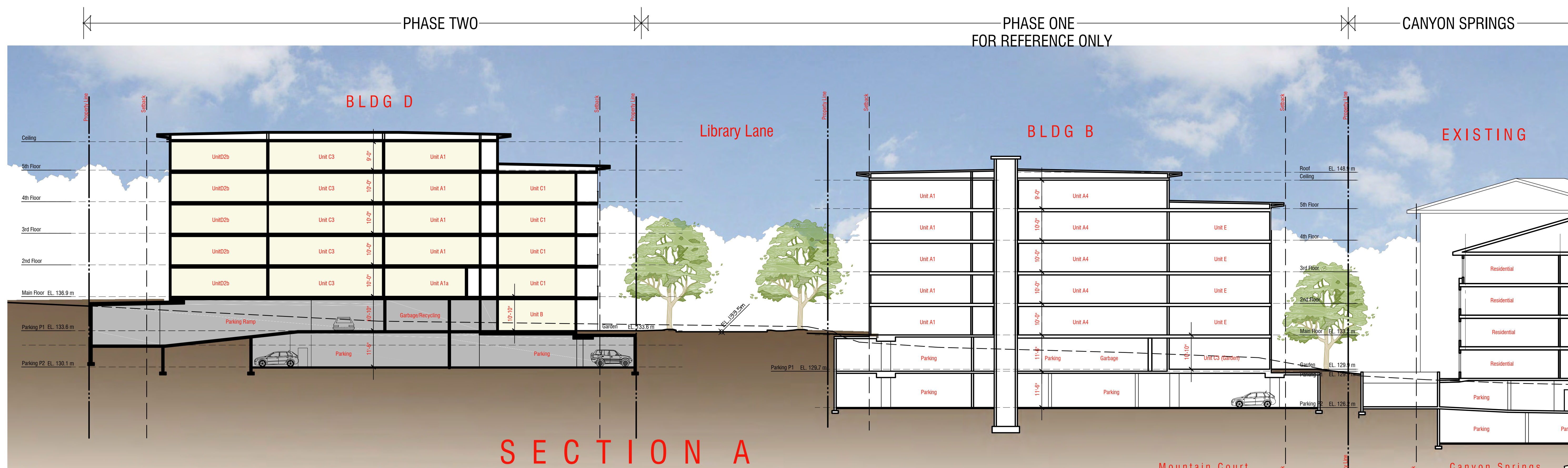
For Polygon

Streetscapes
1/16" = 1'
February 16, 2017

DP16.16F

SK-2.2

STREETSCAPES



SITE SECTIONS



FINISH LEGEND: BLDG C														
1	Roof:	SBS Roof Membrane c/w Granular Cap Sheet "Grey" Colour as per Colour Material Board	7	Soffits: Balconies	HardiSoffit Panels, 1x3" battens at 4' max spacing, Colour as per Colour Material Board	12	Exterior Walls	Fibre Cement Boards - HardiPlank or approved eq. Brown Horizontal siding, 7" Exposure, w/ 3" corner trims, Colour as per Colour Material Board	19	Guard Type 1:	Tempered Glass Panels in Aluminum Frames, Colour as per Colour Material Board	25	Patio Doors:	Tempered Safety Glass Panel Doors in Wood Frames
2	Roof: Entrance Canopy	SBS Roof Membrane c/w Granular Cap Sheet "Grey" Colour as per Colour Material Board	8	Exterior Walls	Fibre Cement Panels #1 - HardiPanel or approved eq. White - Colour as per Colour Material Board, c/w color matching Aluminum Reveals - Easytrim	13	Exterior Walls	Aluminum Faux-Wood Horizontal siding, 7" Exposure, Colour as per Colour Material Board	20	Guard Type 2:	Tempered Glass Panels in Aluminum Frames, w/ Faux-Wood Colour as per Colour Material Board	26	Gutter & RWL:	Prefinished Aluminum, Colour as per Colour Material Board
3	Roof Fascia:	Fibre Cement Board 1x8" on 1x10", See Detail. Colour as per Colour Material Board	9	Exterior Walls	Fibre Cement Shingles #1 - HardiPanel or approved eq. Light Green, Colour as per Colour Material Board, c/w color matching Aluminum Reveals - Easytrim	14	Exterior Walls	Natural stone, stone size varies, Material colour as per Colour Material Board	21	Feature Windows Window Wall:	Low E Double Glazing in Aluminum Frame Window Wall, Colour as per Colour Material Board	27	Concrete Lintels, Sills & Copings:	Pre-cast Architectural Concrete Architectural quality finish
4	Balcony Fascia:	Fibre Cement Board 1x12", See Detail. Colour as per Colour Material Board	10	Exterior Walls	Fibre Cement Shingles #2- HardiPanel or approved eq. Dark Green, Colour as per Colour Material Board, c/w color matching Aluminum Reveals - Easytrim	15	Exterior Walls	Concrete, elastomeric paint on exposed parking walls and connected retaining walls	22	Feature Entry Doors:	Glass Panel Doors in Aluminum Frames, Colour as per Colour Material Board	28	Flashing:	Prefinished Aluminum Colour as per Material Board
5	Soffits: Feature	8 3/4" Wide Fiber Cement Board, Wood Tone Willsbrook Cherry Custom Colour Rustic Series	11	Exterior Walls	Fibre Cement Boards - HardiPlank or approved eq. Grey Horizontal siding, 7" Exposure, w/ 3" corner trims, Colour as per Colour Material Board	16	Feature Posts:	Glulam Engineered wood columns, size as per detail, Stain Colour as per Colour Material Board	23	Windows: Vinyl	Low "E" Double Glazed, Vinyl Frames, Beige or White colour	29	Mechanical Louvers:	Prefinished Metal, Factory Painted Colour to Match Cladding Field Colour
6	Soffits: Typical	Fibre Cement Panel, Colour as per Colour Material Board				17	Trims: Windows, Doors	1" thick Fibre Cement HardiTrim, sizes as per detail, Colour to match adjacent panel colour	24	Exit Doors:	Insulated Core Pressed Steel Door in in Steel Frames, Colour to Match Adjacent Cladding Field Colour	30	Landscape Wall:	See Landscape dwg's
						18	Accent Trims at Window Eyebrows:	1" thick Fibre Cement HardiTrim, sizes as per detail, Colour to match adjacent panel colour				31	Guard: Landscape	See Landscape Colour as per Colour Material Board
Notes: Colour & Material changes never occur on outside corners (UNO)														

Notes: Colour & Material changes never occur on outside corners (UNO)

BUILDING C - ELEVATION

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Revisions
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Timber Court
Phase 2
Building C & D
C - 2633 Library Lane
D - 2651 Library Lane
NORTH VANCOUVER, BC

For Polygon

Building C Elevation
1/8" = 1'-0"
February 16, 2017

DP16.161

SK-7.0



Building C - East Elevation

FINISH LEGEND: BLDG C

- 1 Roof: SBS Roof Membrane c/w Granular Cap Sheet "Grey" Colour as per Colour Material Board
- 2 Roof: Entrance Canopy: SBS Roof Membrane c/w Granular Cap Sheet "Grey" Colour as per Colour Material Board
- 3 Roof Fascia: Fibre Cement Board 1x8" on 1x10", See Detail. Colour as per Colour Material Board
- 4 Balcony Fascia: Fibre Cement Board 1x12", See Detail. Colour as per Colour Material Board
- 5 Soffits: Feature: 8 1/4" Wide Fiber Cement Board, Wood Tone Willsbrook Cherry Custom Colour Rustic Series
- 6 Soffits: Typical: Fibre Cement Panel, Colour as per Colour Material Board

- 7 Soffits: Balconies
- 8 Exterior Walls
- 9 Exterior Walls
- 10 Exterior Walls
- 11 Exterior Walls

- HardiSoffit Panels, 1x3" battens at 4" max spacing, Colour as per Colour Material Board
- Fibre Cement Panels #1- HardiPanel or approved eq. White - Colour as per Colour Material Board, c/w color matching Aluminum Reveals - Easytrim
- Fibre Cement Shingles #1- HardiPanel or approved eq. Light Green, Colour as per Colour Material Board, c/w color matching Aluminum Reveals - Easytrim
- Fibre Cement Shingles #2- HardiPanel or approved eq. Dark Green, Colour as per Colour Material Board, c/w color matching Aluminum Reveals - Easytrim
- Fibre Cement Boards - HardiPlank or approved eq. Grey Horizontal siding, 7" Exposure, w/ 3" corner trims, Colour as per Colour Material Board

- 12 Exterior Walls
- 13 Exterior Walls
- 14 Exterior Walls
- 15 Exterior Walls
- 16 Feature Posts:
- 17 Trims: Windows, Doors
- 18 Accent Trims at Window Eyebrows:

- Fibre Cement Boards - HardiPlank or approved eq. Brown Horizontal siding, 7" Exposure, w/ 3" corner trims, Colour as per Colour Material Board
- Aluminum Faux-Wood Horizontal siding, 7" Exposure, Colour as per Colour Material Board
- Natural stone, stone size varies, Material colour as per Colour Material Board
- Concrete, elastomeric paint on exposed parking walls and connected retaining walls
- Glulam Engineered wood columns, size as per detail, Stain Colour as per Colour Material Board
- 1" thick Fibre Cement HardiTrim, sizes as per detail, Colour to match adjacent panel colour
- 1" thick Fibre Cement HardiTrim, sizes as per detail, Colour to match adjacent panel colour

- 19 Guard Type 1:
- 20 Guard Type 2:
- 21 Feature Windows Window Wall:
- 22 Feature Entry Doors:
- 23 Windows: Vinyl
- 24 Exit Doors:

- Tempered Glass Panels in Aluminum Frames, Colour as per Colour Material Board
- Tempered Glass Panels in Aluminum Frames, w/ Faux-Wood Colour as per Colour Material Board
- Low E Double Glazing in Aluminum Frame Window Wall, Colour as per Colour Material Board
- Glass Panel Doors in Aluminum Frames, Colour as per Colour Material Board
- Low "E" Double Glazed, Vinyl Frames, Beige or White colour
- Insulated Core Pressed Steel Door in in Steel Frames, Colour to Match Adjacent Cladding Field Colour

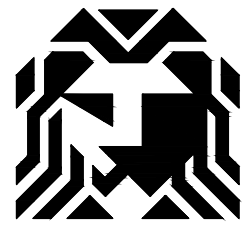
- 25 Patio Doors:
- 26 Gutter & RWL:
- 27 Concrete Lintels, Sills & Copings:
- 28 Flashing:
- 29 Mechanical Louvers:
- 30 Landscape Wall:
- 31 Guard: Landscape

- Tempered Safety Glass Panel Doors in Wood Frames
- Prefinished Aluminum, Colour as per Colour Material Board
- Pre-cast Architectural Concrete Architectural quality finish
- Prefinished Aluminum Colour as per Material Board
- Prefinished Metal, Factory Painted Colour to Match Cladding Field Colour
- See Landscape dwg's
- See Landscape Colour as per Colour Material Board

Notes: Colour & Material changes never occur on outside corners (UNO)

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Timber Court
Phase 2
Building C & D
C - 2633 Library Lane
D - 2651 Library Lane

NORTH VANCOUVER, BC

For Polygon

Building C
Elevation
1/8" = 1'-0"
February 16, 2017

DP16.16J

BUILDING C - ELEVATION SK-7.1



FINISH LEGEND: BLDG C														
1	Roof:	SBS Roof Membrane c/w Granular Cap Sheet "Grey" Colour as per Colour Material Board	7	Soffits: Balconies	HardiSoffit Panels, 1x3" battens at 4' max spacing, Colour as per Colour Material Board	12	Exterior Walls	Fibre Cement Boards - HardiPlank or approved eq. Brown Horizontal siding, 7" Exposure, w/ 3" corner trims, Colour as per Colour Material Board	19	Guard Type 1:	Tempered Glass Panels in Aluminum Frames, Colour as per Colour Material Board	25	Patio Doors:	Tempered Safety Glass Panel Doors in Wood Frames
2	Roof: Entrance Canopy	SBS Roof Membrane c/w Granular Cap Sheet "Grey" Colour as per Colour Material Board	8	Exterior Walls	Fibre Cement Panels #1 - HardiPanel or approved eq. White - Colour as per Colour Material Board, c/w color matching Aluminum Reveals - Easytrim	13	Exterior Walls	Aluminum Faux-Wood Horizontal siding, 7" Exposure, Colour as per Colour Material Board	20	Guard Type 2:	Tempered Glass Panels in Aluminum Frames, w/ Faux-Wood Colour as per Colour Material Board	26	Gutter & RWL:	Prefinished Aluminum, Colour as per Colour Material Board
3	Roof Fascia:	Fibre Cement Board 1x8" on 1x10", See Detail. Colour as per Colour Material Board	9	Exterior Walls	Fibre Cement Shingles #1- HardiPanel or approved eq. Light Green, Colour as per Colour Material Board, c/w color matching Aluminum Reveals - Easytrim	14	Exterior Walls	Natural stone, stone size varies, Material colour as per Colour Material Board	21	Feature Windows Window Wall:	Low E Double Glazing in Aluminum Frame Window Wall, Colour as per Colour Material Board	27	Concrete Lintels, Sills & Copings:	Pre-cast Architectural Concrete Architectural quality finish
4	Balcony Fascia:	Fibre Cement Board 1x12", See Detail. Colour as per Colour Material Board	10	Exterior Walls	Fibre Cement Shingles #2- HardiPanel or approved eq. Dark Green, Colour as per Colour Material Board, c/w color matching Aluminum Reveals - Easytrim	15	Exterior Walls	Concrete, elastomeric paint on exposed parking walls and connected retaining walls	22	Feature Entry Doors:	Glass Panel Doors in Aluminum Frames, Colour as per Colour Material Board	28	Flashing:	Prefinished Aluminum Colour as per Material Board
5	Soffits: Feature	8 1⁄4" Wide Fiber Cement Board, Wood Tone Willsbrook Cherry Custom Colour Rustic Series	11	Exterior Walls	Fibre Cement Boards - HardiPlank or approved eq. Grey Horizontal siding, 7" Exposure, w/ 3" corner trims, Colour as per Colour Material Board	16	Feature Posts:	Glulam Engineered wood columns, size as per detail, Stain Colour as per Colour Material Board	23	Windows: Vinyl	Low "E" Double Glazed, Vinyl Frames, Beige or White colour	29	Mechanical Louvers:	Prefinished Metal, Factory Painted Colour to Match Cladding Field Colour
6	Soffits: Typical	Fibre Cement Panel, Colour as per Colour Material Board				17	Trims: Windows, Doors	1" thick Fibre Cement HardiTrim, sizes as per detail, Colour to match adjacent panel colour	24	Exit Doors:	Insulated Core Pressed Steel Door in in Steel Frames, Colour to Match Adjacent Cladding Field Colour	30	Landscape Wall:	See Landscape dwg's
						18	Accent Trims at Window Eyebrows:	1" thick Fibre Cement HardiTrim, sizes as per detail, Colour to match adjacent panel colour				31	Guard: Landscape	See Landscape Colour as per Colour Material Board
Notes: Colour & Material changes never occur on outside corners (UNO)														

Notes: Colour & Material changes never occur on outside corners (UNO)

BUILDING C - ELEVATION

SK-7.2



Building C - West Elevation

FINISH LEGEND: BLDG C

- 1 Roof: SBS Roof Membrane c/w Granular Cap Sheet "Grey" Colour as per Colour Material Board
- 2 Roof: Entrance Canopy SBS Roof Membrane c/w Granular Cap Sheet "Grey" Colour as per Colour Material Board
- 3 Roof Fascia: Fibre Cement Board 1x8" on 1x10", See Detail. Colour as per Colour Material Board
- 4 Balcony Fascia: Fibre Cement Board 1x12", See Detail. Colour as per Colour Material Board
- 5 Soffits: Feature 8 1/4" Wide Fiber Cement Board, Wood Tone Willsbrook Cherry Custom Colour Rustic Series
- 6 Soffits: Typical Fibre Cement Panel, Colour as per Colour Material Board

- 7 Soffits: Balconies
- 8 Exterior Walls
- 9 Exterior Walls
- 10 Exterior Walls
- 11 Exterior Walls

- HardiSoffit Panels, 1x3" battens at 4" max spacing, Colour as per Colour Material Board
- Fibre Cement Panels #1 - HardiPanel or approved eq. White - Colour as per Colour Material Board, c/w color matching Aluminum Reveals - Easytrim
- Fibre Cement Shingles #1 - HardiPanel or approved eq. Light Green, Colour as per Colour Material Board, c/w color matching Aluminum Reveals - Easytrim
- Fibre Cement Shingles #2 - HardiPanel or approved eq. Dark Green, Colour as per Colour Material Board, c/w color matching Aluminum Reveals - Easytrim
- Fibre Cement Boards - HardiPlank or approved eq. Grey Horizontal siding, 7" Exposure, w/ 3" corner trims, Colour as per Colour Material Board

- 12 Exterior Walls
- 13 Exterior Walls
- 14 Exterior Walls
- 15 Exterior Walls
- 16 Feature Posts:
- 17 Trims: Windows, Doors
- 18 Accent Trims at Window Eyebrows:

- Fibre Cement Boards - HardiPlank or approved eq. Brown Horizontal siding, 7" Exposure, w/ 3" corner trims, Colour as per Colour Material Board
- Aluminum Faux-Wood Horizontal siding, 7" Exposure, Colour as per Colour Material Board
- Natural stone, stone size varies, Material colour as per Colour Material Board
- Concrete, elastomeric paint on exposed parking walls and connected retaining walls
- Glulam Engineered wood columns, size as per detail, Stain Colour as per Colour Material Board
- 1" thick Fibre Cement HardiTrim, sizes as per detail, Colour to match adjacent panel colour
- 1" thick Fibre Cement HardiTrim, sizes as per detail, Colour to match adjacent panel colour

- 19 Guard Type 1:
- 20 Guard Type 2:
- 21 Feature Windows Window Wall:
- 22 Feature Entry Doors:
- 23 Windows: Vinyl
- 24 Exit Doors:

- Tempered Glass Panels in Aluminum Frames, Colour as per Colour Material Board
- Tempered Glass Panels in Aluminum Frames, w/ Faux-Wood Colour as per Colour Material Board
- Low E Double Glazing in Aluminum Frame Window Wall, Colour as per Colour Material Board
- Glass Panel Doors in Aluminum Frames, Colour as per Colour Material Board
- Low "E" Double Glazed, Vinyl Frames, Beige or White colour
- Insulated Core Pressed Steel Door in in Steel Frames, Colour to Match Adjacent Cladding Field Colour

- 25 Patio Doors:
- 26 Gutter & RWL:
- 27 Concrete Lintels, Sills & Copings:
- 28 Flashing:
- 29 Mechanical Louvers:
- 30 Landscape Wall:
- 31 Guard: Landscape

- Tempered Safety Glass Panel Doors in Wood Frames
- Prefinished Aluminum, Colour as per Colour Material Board
- Pre-cast Architectural Concrete Architectural quality finish
- Prefinished Aluminum Colour as per Material Board
- Prefinished Metal, Factory Painted Colour to Match Cladding Field Colour
- See Landscape dwg's
- See Landscape Colour as per Colour Material Board

Notes: Colour & Material changes never occur on outside corners (UNO)

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Timber Court
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Building C & D
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D - 2651 Library Lane

NORTH VANCOUVER, BC

For Polygon

Building C
Elevation

1/8" = 1'-0"
February 16, 2017

DP16.16L

BUILDING C - ELEVATION SK-7.3



FINISH LEGEND: BLDG C

1	Roof:	SBS Roof Membrane c/w Granular Cap Sheet "Grey" Colour as per Colour Material Board	7	Soffits: Balconies	HardiSoffit Panels, 1x3" battens at 4' max spacing, Colour as per Colour Material Board	12	Exterior Walls	Fibre Cement Boards - HardiPlank or approved eq. Brown Horizontal siding, 7" Exposure, w/ 3" corner trims, Colour as per Colour Material Board	19	Guard Type 1:	Tempered Glass Panels in Aluminum Frames, Colour as per Colour Material Board	25	Patio Doors:	Tempered Safety Glass Panel Doors in Wood Frames
2	Roof: Entrance Canopy	SBS Roof Membrane c/w Granular Cap Sheet "Grey" Colour as per Colour Material Board	8	Exterior Walls	Fibre Cement Panels #1- HardiPanel or approved eq. White - Colour as per Colour Material Board, c/w color matching Aluminum Reveals - Easytrim	13	Exterior Walls	Aluminum Faux-Wood Horizontal siding, 7" Exposure, Colour as per Colour Material Board	20	Guard Type 2:	Tempered Glass Panels in Aluminum Frames, w/ Faux-Wood Colour as per Colour Material Board	26	Gutter & RWL:	Prefinished Aluminum, Colour as per Colour Material Board
3	Roof Fascia:	Fibre Cement Board 1x8" on 1x10", See Detail. Colour as per Colour Material Board	9	Exterior Walls	Fibre Cement Shingles #1- HardiPanel or approved eq. Light Green, Colour as per Colour Material Board, c/w color matching Aluminum Reveals - Easytrim	14	Exterior Walls	Natural stone, stone size varies, Material colour as per Colour Material Board	21	Feature Windows Window Wall:	Low E Double Glazing in Aluminum Frame Window Wall, Colour as per Colour Material Board	27	Concrete Lintels, Sills & Copings:	Pre-cast Architectural Concrete Architectural quality finish
4	Balcony Fascia:	Fibre Cement Board 1x12", See Detail. Colour as per Colour Material Board	10	Exterior Walls	Fibre Cement Shingles #2- HardiPanel or approved eq. Dark Green, Colour as per Colour Material Board, c/w color matching Aluminum Reveals - Easytrim	15	Exterior Walls	Concrete, elastomeric paint on exposed parking walls and connected retaining walls	22	Feature Entry Doors:	Glass Panel Doors in Aluminum Frames, Colour as per Colour Material Board	28	Flashing:	Prefinished Aluminum Colour as per Material Board
5	Soffits: Feature	8 1/2" Wide Fiber Cement Board, Wood Tone Willsbrook Cherry Custom Colour Rustic Series	11	Exterior Walls	Fibre Cement Boards - HardiPlank or approved eq. Grey Horizontal siding, 7" Exposure, w/ 3" corner trims, Colour as per Colour Material Board	16	Feature Posts:	Glulam Engineered wood columns, size as per detail, Stain Colour as per Colour Material Board	23	Windows: Vinyl	Low "E" Double Glazed, Vinyl Frames, Beige or White colour	29	Mechanical Louvres:	Prefinished Metal, Factory Painted Colour to Match Cladding Field Colour
6	Soffits: Typical	Fibre Cement Panel, Colour as per Colour Material Board				17	Trims: Windows, Doors	1" thick Fibre Cement HardiTrim, sizes as per detail, Colour to match adjacent panel colour	24	Exit Doors:	Insulated Core Pressed Steel Door in in Steel Frames, Colour to Match Adjacent Cladding Field Colour	30	Landscape Wall:	See Landscape dwg's
						18	Accent Trims at Window Eyebrows:	1" thick Fibre Cement HardiTrim, sizes as per detail, Colour to match adjacent panel colour				31	Guard: Landscape	See Landscape Colour as per Colour Material Board

Notes: Colour & Material changes never occur on outside corners (UNO)

BUILDING C - ELEVATION SK-7.4



FINISH LEGEND: BLDG C														
1	Roof:	SBS Roof Membrane c/w Granular Cap Sheet "Grey" Colour as per Colour Material Board	7	Soffits: Balconies	HardiSoffit Panels, 1x3" battens at 4' max spacing, Colour as per Colour Material Board	12	Exterior Walls	Fibre Cement Boards - HardiPlank or approved eq. Brown Horizontal siding, 7" Exposure, w/ 3" corner trims, Colour as per Colour Material Board	19	Guard Type 1:	Tempered Glass Panels in Aluminum Frames, Colour as per Colour Material Board	25	Patio Doors:	Tempered Safety Glass Panel Doors in Wood Frames
2	Roof: Entrance Canopy	SBS Roof Membrane c/w Granular Cap Sheet "Grey" Colour as per Colour Material Board	8	Exterior Walls	Fibre Cement Panels #1 - HardiPanel or approved eq. White - Colour as per Colour Material Board, c/w color matching Aluminum Reveals - Easytrim	13	Exterior Walls	Aluminum Faux-Wood Horizontal siding, 7" Exposure, Colour as per Colour Material Board	20	Guard Type 2:	Tempered Glass Panels in Aluminum Frames, w/ Faux-Wood Colour as per Colour Material Board	26	Gutter & RWL:	Prefinished Aluminum, Colour as per Colour Material Board
3	Roof Fascia:	Fibre Cement Board 1x8" on 1x10", See Detail. Colour as per Colour Material Board	9	Exterior Walls	Fibre Cement Shingles #1- HardiPanel or approved eq. Light Green, Colour as per Colour Material Board, c/w color matching Aluminum Reveals - Easytrim	14	Exterior Walls	Natural stone, stone size varies, Material colour as per Colour Material Board	21	Feature Windows Window Wall:	Low E Double Glazing in Aluminum Frame Window Wall, Colour as per Colour Material Board	27	Concrete Lintels, Sills & Copings:	Pre-cast Architectural Concrete Architectural quality finish
4	Balcony Fascia:	Fibre Cement Board 1x12", See Detail. Colour as per Colour Material Board	10	Exterior Walls	Fibre Cement Shingles #2- HardiPanel or approved eq. Dark Green, Colour as per Colour Material Board, c/w color matching Aluminum Reveals - Easytrim	15	Exterior Walls	Concrete, elastomeric paint on exposed parking walls and connected retaining walls	22	Feature Entry Doors:	Glass Panel Doors in Aluminum Frames, Colour as per Colour Material Board	28	Flashing:	Prefinished Aluminum Colour as per Material Board
5	Soffits: Feature	8 3/4" Wide Fiber Cement Board, Wood Tone Willsbrook Cherry Custom Colour Rustic Series	11	Exterior Walls	Fibre Cement Boards - HardiPlank or approved eq. Grey Horizontal siding, 7" Exposure, w/ 3" corner trims, Colour as per Colour Material Board	16	Feature Posts:	Glulam Engineered wood columns, size as per detail, Stain Colour as per Colour Material Board	23	Windows: Vinyl	Low "E" Double Glazed, Vinyl Frames, Beige or White colour	29	Mechanical Louvers:	Prefinished Metal, Factory Painted Colour to Match Cladding Field Colour
6	Soffits: Typical	Fibre Cement Panel, Colour as per Colour Material Board				17	Trims: Windows, Doors	1" thick Fibre Cement HardiTrim, sizes as per detail, Colour to match adjacent panel colour	24	Exit Doors:	Insulated Core Pressed Steel Door in in Steel Frames, Colour to Match Adjacent Cladding Field Colour	30	Landscape Wall:	See Landscape dwg's
						18	Accent Trims at Window Eyebrows:	1" thick Fibre Cement HardiTrim, sizes as per detail, Colour to match adjacent panel colour				31	Guard: Landscape	See Landscape Colour as per Colour Material Board
Notes: Colour & Material changes never occur on outside corners (UNO)														

BUILDING C - ELEVATION



FINISH LEGEND: BLDG D														
1	Roof:	SBS Roof Membrane c/w Granular Cap Sheet "Grey" Colour as per Colour Material Board	7	Soffits: Balconies	HardiSoffit Panels, 1x3" battens at 4' max spacing, Colour as per Colour Material Board	12	Exterior Walls	Brick, Norman Size, 2 1/2" high x 11 1/2" long, Material colour as per Colour Material Board	19	Feature Windows Window Wall:	Low E Double Glazing in Aluminum Frame Window Wall, Colour as per Colour Material Board	25	Concrete Lintels, Sills & Copings:	Pre-cast Architectural Concrete Architectural quality finish
2	Roof: Entrance Canopy	SBS Roof Membrane c/w Granular Cap Sheet "Grey" Colour as per Colour Material Board	8	Exterior Walls	Fibre Cement Panels #1 - HardiPanel or approved eq. Cream - Colour as per Colour Material Board, c/w color matching Aluminum Reveals - Easytrim	13	Exterior Walls	Concrete, elastomeric paint on exposed parking walls and connected retaining walls	20	Feature Entry Doors:	Glass Panel Doors in Aluminum Frames, Colour as per Colour Material Board	26	Flashing:	Prefinished Aluminum Colour as per Material Board
3	Roof Fascia:	Fibre Cement Board 1x8" on 1x10", See Detail. Colour as per Colour Material Board	9	Exterior Walls	Fibre Cement Panels #2 - HardiPanel or approved eq. Gray - Colour as per Colour Material Board c/w color matching Aluminum Reveals - Easytrim	14	Feature Balcony Posts:	Glulam Engineered wood columns, size as per detail, Stain Colour as per Colour Material Board	21	Windows: Vinyl	Low "E" Double Glazed, Vinyl Frames, Beige colour	27	Mechanical Louvers:	Prefinished Metal, Factory Painted Colour to Match Cladding Field Colour
4	Balcony Fascia:	Fibre Cement Board 1x12", See Detail. Colour as per Colour Material Board	10	Exterior Walls	Fibre Cement Boards - HardiPlank or approved eq. CREAM Horizontal siding, 7" Exposure, w/ 3" corner trims, Colour as per Colour Material Board	15	Trims: Windows, Doors	1" thick Fibre Cement HardiTrim, sizes as per detail, Colour to match adjacent panel colour	22	Exit Doors:	Insulated Core Pressed Steel Door in in Steel Frames, Colour to Match Adjacent Cladding Field Colour	28	Landscape Wall:	See Landscape dwg's
5	Soffits: Feature	8 1/4" Wide Fibre Cement Board, Wood Tone Willsbrook Cherry Custom Colour Rustic Series	11	Exterior Walls	Fibre Cement Boards - HardiPlank or approved eq. BROWN Horizontal siding, 7" Exposure, w/ 3" corner trims, Colour as per Colour Material Board	16	Accent Trims at Window Eyebrows:	1" thick Fibre Cement HardiTrim, sizes as per detail, Colour to match adjacent panel colour	23	Patio Doors:	Tempered Safety Glass Panel Doors in Wood Frames	29	Guard: Landscape	See Landscape Colour as per Colour Material Board
6	Soffits: Typical	Fibre Cement Panel, as per Colour Material Board				17	Guard Type 1:	Tempered Glass Panels in Aluminum Frames, Colour as per Colour Material Board	24	Gutter & RWL:	Prefinished Aluminum, Colour as per Colour Material Board		Notes:	Colour & Material changes never occur on an outside corner (unless noted otherwise)
						18	Guard Type 2:	Aluminum Pickets and Frame Colour as per Colour Material Board						

BUILDING D - ELEVATION



RAYMOND LETKEMAN
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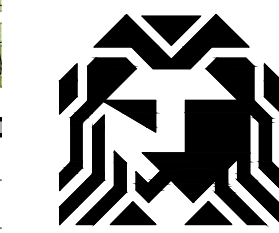
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Revisions

Issued for Development Permit
March 15, 2016

Re-issued for Development Permit
July 15, 2016

Re-issued for Development Permit
February 16, 2017



Timber Court
Phase 2
Building C & D
C - 2633 Library Lane
D - 2651 Library Lane
NORTH VANCOUVER, BC

For Polygon

Building D Elevation
1/8" = 1'-0"
February 16, 2017

DP16.160

SK-8.0



FINISH LEGEND: BLDG D

- | | | |
|---|-----------------------|---|
| 1 | Roof: | SBS Roof Membrane c/w Granular Cap Sheet "Grey" Colour as per Colour Material Board |
| 2 | Roof: Entrance Canopy | SBS Roof Membrane c/w Granular Cap Sheet "Grey" Colour as per Colour Material Board |
| 3 | Roof Fascia: | Fibre Cement Board 1x8" on 1x10", See Detail. Colour as per Colour Material Board |
| 4 | Balcony Fascia: | Fibre Cement Board 1x12", See Detail. Colour as per Colour Material Board |
| 5 | Soffits: Feature | 8 1/4" Wide Fibre Cement Board, Wood Tone Willsbrook Cherry Custom Colour Rustic Series |
| 6 | Soffits: Typical | Fibre Cement Panel, as per Colour Material Board |

- | | | |
|----|--------------------|---|
| 7 | Soffits: Balconies | HardiSoffit Panels, 1x3" battens at 4' max spacing, Colour as per Colour Material Board |
| 8 | Exterior Walls | Fibre Cement Panels #1 - HardiPanel or approved eq. Cream - Colour as per Colour Material Board, c/w color matching Aluminum Reveals - Easytrim |
| 9 | Exterior Walls | Fibre Cement Panels #2 - HardiPanel or approved eq. Gray - Colour as per Colour Material Board c/w color matching Aluminum Reveals - Easytrim |
| 10 | Exterior Walls | Fibre Cement Boards - HardiPlank or approved eq. CREAM Horizontal siding, 7" Exposure, w/ 3" corner trims, Colour as per Colour Material Board |
| 11 | Exterior Walls | Fibre Cement Boards - HardiPlank or approved eq. BROWN Horizontal siding, 7" Exposure, w/ 3" corner trims, Colour as per Colour Material Board |

- | | | |
|----|----------------------------------|---|
| 12 | Exterior Walls | Brick, Norman Size, 2 1/2" high x 11 1/2" long, Material colour as per Colour Material Board |
| 13 | Exterior Walls | Concrete, elastomeric paint on exposed parking walls and connected retaining walls |
| 14 | Feature Balcony Posts: | Glulam Engineered wood columns, size as per detail, Stain Colour as per Colour Material Board |
| 15 | Trims: Windows, Doors | 1" thick Fibre Cement HardiTrim, sizes as per detail, Colour to match adjacent panel colour |
| 16 | Accent Trims at Window Eyebrows: | 1" thick Fibre Cement HardiTrim, sizes as per detail, Colour to match adjacent panel colour |
| 17 | Guard Type 1: | Tempered Glass Panels in Aluminum Frames, Colour as per Colour Material Board |
| 18 | Guard Type 2: | Aluminum Pickets and Frame Colour as per Colour Material Board |

- | | | |
|----|------------------------------|--|
| 19 | Feature Windows Window Wall: | Low E Double Glazing in Aluminum Frame Window Wall, Colour as per Colour Material Board |
| 20 | Feature Entry Doors: | Glass Panel Doors in Aluminum Frames, Colour as per Colour Material Board |
| 21 | Windows: Vinyl | Low "E" Double Glazed, Vinyl Frames, Beige colour |
| 22 | Exit Doors: | Insulated Core Pressed Steel Door in in Steel Frames, Colour to Match Adjacent Cladding Field Colour |
| 23 | Patio Doors: | Tempered Safety Glass Panel Doors in Wood Frames |
| 24 | Gutter & RWL: | Prefinished Aluminum, Colour as per Colour Material Board |

- | | | |
|----|------------------------------------|--|
| 25 | Concrete Lintels, Sills & Copings: | Pre-cast Architectural Concrete Architectural quality finish |
| 26 | Flashing: | Prefinished Aluminum Colour as per Material Board |
| 27 | Mechanical Louvers: | Prefinished Metal, Factory Painted Colour to Match Cladding Field Colour |
| 28 | Landscape Wall: | See Landscape dwg's |
| 29 | Guard: Landscape | See Landscape Colour as per Colour Material Board |
- Notes:
Colour & Material changes never occur on an outside corner (unless noted otherwise)

BUILDING D - ELEVATION

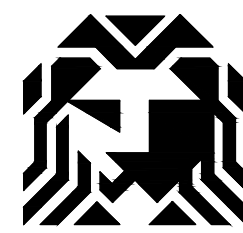


Building D - West Elevation

FINISH LEGEND: BLDG D

1	Roof:	SBS Roof Membrane c/w Granular Cap Sheet "Grey" Colour as per Colour Material Board	7	Soffits: Balconies	HardiSoffit Panels, 1x3" battens at 4' max spacing, Colour as per Colour Material Board	12	Exterior Walls	Brick, Norman Size, 2 1/2" high x 11 1/2" long, Material colour as per Colour Material Board	19	Feature Windows Window Wall:	Low E Double Glazing in Aluminum Frame Window Wall, Colour as per Colour Material Board	25	Concrete Lintels, Sills & Copings:	Pre-cast Architectural Concrete Architectural quality finish
2	Roof: Entrance Canopy	SBS Roof Membrane c/w Granular Cap Sheet "Grey" Colour as per Colour Material Board	8	Exterior Walls	Fibre Cement Panels #1 - HardiPanel or approved eq. Cream - Colour as per Colour Material Board, c/w color matching Aluminum Reveals - Easytrim	13	Exterior Walls	Concrete, elastomeric paint on exposed parking walls and connected retaining walls	20	Feature Entry Doors:	Glass Panel Doors in Aluminum Frames, Colour as per Colour Material Board	26	Flashing:	Prefinished Aluminum Colour as per Material Board
3	Roof Fascia:	Fibre Cement Board 1x8" on 1x10", See Detail. Colour as per Colour Material Board	9	Exterior Walls	Fibre Cement Panels #2 - HardiPanel or approved eq. Gray - Colour as per Colour Material Board c/w color matching Aluminum Reveals - Easytrim	14	Feature Balcony Posts:	Glulam Engineered wood columns, size as per detail, Stain Colour as per Colour Material Board	21	Windows: Vinyl	Low "E" Double Glazed, Vinyl Frames, Beige colour	27	Mechanical Louvers:	Prefinished Metal, Factory Painted Colour to Match Cladding Field Colour
4	Balcony Fascia:	Fibre Cement Board 1x12", See Detail. Colour as per Colour Material Board	10	Exterior Walls	Fibre Cement Boards - HardiPlank or approved eq. CREAM Horizontal siding, 7" Exposure, w/ 3" corner trims, Colour as per Colour Material Board	15	Trims: Windows, Doors	1" thick Fibre Cement HardiTrim, sizes as per detail, Colour to match adjacent panel colour	22	Exit Doors:	Insulated Core Pressed Steel Door in in Steel Frames, Colour to Match Adjacent Cladding Field Colour	28	Landscape Wall:	See Landscape dwg's
5	Soffits: Feature	8 1/4" Wide Fibre Cement Board, Wood Tone Willsbrook Cherry Custom Colour Rustic Series	11	Exterior Walls	Fibre Cement Boards - HardiPlank or approved eq. BROWN Horizontal siding, 7" Exposure, w/ 3" corner trims, Colour as per Colour Material Board	16	Accent Trims at Window Eyebrows:	1" thick Fibre Cement HardiTrim, sizes as per detail, Colour to match adjacent panel colour	23	Patio Doors:	Tempered Safety Glass Panel Doors in Wood Frames	29	Guard: Landscape	See Landscape Colour as per Colour Material Board
6	Soffits: Typical	Fibre Cement Panel, as per Colour Material Board				17	Guard Type 1:	Tempered Glass Panels in Aluminum Frames, Colour as per Colour Material Board	24	Gutter & RWL:	Prefinished Aluminum, Colour as per Colour Material Board		Notes:	Colour & Material changes never occur on an outside corner (unless noted otherwise)
						18	Guard Type 2:	Aluminum Pickets and Frame Colour as per Colour Material Board						

BUILDING D - ELEVATION



Timber Court
Phase 2
Building C & D
C - 2633 Library Lane
D - 2651 Library Lane

NORTH VANCOUVER, BC

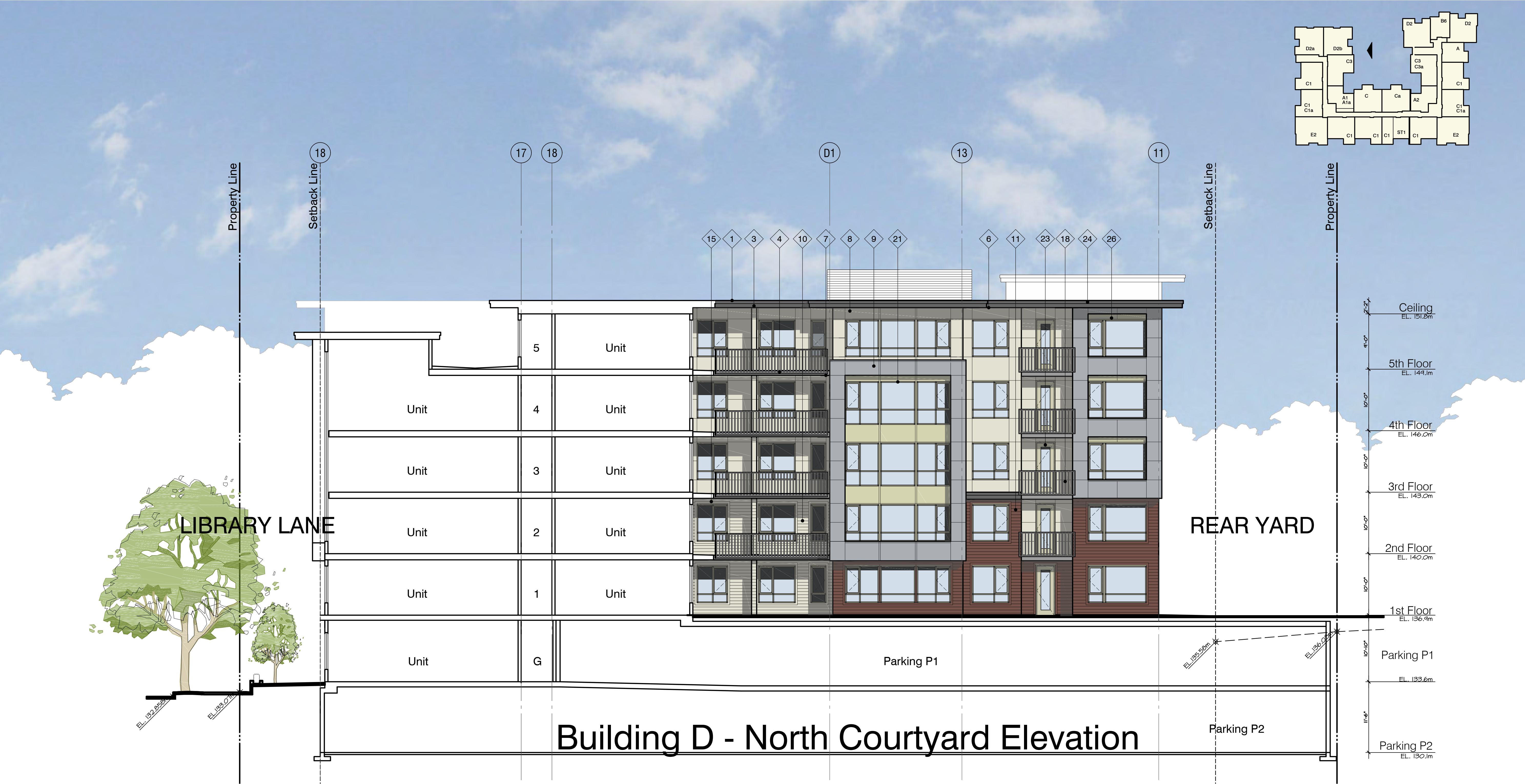
For Polygon

Building D
Elevation

1/8" = 1'-0"
February 15, 2017

DP16.16Q

SK-8.2



FINISH LEGEND: BLDG D

1	Roof:	SBS Roof Membrane c/w Granular Cap Sheet "Grey" Colour as per Colour Material Board	7	Soffits: Balconies	HardiSoffit Panels, 1x3" battens at 4' max spacing, Colour as per Colour Material Board	12	Exterior Walls	Brick, Norman Size, 2 1/2" high x 11 1/2" long, Material colour as per Colour Material Board	19	Feature Windows Window Wall:	Low E Double Glazing in Aluminum Frame Window Wall, Colour as per Colour Material Board	25	Concrete Lintels, Sills & Copings:	Pre-cast Architectural Concrete Architectural quality finish
2	Roof: Entrance Canopy	SBS Roof Membrane c/w Granular Cap Sheet "Grey" Colour as per Colour Material Board	8	Exterior Walls	Fibre Cement Panels #1 - HardiPanel or approved eq. Cream - Colour as per Colour Material Board, c/w color matching Aluminum Reveals - Easytrim	13	Exterior Walls	Concrete, elastomeric paint on exposed parking walls and connected retaining walls	20	Feature Entry Doors:	Glass Panel Doors in Aluminum Frames, Colour as per Colour Material Board	26	Flashing:	Prefinished Aluminum Colour as per Material Board
3	Roof Fascia:	Fibre Cement Board 1x8" on 1x10", See Detail. Colour as per Colour Material Board	9	Exterior Walls	Fibre Cement Panels #2 - HardiPanel or approved eq. Gray - Colour as per Colour Material Board c/w color matching Aluminum Reveals - Easytrim	14	Feature Balcony Posts:	Glulam Engineered wood columns, size as per detail, Stain Colour as per Colour Material Board	21	Windows: Vinyl	Low "E" Double Glazed, Vinyl Frames, Beige colour	27	Mechanical Louvers:	Prefinished Metal, Factory Painted Colour to Match Cladding Field Colour
4	Balcony Fascia:	Fibre Cement Board 1x12", See Detail. Colour as per Colour Material Board	10	Exterior Walls	Fibre Cement Boards - HardiPlank or approved eq. CREAM Horizontal siding, 7" Exposure, w/ 3" corner trims, Colour as per Colour Material Board	15	Trims: Windows, Doors	1" thick Fibre Cement HardiTrim, sizes as per detail, Colour to match adjacent panel colour	22	Exit Doors:	Insulated Core Pressed Steel Door in in Steel Frames, Colour to Match Adjacent Cladding Field Colour	28	Landscape Wall:	See Landscape dwg's
5	Soffits: Feature	8 3/4" Wide Fibre Cement Board, Wood Tone Willsbrook Cherry Custom Colour Rustic Series	11	Exterior Walls	Fibre Cement Boards - HardiPlank or approved eq. BROWN Horizontal siding, 7" Exposure, w/ 3" corner trims, Colour as per Colour Material Board	16	Accent Trims at Window Eyebrows:	1" thick Fibre Cement HardiTrim, sizes as per detail, Colour to match adjacent panel colour	23	Patio Doors:	Tempered Safety Glass Panel Doors in Wood Frames	29	Guard: Landscape	See Landscape Colour as per Colour Material Board
6	Soffits: Typical	Fibre Cement Panel, as per Colour Material Board				17	Guard Type 1:	Tempered Glass Panels in Aluminum Frames, Colour as per Colour Material Board	24	Gutter & RWL:	Prefinished Aluminum, Colour as per Colour Material Board		Notes:	Colour & Material changes never occur on an outside corner (unless noted otherwise)
						18	Guard Type 2:	Aluminum Pickets and Frame Colour as per Colour Material Board						


BUILDING D - ELEVATION



FINISH LEGEND: BLDG D

1	Roof:	SBS Roof Membrane c/w Granular Cap Sheet "Grey" Colour as per Colour Material Board	7	Soffits: Balconies	HardiSoffit Panels, 1x3" battens at 4' max spacing, Colour as per Colour Material Board	19	Feature Windows Window Wall:	Low E Double Glazing in Aluminum Frame Window Wall, Colour as per Colour Material Board	25	Concrete Lintels, Sills & Copings:	Pre-cast Architectural Concrete Architectural quality finish
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3	Roof Fascia:	Fibre Cement Board 1x8" on 1x10", See Detail. Colour as per Colour Material Board	9	Exterior Walls	Fibre Cement Panels #2 - HardiPanel or approved eq. Gray - Colour as per Colour Material Board c/w color matching Aluminum Reveals - Easytrim	20	Windows: Vinyl	Low "E" Double Glazed, Vinyl Frames, Beige colour	27	Mechanical Louvers:	Prefinished Metal, Factory Painted Colour to Match Cladding Field Colour
4	Balcony Fascia:	Fibre Cement Board 1x12", See Detail. Colour as per Colour Material Board	10	Exterior Walls	Fibre Cement Boards - HardiPlank or approved eq. CREAM Horizontal siding, 7" Exposure, w/ 3" corner trims, Colour as per Colour Material Board	21	Exit Doors:	Insulated Core Pressed Steel Door in in Steel Frames, Colour to Match Adjacent Cladding Field Colour	28	Landscape Wall:	See Landscape dwg's
5	Soffits: Feature	8 1/4" Wide Fibre Cement Board, Wood Tone Willsbrook Cherry Custom Colour Rustic Series	11	Exterior Walls	Fibre Cement Boards - HardiPlank or approved eq. BROWN Horizontal siding, 7" Exposure, w/ 3" corner trims, Colour as per Colour Material Board	22	Patio Doors:	Tempered Safety Glass Panel Doors in Wood Frames	29	Guard: Landscape	See Landscape Colour as per Colour Material Board
6	Soffits: Typical	Fibre Cement Panel, as per Colour Material Board				23	Gutter & RWL:	Prefinished Aluminum, Colour as per Colour Material Board		Notes:	Colour & Material changes never occur on an outside corner (unless noted otherwise)

BUILDING D - ELEVATION



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Revisions

Issued for Development Permit
March 15, 2016

Re-issued for Development Permit
July 15, 2016

Re-issued for Development Permit
February 16, 2017



Timber Court

Phase 2

Building C & D

C - 2633 Library Lane

D - 2651 Library Lane

NORTH VANCOUVER, BC

For Polygon

Building D Elevation

1/8" = 1'-0"

February 16, 2017

DP16.16S

SK-8.4



FINISH LEGEND: BLDG D

1	Roof:	SBS Roof Membrane c/w Granular Cap Sheet "Grey" Colour as per Colour Material Board	7	Soffits: Balconies	HardiSoffit Panels, 1x3" battens at 4' max spacing, Colour as per Colour Material Board	12	Exterior Walls	Brick, Norman Size, 2 1/2" high x 11 1/2" long, Material colour as per Colour Material Board	19	Feature Windows Window Wall:	Low E Double Glazing in Aluminum Frame Window Wall, Colour as per Colour Material Board	25	Concrete Lintels, Sills & Copings:	Pre-cast Architectural Concrete Architectural quality finish
2	Roof: Entrance Canopy	SBS Roof Membrane c/w Granular Cap Sheet "Grey" Colour as per Colour Material Board	8	Exterior Walls	Fibre Cement Panels #1 - HardiPanel or approved eq. Cream - Colour as per Colour Material Board, c/w color matching Aluminum Reveals - Easytrim	13	Exterior Walls	Concrete, elastomeric paint on exposed parking walls and connected retaining walls	20	Feature Entry Doors:	Glass Panel Doors in Aluminum Frames, Colour as per Colour Material Board	26	Flashing:	Prefinished Aluminum Colour as per Material Board
3	Roof Fascia:	Fibre Cement Board 1x8" on 1x10", See Detail. Colour as per Colour Material Board	9	Exterior Walls	Fibre Cement Panels #2 - HardiPanel or approved eq. Gray - Colour as per Colour Material Board c/w color matching Aluminum Reveals - Easytrim	14	Feature Balcony Posts:	Glulam Engineered wood columns, size as per detail, Stain Colour as per Colour Material Board	21	Windows: Vinyl	Low "E" Double Glazed, Vinyl Frames, Beige colour	27	Mechanical Louvers:	Prefinished Metal, Factory Painted Colour to Match Cladding Field Colour
4	Balcony Fascia:	Fibre Cement Board 1x12", See Detail. Colour as per Colour Material Board	10	Exterior Walls	Fibre Cement Boards - HardiPlank or approved eq. CREAM Horizontal siding, 7" Exposure, w/ 3" corner trims, Colour as per Colour Material Board	15	Trims: Windows, Doors	1" thick Fibre Cement HardiTrim, sizes as per detail, Colour to match adjacent panel colour	22	Exit Doors:	Insulated Core Pressed Steel Door in in Steel Frames, Colour to Match Adjacent Cladding Field Colour	28	Landscape Wall:	See Landscape dwg's
5	Soffits: Feature	8 1/4" Wide Fibre Cement Board, Wood Tone Willsbrook Cherry Custom Colour Rustic Series	11	Exterior Walls	Fibre Cement Boards - HardiPlank or approved eq. BROWN Horizontal siding, 7" Exposure, w/ 3" corner trims, Colour as per Colour Material Board	16	Accent Trims at Window Eyebrows:	1" thick Fibre Cement HardiTrim, sizes as per detail, Colour to match adjacent panel colour	23	Patio Doors:	Tempered Safety Glass Panel Doors in Wood Frames	29	Guard: Landscape	See Landscape Colour as per Colour Material Board
6	Soffits: Typical	Fibre Cement Panel, as per Colour Material Board				17	Guard Type 1:	Tempered Glass Panels in Aluminum Frames, Colour as per Colour Material Board	24	Gutter & RWL:	Prefinished Aluminum, Colour as per Colour Material Board		Notes:	Colour & Material changes never occur on an outside corner (unless noted otherwise)
						18	Guard Type 2:	Aluminum Pickets and Frame Colour as per Colour Material Board						

BUILDING D - ELEVATION



Building D - North Elevation

FINISH LEGEND: BLDG D

- 1 Roof: SBS Roof Membrane c/w Granular Cap Sheet "Grey" Colour as per Colour Material Board
- 2 Roof: Entrance Canopy: SBS Roof Membrane c/w Granular Cap Sheet "Grey" Colour as per Colour Material Board
- 3 Roof Fascia: Fibre Cement Board 1x8" on 1x10", See Detail. Colour as per Colour Material Board
- 4 Balcony Fascia: Fibre Cement Board 1x12", See Detail. Colour as per Colour Material Board
- 5 Soffits: Feature 8 1/4" Wide Fibre Cement Board, Wood Tone Willsbrook Cherry Custom Colour Rustic Series
- 6 Soffits: Typical Fibre Cement Panel, as per Colour Material Board

- 7 Soffits: Balconies
- 8 Exterior Walls
- 9 Exterior Walls
- 10 Exterior Walls
- 11 Exterior Walls

- HardiSoffit Panels, 1x3" battens at 4" max spacing, Colour as per Colour Material Board
- Fibre Cement Panels #1 - HardiPanel or approved eq. Cream - Colour as per Colour Material Board, c/w color matching Aluminum Reveals - Easytrim
- Fibre Cement Panels #2 - HardiPanel or approved eq. Gray - Colour as per Colour Material Board c/w color matching Aluminum Reveals - Easytrim
- Fibre Cement Boards - HardiPlank or approved eq. CREAM Horizontal siding, 7" Exposure, w/ 3" corner trims, Colour as per Colour Material Board
- Fibre Cement Boards - HardiPlank or approved eq. BROWN Horizontal siding, 7" Exposure, w/ 3" corner trims, Colour as per Colour Material Board

- 12 Exterior Walls
- 13 Exterior Walls
- 14 Feature Balcony Posts: Glulam Engineered wood columns, size as per detail, Stain Colour as per Colour Material Board
- 15 Trims: Windows, Doors 1" thick Fibre Cement HardiTrim, sizes as per detail, Colour to match adjacent panel colour
- 16 Accent Trims at Window Eyebrows: 1" thick Fibre Cement HardiTrim, sizes as per detail, Colour to match adjacent panel colour
- 17 Guard Type 1: Tempered Glass Panels in Aluminum Frames, Colour as per Colour Material Board
- 18 Guard Type 2: Aluminum Pickets and Frame Colour as per Colour Material Board

- 19 Feature Windows Window Wall: Low E Double Glazing in Aluminum Frame Window Wall, Colour as per Colour Material Board
- 20 Feature Entry Doors: Glass Panel Doors in Aluminum Frames, Colour as per Colour Material Board
- 21 Windows: Vinyl Low "E" Double Glazed, Vinyl Frames, Beige colour
- 22 Exit Doors: Insulated Core Pressed Steel Door in in Steel Frames, Colour to Match Adjacent Cladding Field Colour
- 23 Patio Doors: Tempered Safety Glass Panel Doors in Wood Frames
- 24 Gutter & RWL: Prefinished Aluminum, Colour as per Colour Material Board

- 25 Concrete Lintels, Sills & Copings: Pre-cast Architectural Concrete Architectural quality finish
- 26 Flashing: Prefinished Aluminum Colour as per Material Board
- 27 Mechanical Louvers: Prefinished Metal, Factory Painted Colour to Match Cladding Field Colour
- 28 Landscape Wall: See Landscape dwg's
- 29 Guard: Landscape See Landscape Colour as per Colour Material Board

Notes:
Colour & Material changes never occur on an outside corner (unless noted otherwise)

BUILDING D - ELEVATION



Timber Court
Phase 2
Building C & D
C - 2633 Library Lane
D - 2651 Library Lane

NORTH VANCOUVER, BC
For Polygon

Building D
Elevation
1/8" = 1'-0"
February 15, 2017

DP16.16U

SK-8.6



Timber Court
Phase 2
Building C & D
C - 2633 Library Lar
D - 2651 Library Lar
NORTH VANCOUVER, BC

For Polygon

February 16, 2017

DP16.16V

SK-11.1



Gutters:
pre-finished aluminum
Gentek: Slate 523

Roof Fascias:
1x8" on 1x12" Fibre Cement,
Solid Stain

Siding Panel colour #1:
Fibre Cement Panels, Painted

Siding Panel colour #2:
Fibre Cement Panels, Painted

Balcony Guard Rails:
East West Aluminum, Abbot Wrought Iron,
2" min. - 6mm frosted glass panels
supported on 4 sides

Balcony Glazing:
6mm Frosted
See SK-11.3 for more colours

Balcony Fascias:
1x12" Fiber Cement,
Solid Stain Pewter

Brick Lintels:
Norman Brick Size,

Concrete sills:

Aluminum Pickets:
Match Balcony Railins

Roofing:
SBS - 2 ply Roofing Membrane,
Granulated Cap sheet
Min. 2% slope

Soffit:
8 1/4" Wide Fiber Cement Board,
Wood Tone Willsbrook Cherry
Custom Colour
Rustic Series

Feature Windows:
Low E, Double Glazing Window Wall

Window Trims
Fibre Cement Trims,
Colour Matching Adjacent Siding

Typical Windows:
Low-E, Double Glazing in Vinyl Frames,
Colour: Beige

Spandrel Glass:
Colour: Chelsea Gray

Entry Canopy:
Inverse sloped wood soffit

Feature Windows:
Low E, Double Glazed,
Aluminum Charcoal colour

Entrance Wood Columns:
Wood colour

Brick Veneer:
Norman Brick Size, Smooth
Running Bond Pattern

Roof Fascias:
Cloverdale Paint
Solid Stain, Pewter EX098

Siding Panel Colour 1:
Benjamin Moore
Old Prairie, 2143-50

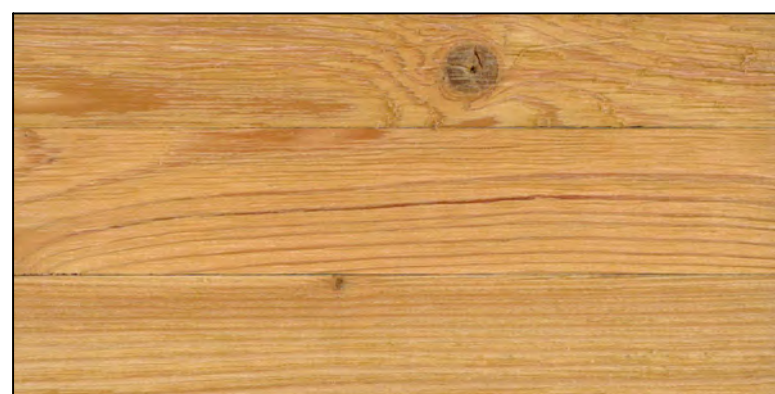
Siding Panel Colour 2:
Benjamin Moore
Pigeon Gray, 2133-50

Balcony Railings, Pickets
& Window Wall:
Benjamin Moore
Iron Mountain 2134-30

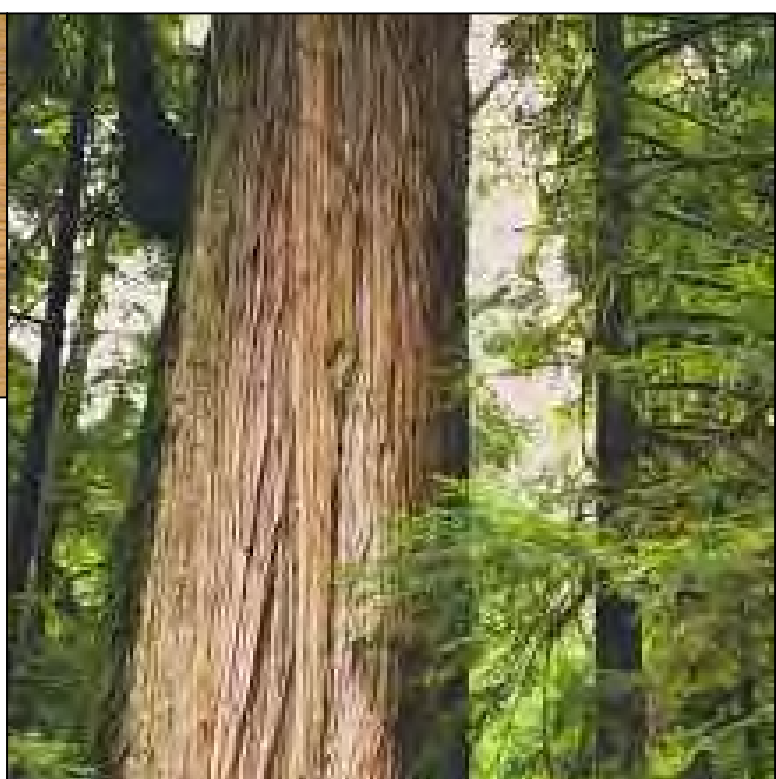
Wood Features:
Natural Clearcoat Wood colour

Brick:
Mutual Materials:
Smooth Burgundy

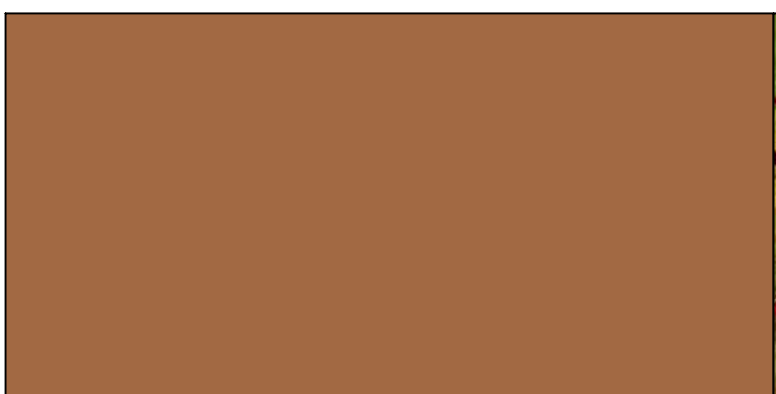
BUILDING D - COLOUR & MATERIALS



Natural Clearcoat
Wood Colour



East West Aluminum
Abbot Wrought Iron



Vicwest
QC 3234 Copper



RAYMOND LETKEMAN
architects inc.
200-970 Homer St. Vancouver B.C. V6B2W7
Tel. 604. 669. 3339 Fax 604. 669. 5661

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Revisions

Issued for Development Permit
March 15, 2016

Re-issued for Development Permit
July 15, 2016

Re-issued for Development Permit
February 16, 2017



Timber
Court

Phase 2

Building C & D

C - 2633 Library Lane

D - 2651 Library Lane

NORTH VANCOUVER, BC

For
Polygon

Feature
Colours

1/8" = 1'-0"

February 16, 2017

DP16.16W

SK-11.2



BUILDING C - FEATURE COLOURS



**Benjamin Moore
Fernwood Green
2145-40**

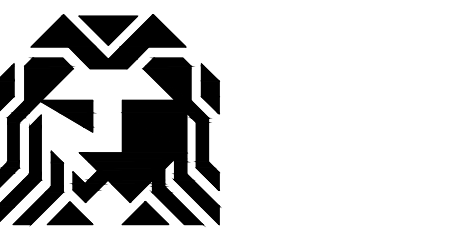


**Benjamin Moore
Sparkling Sun
2020-30**



Building D - East Elevation

BUILDING D - FEATURE COLOURS



Timber Court

Phase 2
Building C & D
C - 2633 Library Lane
D - 2651 Library Lane

NORTH VANCOUVER BC

For Polygon

Feature Colours
1/8" = 1'-0"
February 16, 2017

DP16.16X

SK-11.3



March 21, 10am



March 21, 12pm



March 21, 2pm



March 21, 6pm



June 21, 10am



June 21, 12pm



June 21, 2pm



June 21, 6pm



Sept 21, 10am



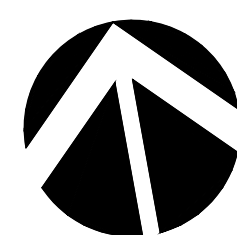
Sept 21, 12pm



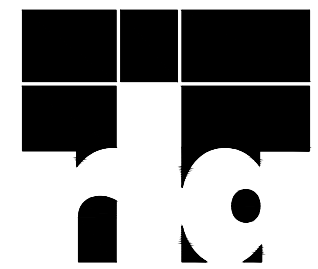
Sept 21, 2pm



Sept 21, 6pm



Shadow Analysis

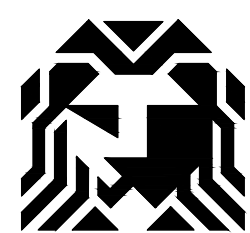


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Revisions

Issued for Development Permit
March 15, 2016
Re-issued for Development Permit
July 15, 2016
Re-issued for Development Permit
February 16, 2017



Timber Court

Phase 2

Building C & D

C - 2633 Library Lane

D - 2651 Library Lane

NORTH VANCOUVER, BC

For Polygon

Shadow Analysis

1/16" = 1'-0"

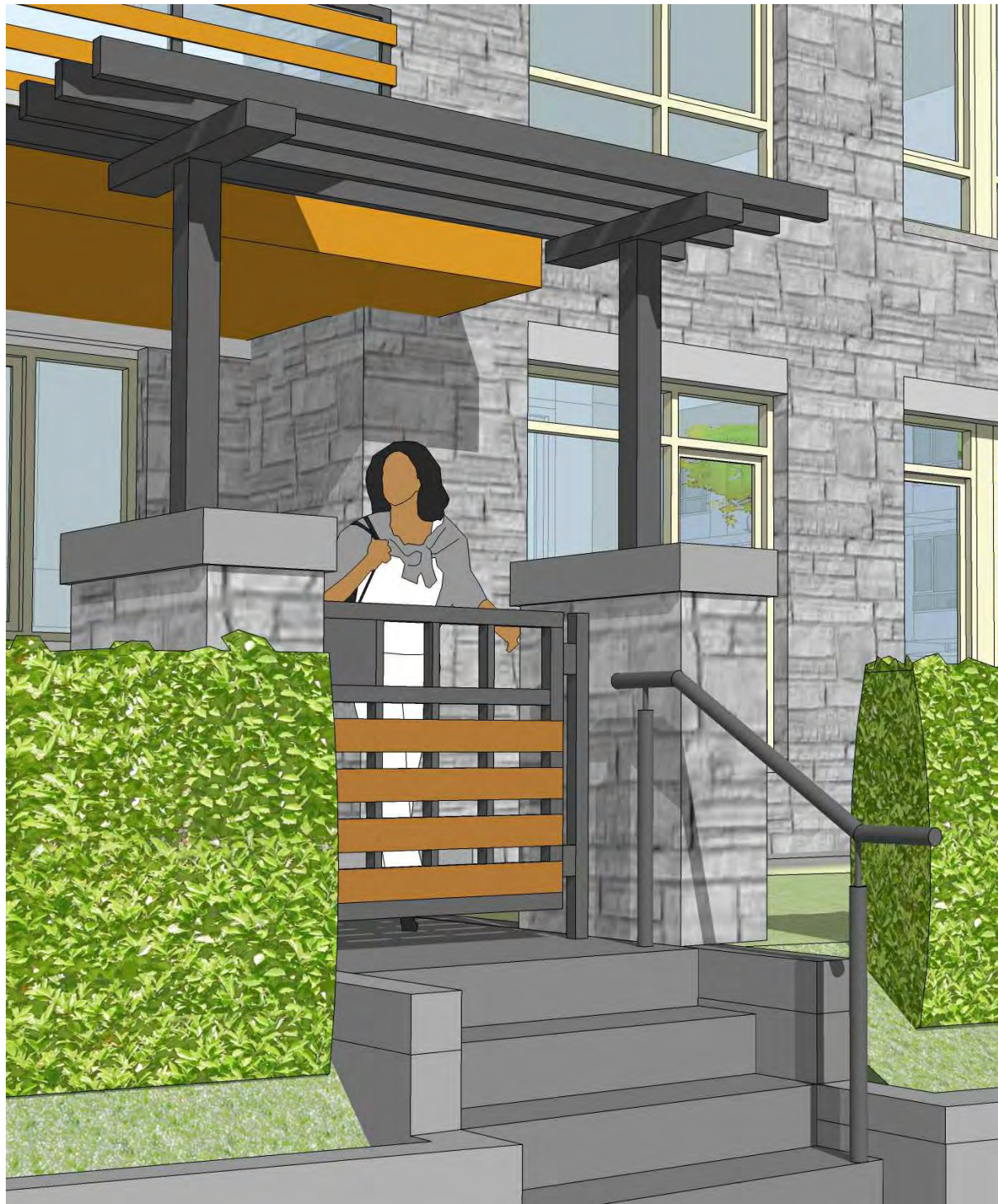
February 16, 2017

DP16.16Y

SK-12.3



10 Colour Elevation
BUILDING C
SCALE: N.T.S.



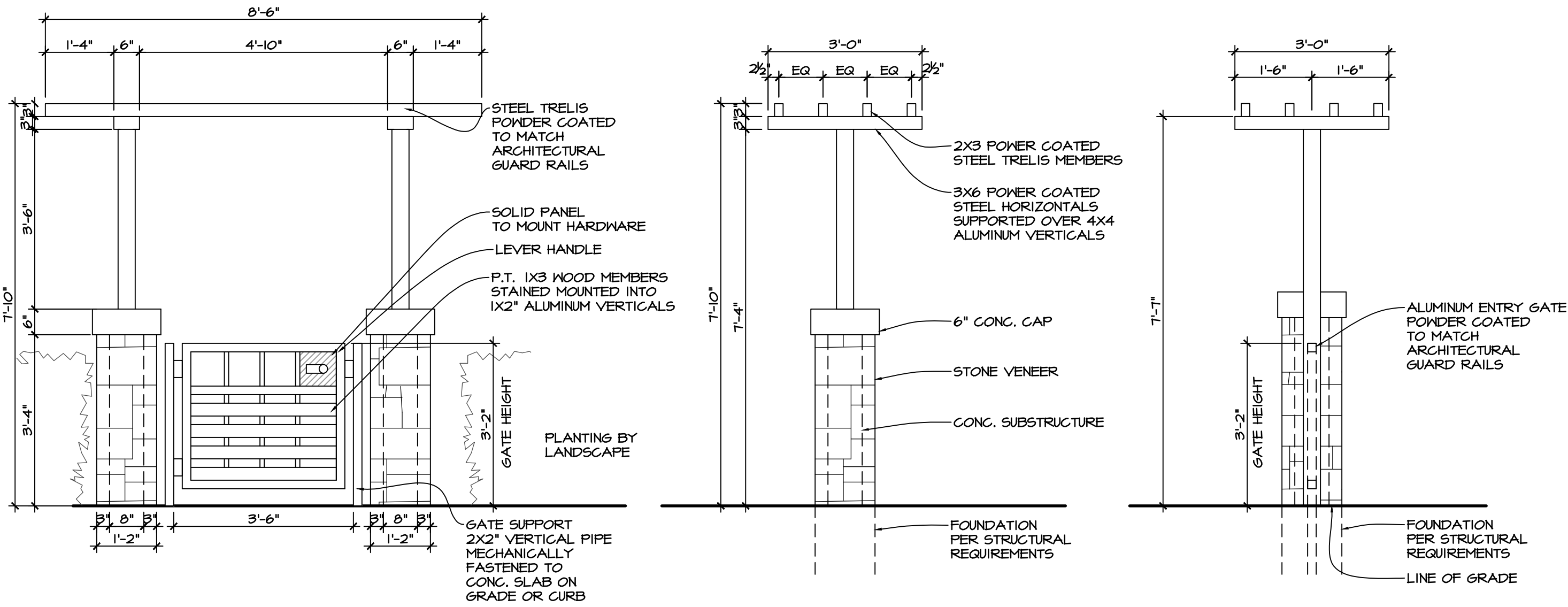
9 Model View
BUILDING C
SCALE: N.T.S.



8 Coloured Elevation
BUILDING D
SCALE: N.T.S.



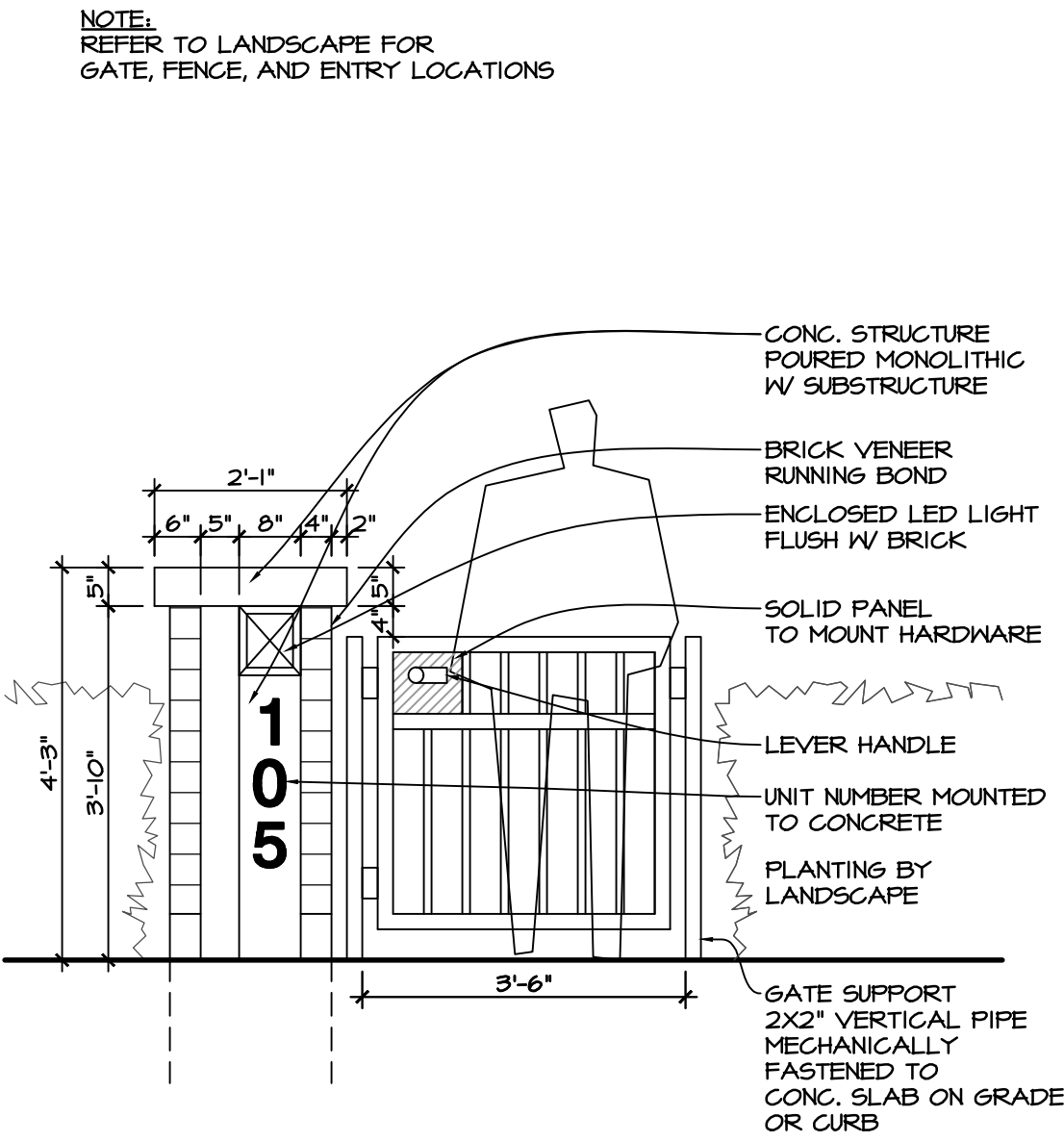
7 Model View
BUILDING D
SCALE: N.T.S.



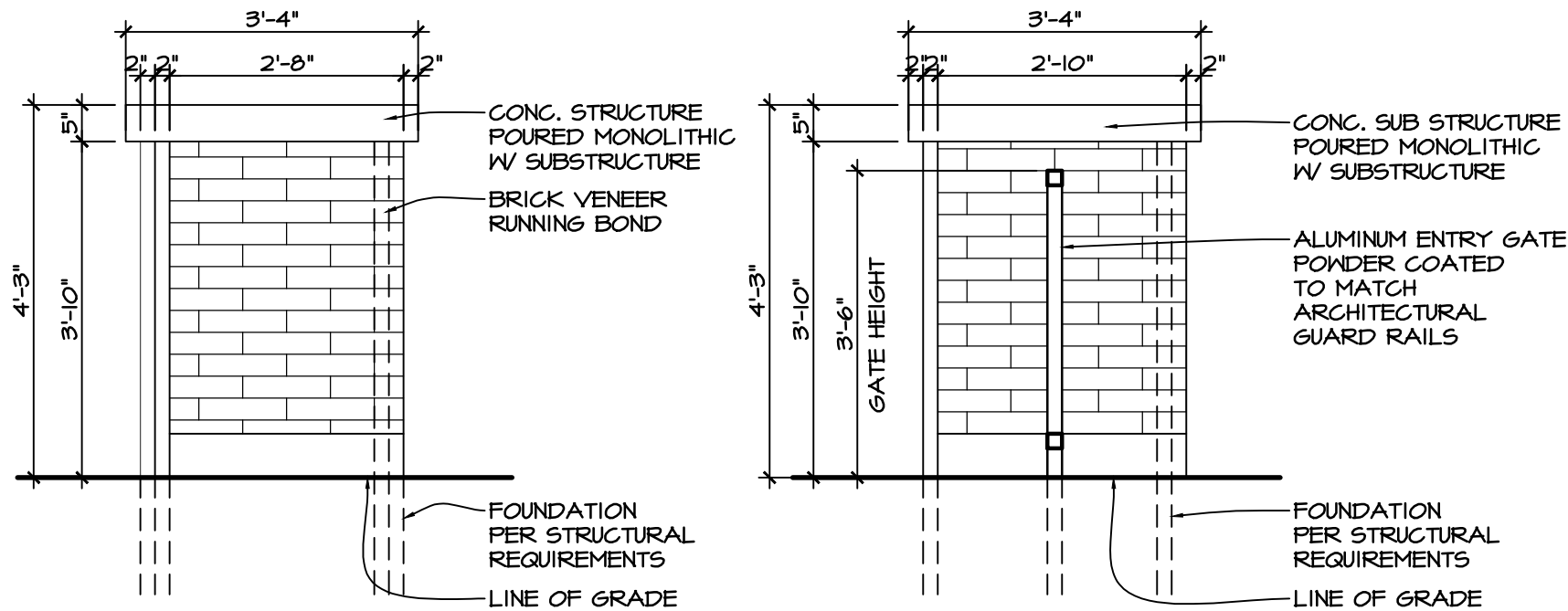
6 Front Elevation Detail
BUILDING C
SCALE: 1/2" = 1'-0"

5 Side Elevation Detail
BUILDING C
SCALE: 1/2" = 1'-0"

4 Side Elevation Detail
BUILDING C
SCALE: 1/2" = 1'-0"



3 Front Elevation Detail
BUILDING D
SCALE: 1/2" = 1'-0"



2 Side Elevation Detail
BUILDING D
SCALE: 1/2" = 1'-0"

1 Side Elevation Detail
BUILDING D
SCALE: 1/2" = 1'-0"

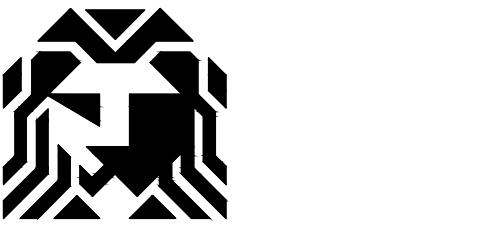
Building C

Building D

UNIT ENTRY DETAILS



VIEWS OF PEDESTRIAN PATHWAY



Timber Court

Phase 2

Building C & D

C - 2633 Library Lane

D - 2651 Library Lane

NORTH VANCOUVER, BC

For Polygon

Views of Ped
Pathway

1/2"=1'-0"
February 16, 2017

DP16.16AA

SK-13.1



3	Re-Issued for DP	02/03/2017
2	Re-Issued for DP	07/15/2016
1	Issued for DP	03/08/2016
Revision No.		Date

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Client:



Project Title:
Timber Court at Mountain Gate

Drawing Title:
Land Context

Project North:
Drawn By:
Checked By:

Scale:
Job No.:
1:300

Sheet No.:

DP16.16AB



Details Legend

1 L5.0	Concrete Pedestrian Paving
2 L5.0	Concrete Unit Pavers
3 L5.0	Hydrapressed Slab Pavers
4 L5.0	Concrete Planter Wall
5 L5.0	Allan Block Wall
6 L5.0	Wood Crib Curb
7 L5.0	CIP Concrete Stair
8 L5.0	Aluminium Fence
9 L5.1	Aluminium Gate
10 L5.1	Wood Fence
11 L5.1	Wood Gate
12 L5.1	Play Structures
13 L5.1	Bench
14 L5.1	Bike Racks
15 L5.2	Wood Arbor
16 L5.2	Boulevard Tree District Detail
17 L5.3	Environmental Fence Detail
18 L5.3	Environmental Fence Detail
19 L5.3	Environmental Fence Detail
20 L5.3	Environmental Fence Detail
21 L5.3	Environmental Fence Detail

3	Re-Issued for DP	02/03/2017
2	Re-Issued for DP	07/15/2016
1	Issued for DP	03/08/2016
Revision No.		Date

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Client:



Project Title:
Timber Court at Mountain Gate

Drawing Title:
Landscape Building

Project North:	Drawn By:
	Checked By:
Scale:	Job No.:
1:150	
Sheet No.:	

District of North Vancouver Notes:

- The District of North Vancouver is responsible for the on-going maintenance of street on off-site areas. Please ensure that the developer is aware that on-going maintenance of shrubs/groundcover on off-site areas (i.e. boulevards) is the responsibility of the future property owner
- The project landscape contractor, the project landscape architect and a District of North Vancouver Parks (DNV Parks) representative must be present at the project pre-construction meeting. If this is not possible, the developer must make sure that all three groups meet before any landscape construction work takes place onsite.
- All plant material used in this project must first be inspected by a representative of the District of North Vancouver parks department (DNV Parks) before installation. The District of North Vancouver has the right to refuse any or all of the selected plant material if it does not meet current BCLNA standards.
- Final approval/selection of any off-site street trees/site furniture will be made by DNV staff. The tree species/furniture types specified on this plan could be subject to change. Please contact DNV Park and Urban Design Dimitri Samaridis (samaridis@dnv.org or 604-990-2495) to confirm tree and site furniture types prior to purchase.

DP16.16AC



- Details Legend
- 1 Concrete Pedestrian Paving
 - 2 Concrete Unit Pavers
 - 3 Hydrapressed Slab Pavers
 - 4 Concrete Planter Wall
 - 5 Allan Block Wall
 - 6 Wood Crib Curb
 - 7 CIP Concrete Stair
 - 8 Aluminium Fence
 - 9 Aluminium Gate
 - 10 Wood Fence
 - 11 Wood Gate
 - 12 Play Structures
 - 13 Bench
 - 14 Bike Racks
 - 15 Wood Arbor
 - 16 Boulevard Tree District Detail
 - 17 Environmental Fence Detail
 - 18 Environmental Fence Detail
 - 19 Environmental Fence Detail
 - 20 Environmental Fence Detail
 - 21 Environmental Fence Detail

3	Re-Issued for DP	02/03/2017
2	Re-Issued for DP	07/15/2016
1	Issued for DP	03/08/2016
Revision No.		Date

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Client:



Project Title:
Timber Court at Mountain Gate

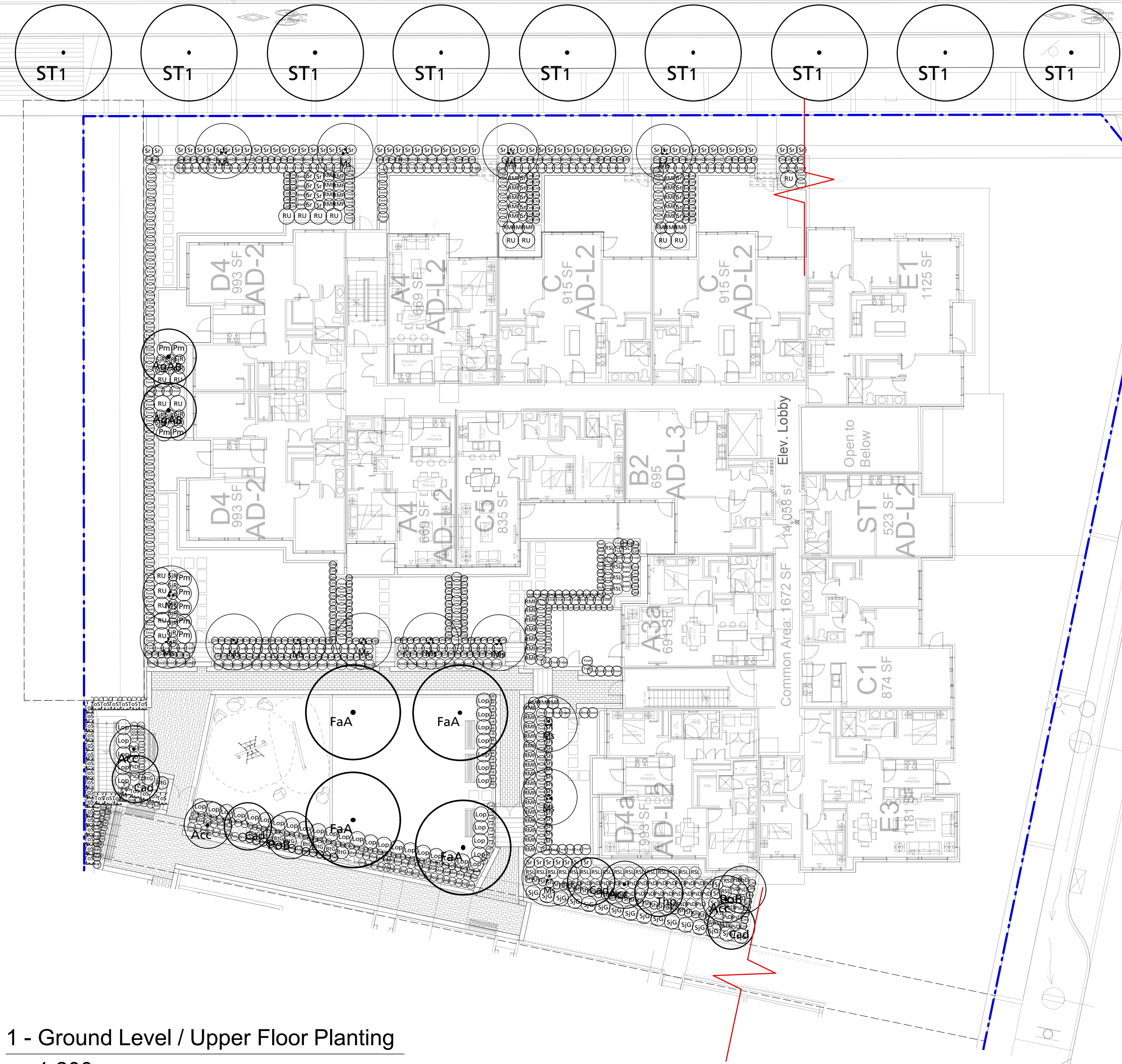
Drawing Title:
Landscape Build

Project North:
Drawn By:
Checked By:
Scale:
Job No.:
Sheet No.:

District of North Vancouver Notes:

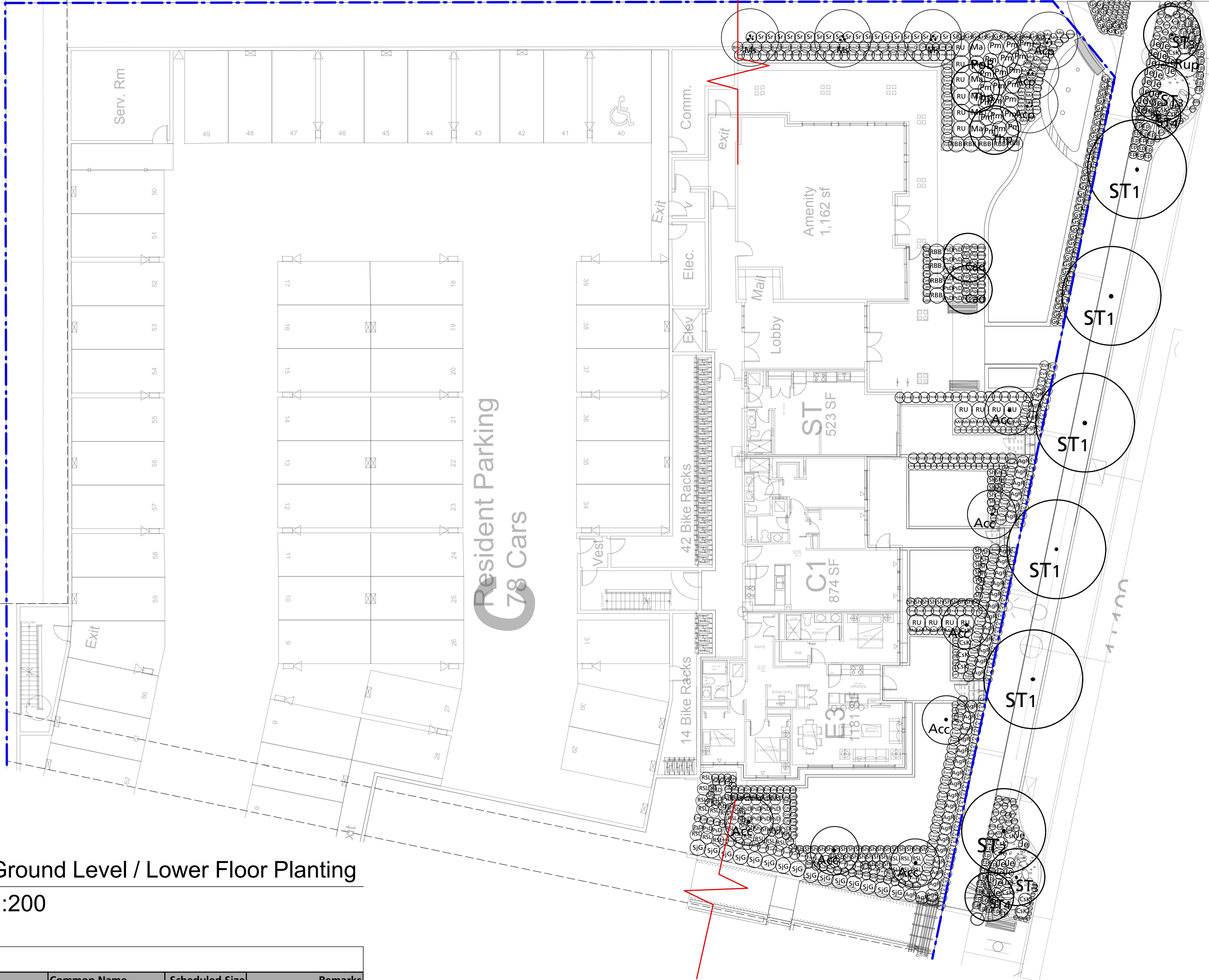
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DP16.16AD



1 - Ground Level / Upper Floor Planting

1:200



2 - Ground Level / Lower Floor Planting

1:200

NOTES:

- All street tree species to be determined by the District of North Vancouver. Final location and spacing of street trees to be reviewed and approval by the District Engineering Department.
- All off-site landscape to utilize "Harvest Power Garden Blend" soil as per District of North Vancouver recommendation.
- Landscape contractor to schedule a pre-construction meeting with DNV Park Designer Brad Snelling and Parks Horticulture Foreman Trisha McCarthy prior to installation of any plant material on this project.
- The District of North Vancouver is responsible for the on-going maintenance of street on off-site areas. Please ensure that the developer is aware that on-going maintenance of shrubs/groundcover on off-site areas (i.e. boulevards) is the responsibility of the future property owner
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GENERAL PLANTING NOTES:

- 1) All planting and landscape installation to meet or exceed the BCSLA/BCLNA landscape standards
- 2) As a minimal acceptable standard:
- a) Sizes on the plant list shall be considered minimum sizes
- b) Root balls to be free of pernicuous weeds
- 3) Contractor to ensure all plant material delivered to site is from nurseries certified to be free from the phytophthora ramorum virus (sudden oak death) removal and replacement of plant material found to contain the virus to be at the contractor's expense.
- 4) The contractor shall supply all plant materials shown on all drawings.
- 5) No container grown stock will be accepted if it is root bound. All root wrapping material made of synthetics or plastics shall be removed at time of planting. Container grown stock, shall have the container removed and the rootball be cleanly scored in two vertical locations.
- 6) Contractor to submit a representative sample of the proposed topsoil for testing to Pacific Soil Analysis. Contractor is responsible for arranging and payment of soil analysis and amendments to growing medium as recommended by the laboratory. Contractor shall instruct soil testing lab to submit results directly to the consultant for approval prior to commencement of work.
- 7) Contractor to provide landscape architect a copy of all packing slips received from nursery listing names and quantities of all plant stock supplied to site.
- 8) The contractor shall locate and verify the existence of all utilities prior to starting work.
- 9) All plants shall be watered thoroughly twice during the first 24-hour period after planting. All plants shall then be watered as necessary during the establishment period.
- 10) Contractor to provide one (1) year establishment maintenance, including watering and replacement of all dead/dying plant materials.
- 11) Final plant arrangements to be determined on site with landscape consultant present.

Plant List - Building C				
Symbol	Qty.	Botanical Name	Common Name	Scheduled Size
Trees				
Acc	11	Acer circinatum	Vine Maple	2m ht.
Acc	3	Acer palmatum	Japanese Maple	2.5m height
Acc	2	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6m cal.
Acc	6	Calceolus decurrens	Japanese Cedar	2m ht. 8-10
FaA	4	Fraxinus americana 'Autumn Applause'	Autumn Applause White Ash	6m cal. W8
Acc	17	Magnolia stellata	Star Magnolia	2m ht.
Acc	1	Picea sitchensis 'Blue'	Blue Spruce	2m ht. 8-10
ST1	1	Street Tree - Type 2 Deciduous		Species subject to City approval
ST1	1	Street Tree - Type 3 - Coniferous		Species subject to City approval
ST1	2	Street Tree - Type 4 - Coniferous		Species subject to City approval
ST1	14	Street Tree - Type 1 - Deciduous		Species subject to City approval
ST1	3	Thuja plicata	Western Red Cedar	2.5m ht. 8-10
Shrubs				
Acc	43	Abelia x grandiflora 'Rose Creek'	Rose Creek Abelia	#2 pot
Acc	10	Berberis thunbergii 'Sentry'	Royal Burgundy Barberry	#2 pot
Acc	66	Calluna vulgaris 'Firefly'	Firefly Scotch Heather	#1 pot
Acc	16	Cornus sericea 'Kelsey'	Kelsey Dogwood	#2 pot
Acc	60	Gaultheria phillyifolia	Silla	#2 pot
Acc	38	Lonicera pileata	Private Honeyuckle	#2 pot
Acc	6	Mahonia aquifolium	Oregon Grape	#2 pot
Acc	44	Mahonia nervosa	Lordly Mahonia	#2 pot
Acc	25	Mahonia repens	Creeeping Mahonia	#2 pot
Acc	43	Handia domestica 'Fire Power'	Fire Power Heavenly Bamboo	#3 pot
Acc	3	Rhododendron 'Snow Bell'	Snow Bell Rhododendron	#3 pot
Acc	30	Rhododendron 'Mary Fleming'	Mary Fleming Rhododendron	#3 pot
Acc	48	Rhododendron 'Snow Lady'	Snow Lady Rhododendron	#3 pot
Acc	32	Rhododendron 'Unique'	Unique Rhododendron	#3 pot
Acc	1	Rubus pavilliflorus	Thimbleberry	#3 pot
Acc	123	Sarcococca hookeriana var. humilis	Dwarf Sweet Box	#2 pot
Acc	112	Sarcococca nandifolia	Fraseri Sarcococca	#3 pot
Acc	20	Skimmia japonica 'Rubella'	Skimmia	#3 pot
Acc	11	Spinaea japonica 'Goldmound'	Goldmound Spirea	#3 pot
Acc	437	Taxus x media 'Hicksii' (male form)	Hicksii Yew (male form)	4' ht

Fls	12	Thuja occidentalis 'Smaragd'	Emerald Green Cedar	6' to 8'	B&B	Hedge
Groundcovers, Vines, Ferns, Perennials and Grasses						
Acc	48	Adiantum pedatum	Yarrow	#1 pot		
Acc	16	Adiantum millefolium	Maidenhair Fern	#1 pot		
Acc	38	Alchemilla mollis 2	Lady's Mantle	#1 pot		
Acc	67	Brunnera macrophylla 'Dawson's White'	Sturtevant Bugloss	#1 pot		
Acc	10	Carex flacca	Blue Creeping Sedge	#1 pot		
Acc	286	Carex rostrata 'Ice Dance'	Variegated Japanese Sedge	#1 pot		
Acc	11	Carex oshimensis 'Evergold'	Sedge	#1 pot		
Acc	32	Echinacea purpurea	Purple Coneflower	#1 pot		
Acc	37	Fragaria chiloensis	Coastal Strawberry	#1 pot		
Acc	41	Hakonechloa macra 'Aureola'	Japanese Forest Grass	#1 pot		
Acc	16	Hemerocallis 'Stella de Oro'	Stella de Oro Daylily	#1 pot		
Acc	30	Impatiens cylindrica 'Rubra'	Japanese Bloodcrass	#1 pot		
Acc	38	Iris ensata 'Variegata'	Variegated Japanese Iris	#1 pot		
Acc	31	Juncus effusus	Common Rush	plugs		*wetland plant
Acc	25	Liatris pycnostachya 'Kobold'	Kobold Blackening Star	#1 pot		
Acc	60	Liriodie muscari 'Silver Sunproof'	Variegated Lilyturf	#1 pot		
Acc	30	Polystichum munitum	Western Sword Fern	#1 pot		
Acc	80	Polystichum setiferum 'Divisilobum'	Soft Shield Fern	#2 pot		
Acc	18	Sedum telephium 'Autumn Joy'	Autumn Joy Sedum	#1 pot		
Acc	11	Wahlenbergia communis	Tufted Bluebell	#1 pot		

3	Re-Issued for DP	02/03/2017
2	Re-Issued for DP	07/15/2016
1	Issued for DP	03/08/2016
Revision No.		Date

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Client:



Project Title:

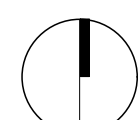
Timber Court at Mountain Gate

Drawing Title:

Planting

Project North:

Drawn By:



Checked By:

Scale:

Job No.:

1:200

Sheet No.:

DP16.16AE
L-3.0



1 - Ground Level / Upper Level Planting

1:200

2 - Ground Level / Lower Level Planting

1:200

GENERAL PLANTING NOTES:

- All planting and landscape installation to meet or exceed the BCSLA/BCLNA landscape standards
- As a minimal acceptable standard:
- Sizes on the plant list shall be considered minimum sizes
- Root balls to be free of pernicious weeds
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- Contractor to provide landscape architect a copy of all packing slips received from nursery listing names and quantities of all plant stock supplied to site.
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- All plants shall be watered thoroughly twice during the first 24-hour period after planting. All plants shall then be watered as necessary during the establishment period.
- Contractor to provide one (1) year establishment maintenance, including watering and replacement of all dead/dying plant materials.
- Final plant arrangements to be determined on site with landscape consultant present.

Plant List - Building D					
Symbol	Qty.	Botanical Name	Common Name	Scheduled Size	Remarks
Trees					
Acc	23	Acer circinatum	Vine Maple	2m ht.	
Acq	9	Acer glabrum	Paperbark Maple	6m cal.	
Ced	1	Calocedrus decurrens	Incense Cedar	3m ht. B&B	
Ma	12	Magnolia stellata	Star Magnolia	2m ht.	
Rob	3	Picea omorika 'Brusa'	Brusa Serbian Spruce	2m ht. min.	
ST2	1	Street Tree - Type 2: Deciduous			Species subject to City approval
ST3	2	Street Tree - Type 3: Coniferous			Species subject to City approval
ST4	1	Street Tree - Type 4: Coniferous			Species subject to City approval
ST1	6	Street Tree - Type 1: Deciduous			Species subject to City approval
ST	0				
Shrubs					
Auc	1	Arbutus unedo 'Compacta'	Compact Strawberry Bush	#2 pot	
Bis	1	Berberis thunbergii 'Sentry'	Royal Burgundy Barberry	#2 pot	
BmW	44	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	#2 pot	
Cat	7	Calluna vulgaris 'Fragrant'	Heath	#2 pot	groundcover
Csk	31	Cornus sericea 'Kelley'	Kelley Dogwood	#2 pot	
GS	193	Gaultheria shallon	Salal	#2 pot	*native
Lsp	1	Lonicera siliata	Private Honeyuckle	#2 pot	
Ma	53	Mahonia aquifolium	Oregon Grape	#2 pot	
Mn	113	Mahonia nervosa	Jonquil Mahonia	#2 pot	
Mar	20	Mahonia repens	Creeping Mahonia	#2 pot	Low Growing
Nep	90	Nandina domestica 'Fire Power'	Fire Power Heavenly Bamboo	#2 pot	
RKF	86	Rhododendron 'Mary Fleming'	Mary Fleming Rhododendron	#3 pot	
RL	86	Rhododendron 'Snow Lady'	Snow Lady Rhododendron	#3 pot	
RJ	72	Rhododendron 'Unique'	Unique Rhododendron	#3 pot	
Rup	8	Rubus parviflorus	Dwarf Sweet Box	#2 pot	
Sh	55	Sarcococca hookeriana var. humilis	Thimbleberry	#2 pot	
Sr	84	Sarcococca nassella	Fragrant Sarcococca	#3 pot	
SG	3	Spirea japonica 'Goldmound'	Goldmound Spirea	#2 pot	
TMH	586	Taxus x media 'Hicksii' (male form)	Hicksii Yew (male form)	4' ht	Hedge

NOTES:

- All street tree species to be determined by the District of North Vancouver. Final location and spacing of street trees to be reviewed and approval by the District Engineering Department.
- All off-site landscape to utilize "Harvest Power Garden Blend" soil as per District of North Vancouver recommendation.
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Tos	114	Thuja occidentalis 'Smaragd'	Emerald Green Cedar	6' ht. B&B	Hedge
Groundcovers, Vines, Ferns, Perennials and Grasses					
Alm 2	30	Alchemilla mollis 2	Yarrow	#1 pot	
Alm 2	30	Alchemilla mollis 2	Lady's Mantle	#1 pot	
Cl	24	Carex flacca	Blue Creeping Sedge	#1 pot	
Cml	158	Carex morrowii 'Ice Dance'	Variegated Japanese Sedge	#1 pot	
Ed	24	Echinacea purpurea	Sage	#1 pot	
Ep	45	Echinacea purpurea	Purple Coneflower	#2 pot	
Hj	25	Hosta 'June'	June Hosta	#1 pot	
Je	55	Juncus effusus	Common Rush	plugs	*wetland plant
Sp	160	Ophiopogon planiscapus 'Nipescens'	Black Mondo Grass	#1 pot	Groundcover
PL	575	Pachysandra terminalis	Japanese Spurge	#1 pot	Groundcover
Pm	25	Polystichum munitum	Western Sword Fern	#1 pot	
Pd	80	Polystichum setiferum 'Discolorum'	Soft Shield Fern	#2 pot	
S/A	12	Sedum rupestre 'Angelina'	Angelina Stonecrop	#1 pot	

3	Re-Issued for DP	02/03/2017
2	Re-Issued for DP	07/15/2016
1	Issued for DP	03/08/2016
Revision No.		Date

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Client:



POLYGON
POLYGON PACIFIC HOMES LTD.
900-1333 WEST BROADWAY
VANCOUVER BC V6H 4C2
TEL 604.877.1131

Project Title:

**Timber Co
Mountain**

Drawing Title:

**Planting
Build**

Project North:

Drawn By:

Checked By:

Scale:

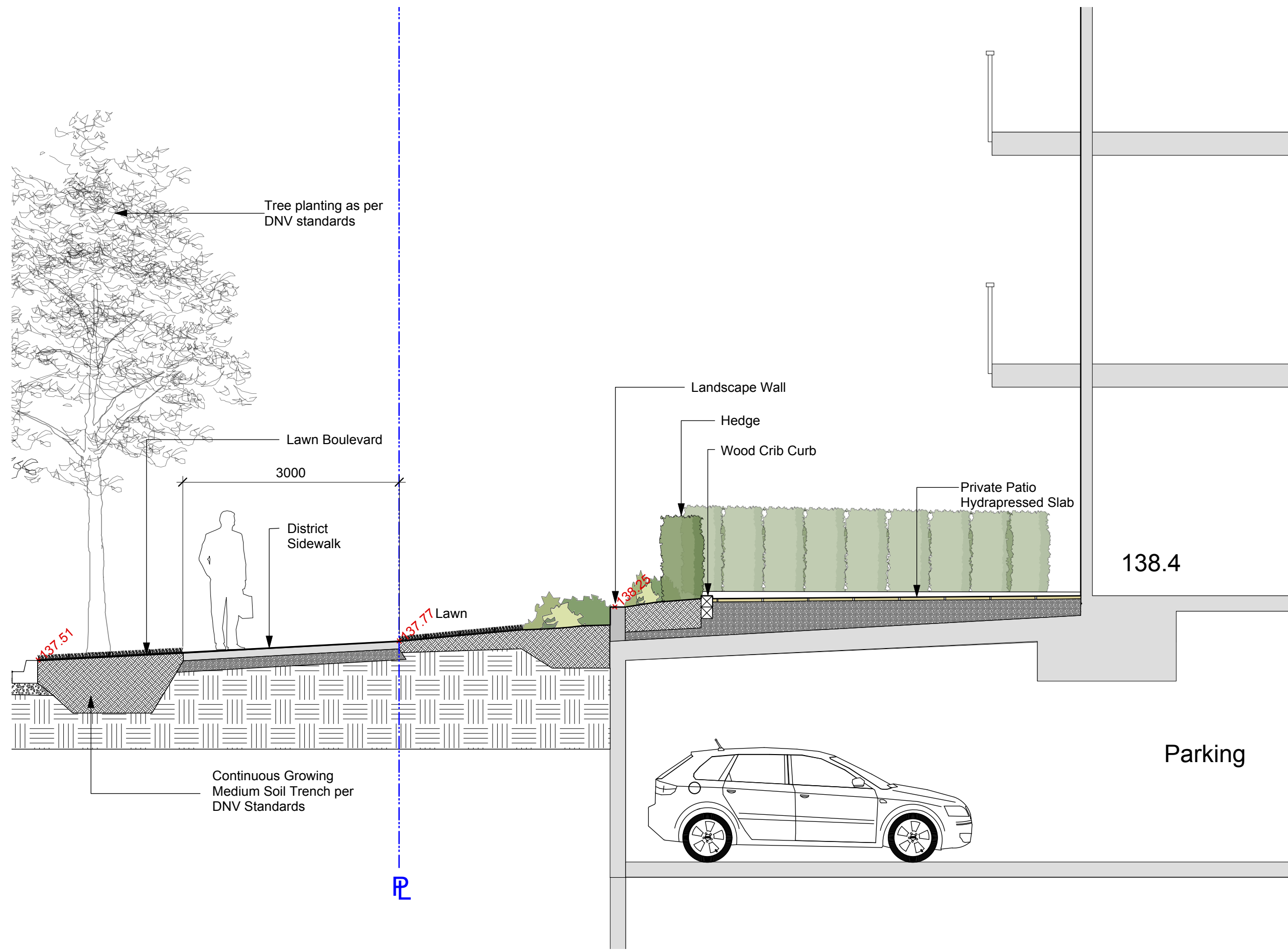
1:200

Sheet No.:

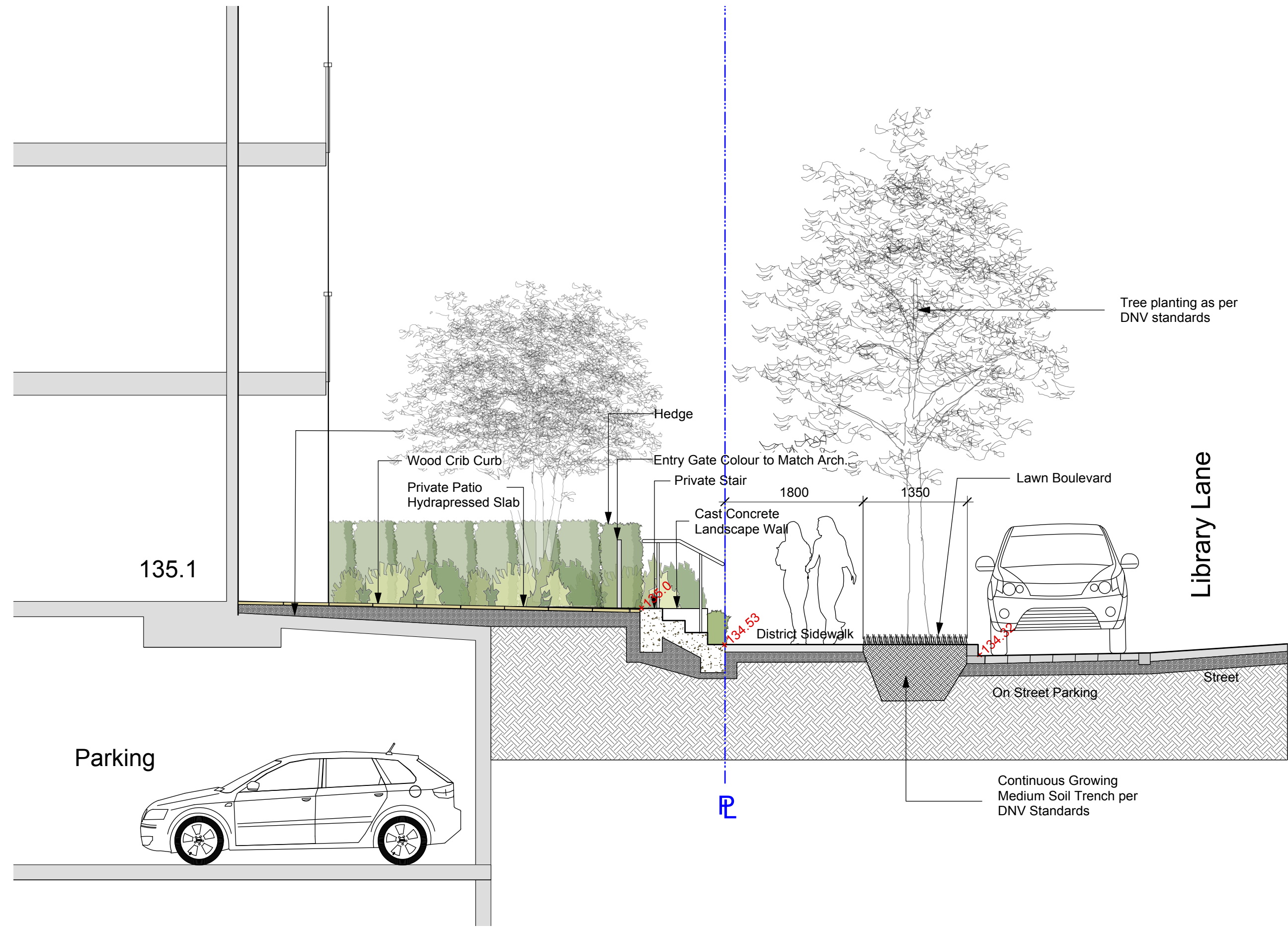
Job No.:

DP16.16AF

L-3.1



1 Section 1 East 27th Street
1:50



2 Section 2 Library Lane
1:50



3 Section 3 Central Courtyard
1:50

1 Re-Issued for DP
Revision No. 02/03/2017
Date

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Client:



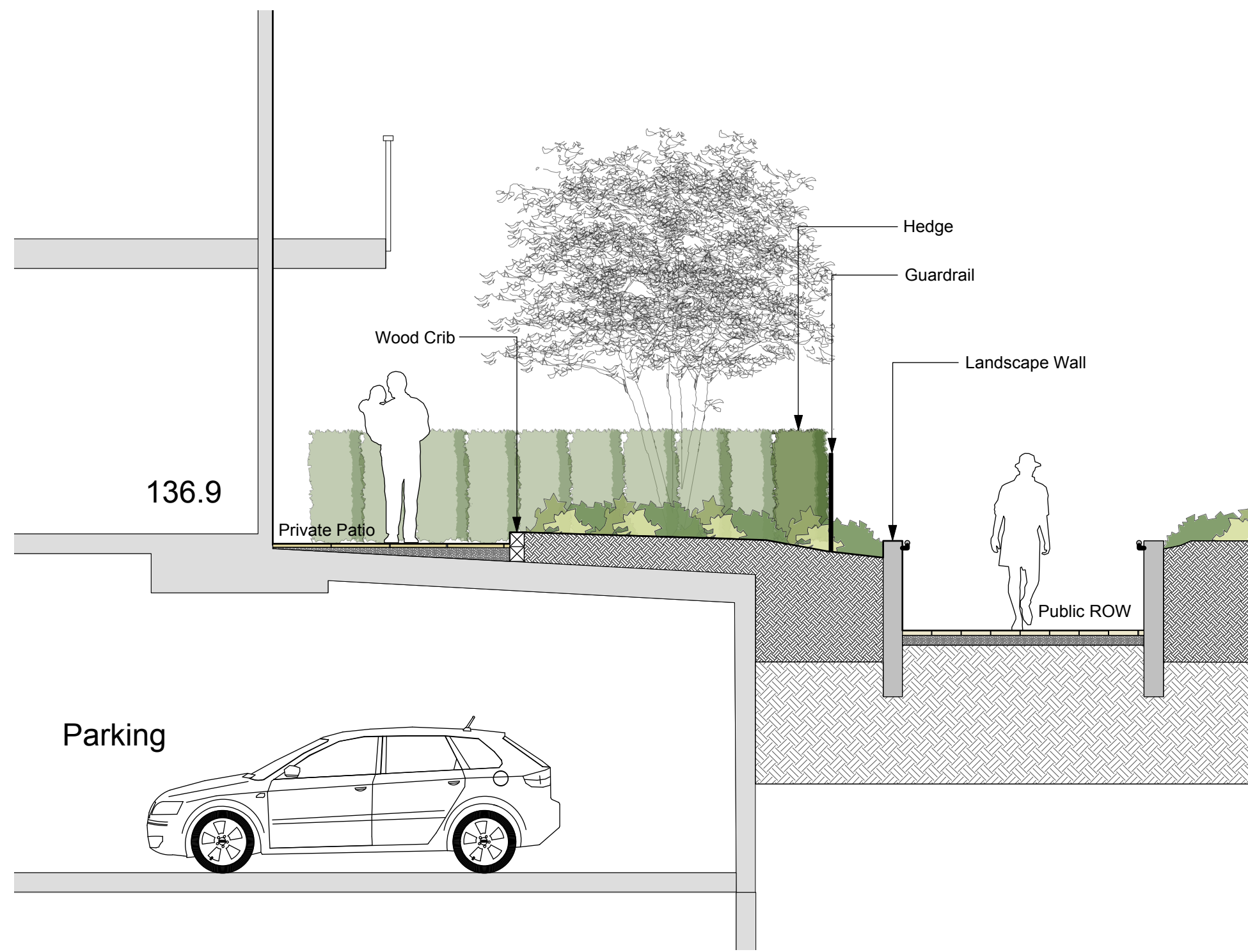
Project Title: **Timber Court**
East 27th St
North Vancouver

Drawing Title: **Landscape Sec**
Buildi

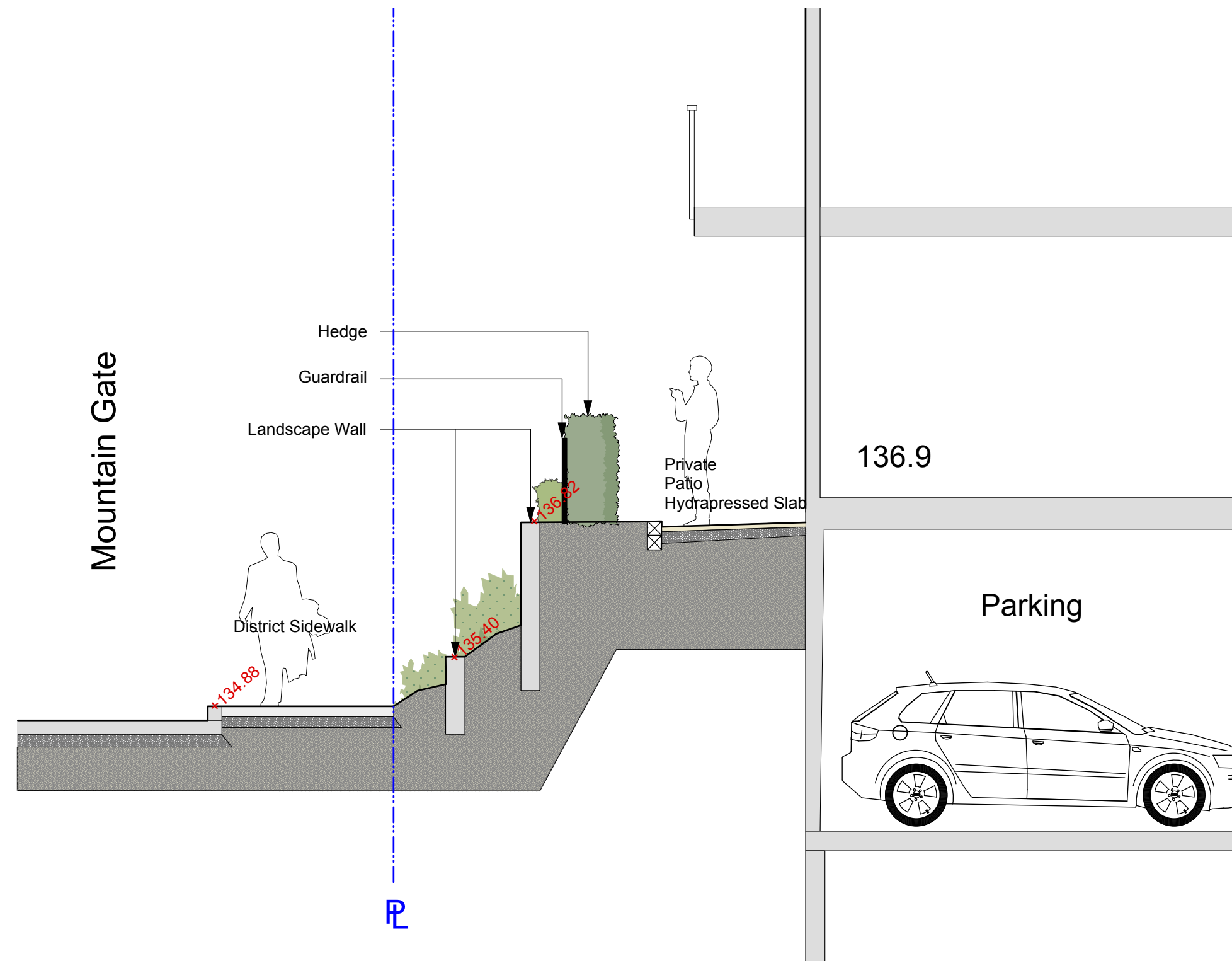
Project North: Drawn By:
Checked By:
Scale: Job No.:
1:50
Sheet No.:

DP16.16AG

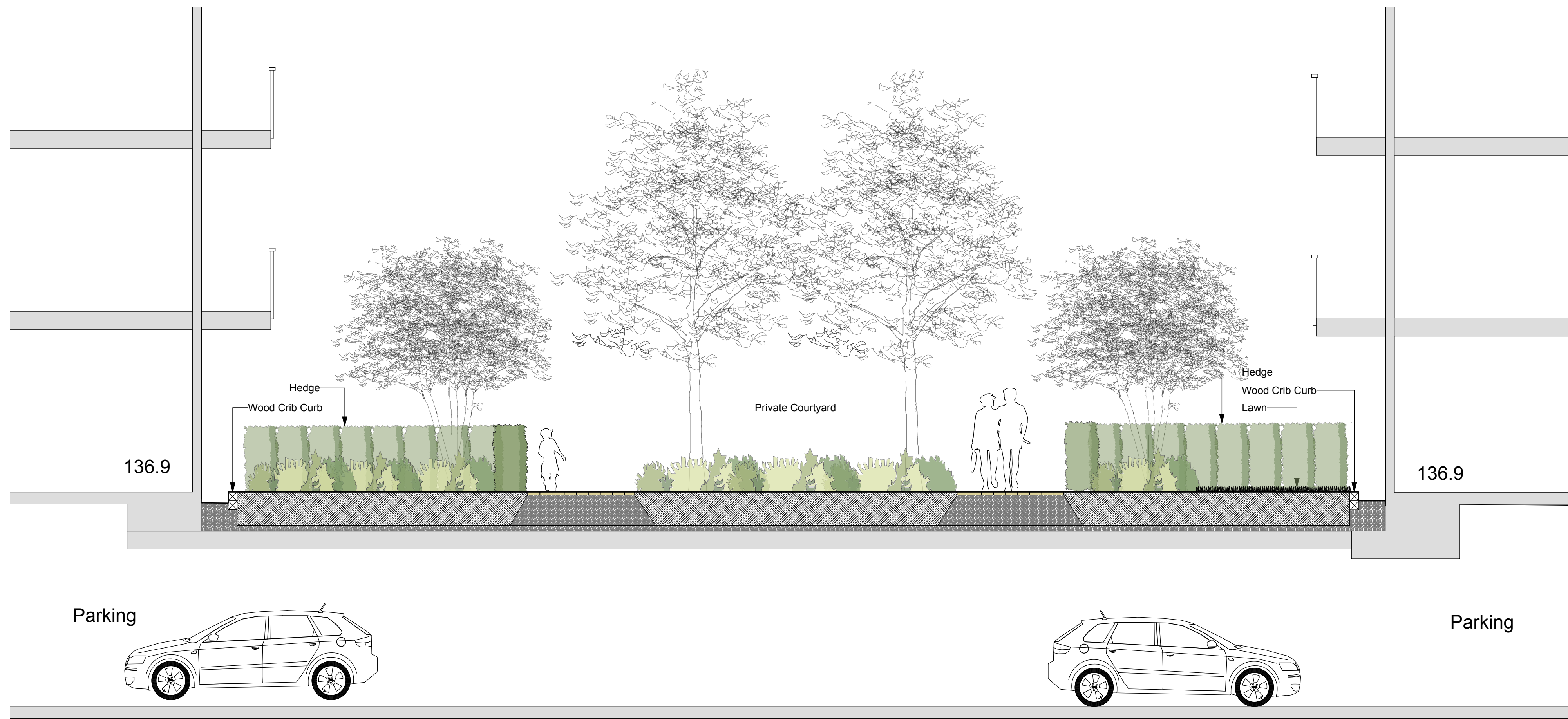
L-4.0



1 Section 1 Through Central Corridor
1:50



2 Section 2 Mountain Gate
1:50



3 Section 3 Central Courtyard
1:50

1 Re-Issued for DP
Revision No. 02/03/2017
Date

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Client:

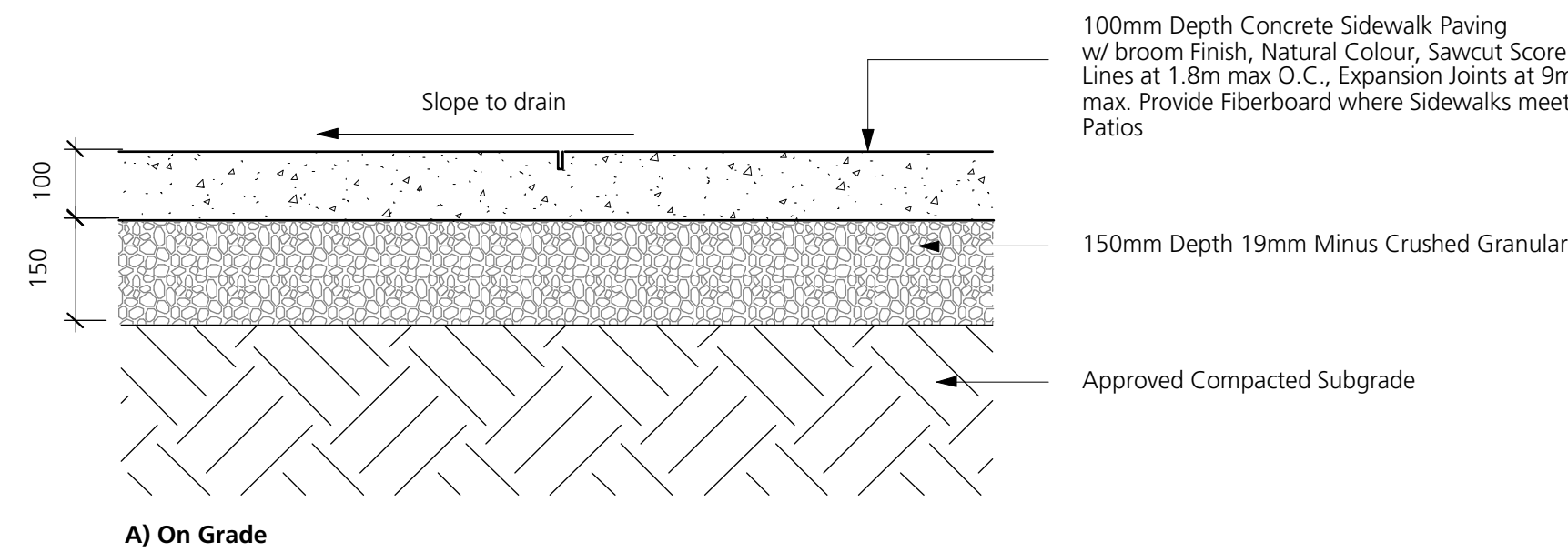


Project Title: **Timber Creek East 27th North Vancouver**
Drawing Title: **Landscape Section Build**

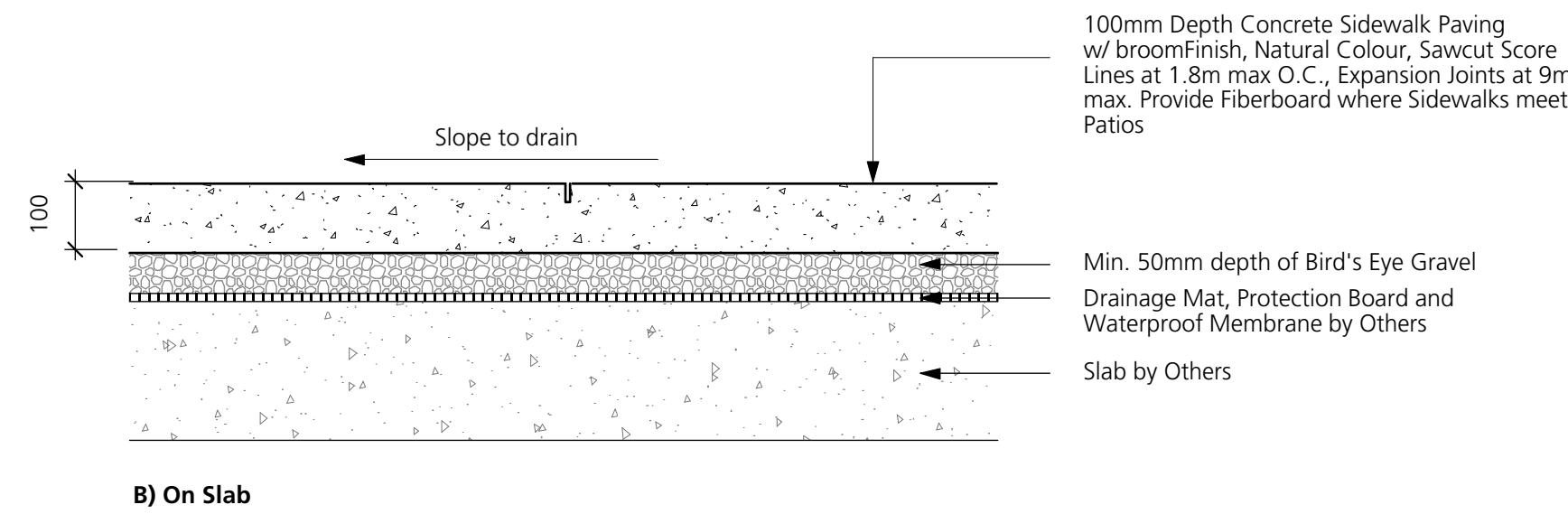
Project North: Drawn By: Checked By:
Scale: 1:50 Job No.:
Sheet No.:

DP16.16AH

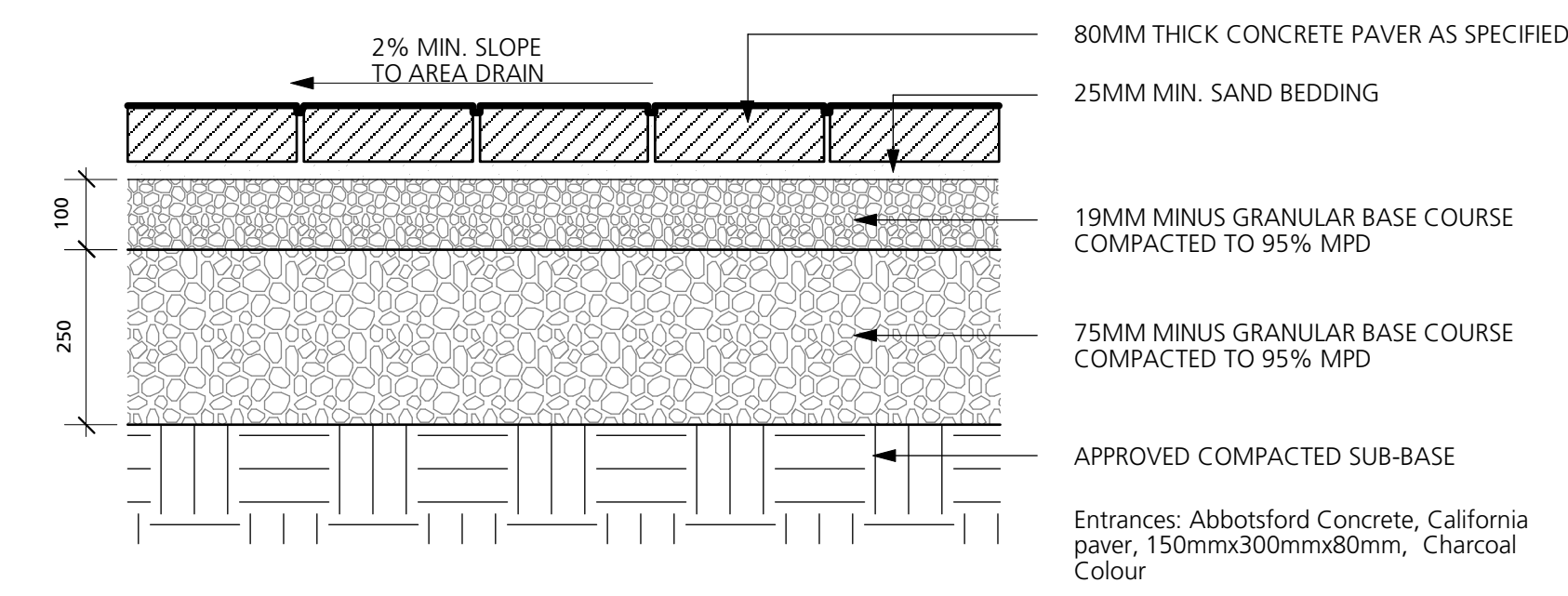
L-4.1



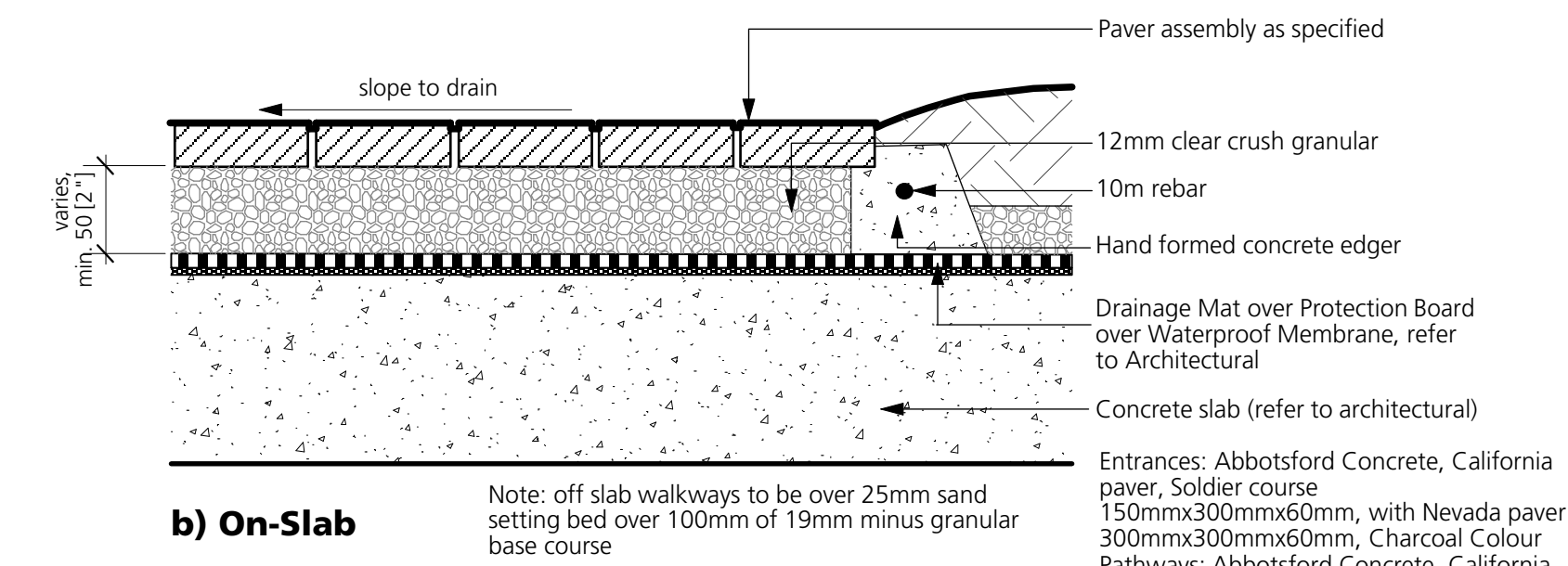
1 Concrete Pedestrian Paving
1:10



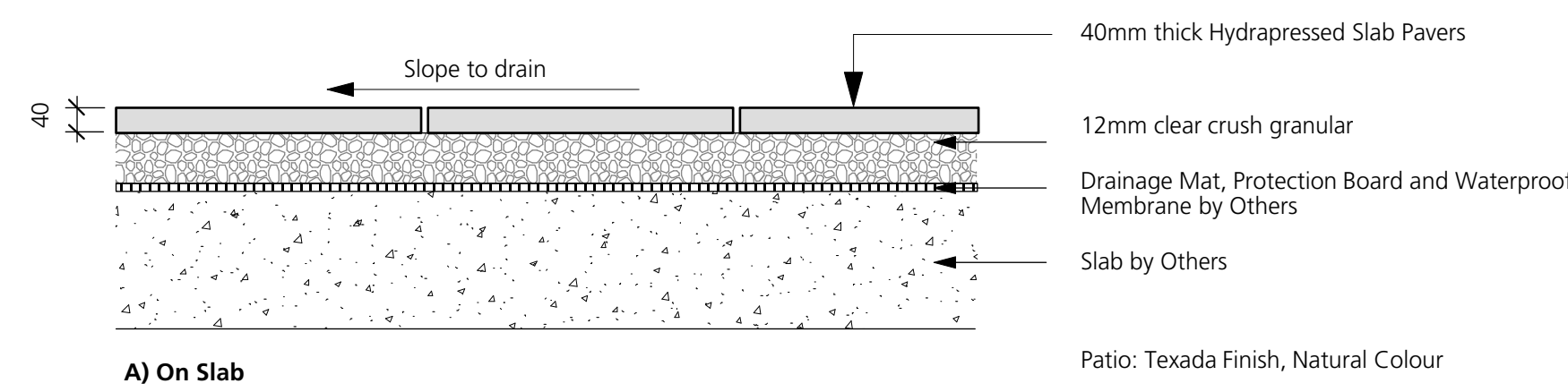
B) On Slab



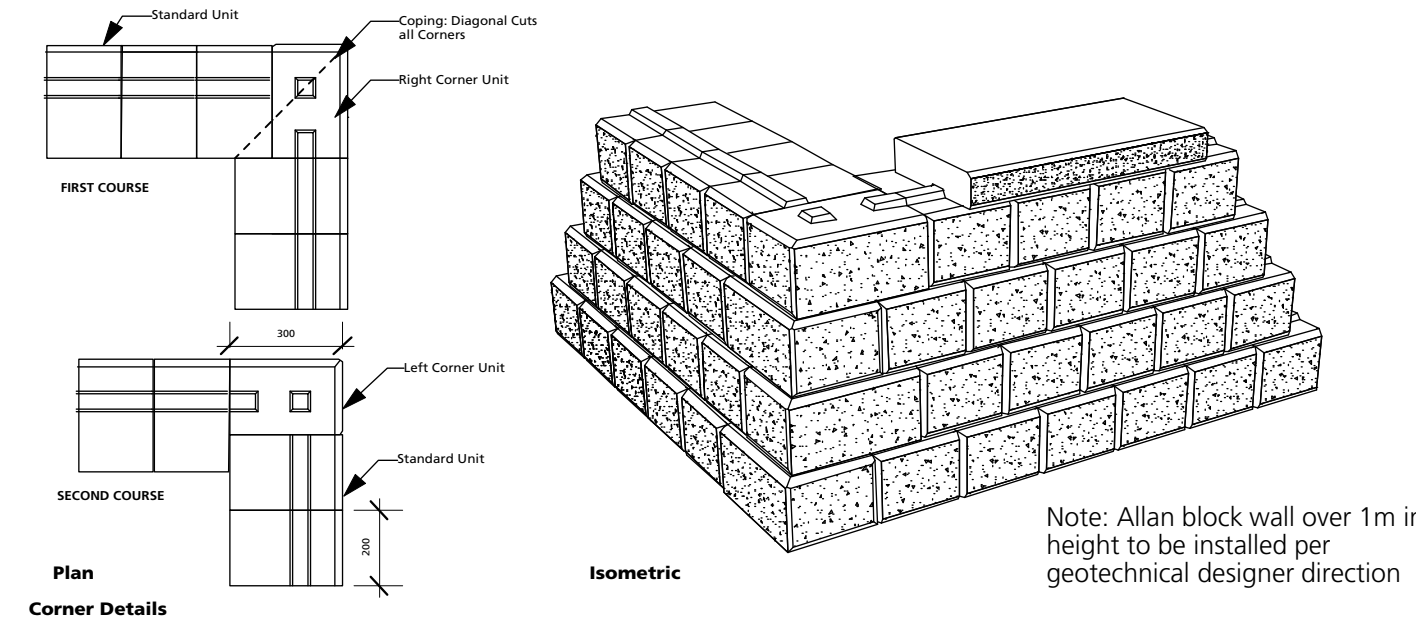
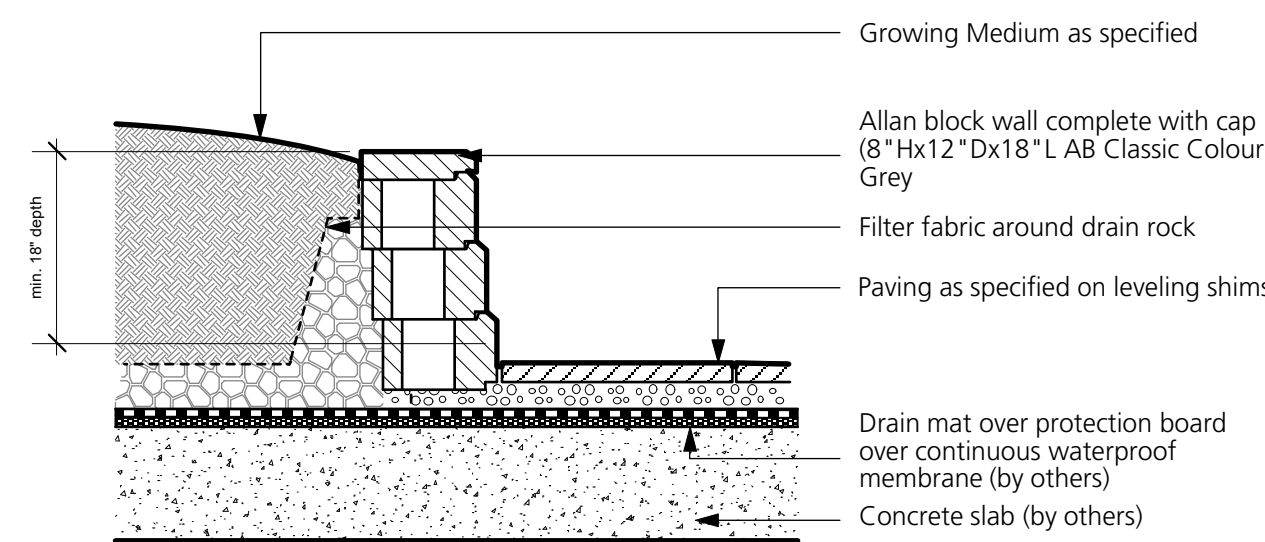
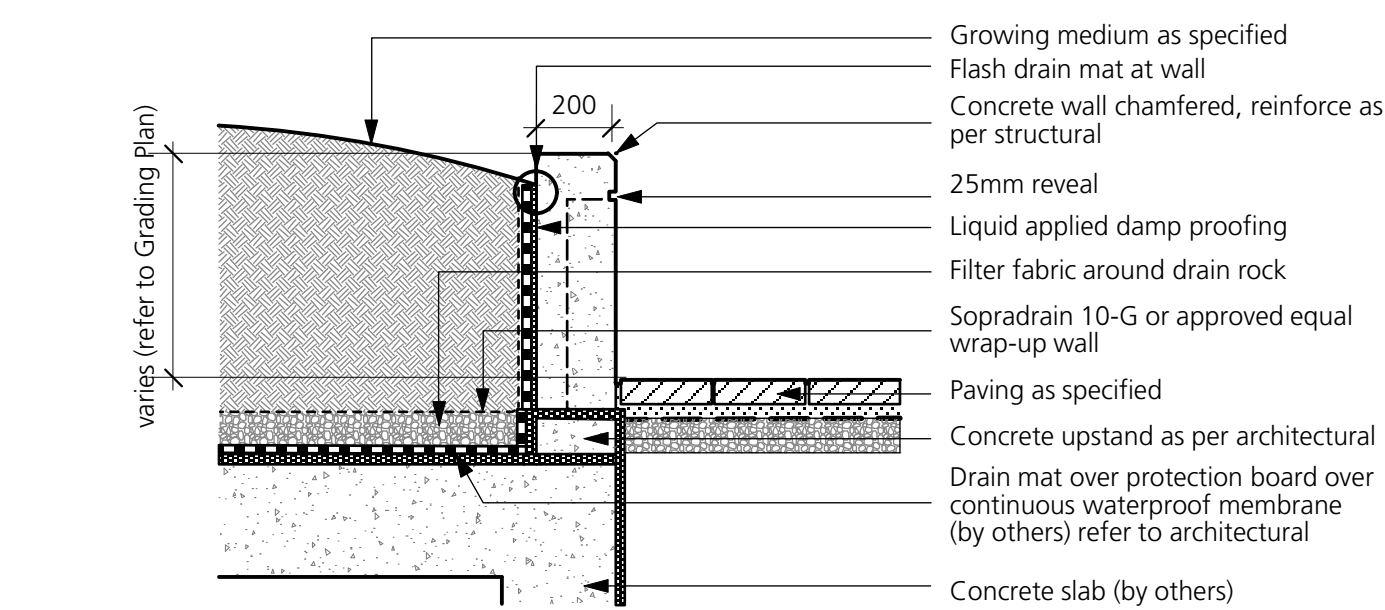
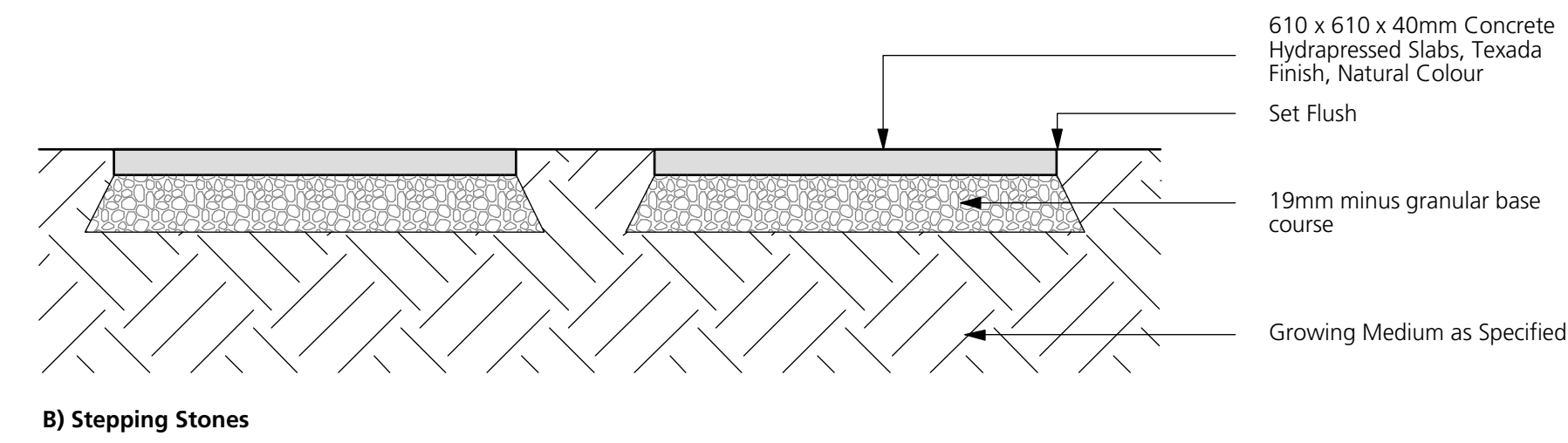
2 Concrete Unit Pavers (Vehicular)
1:10



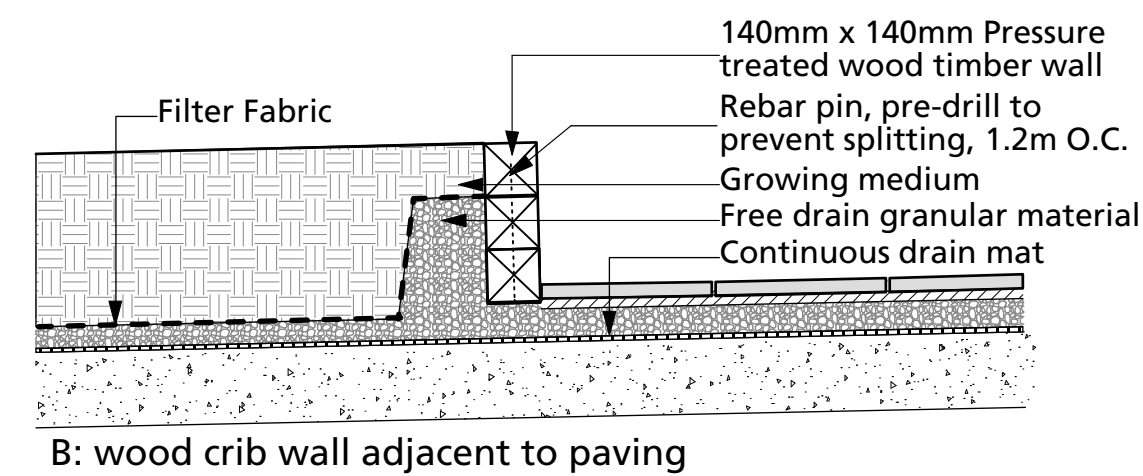
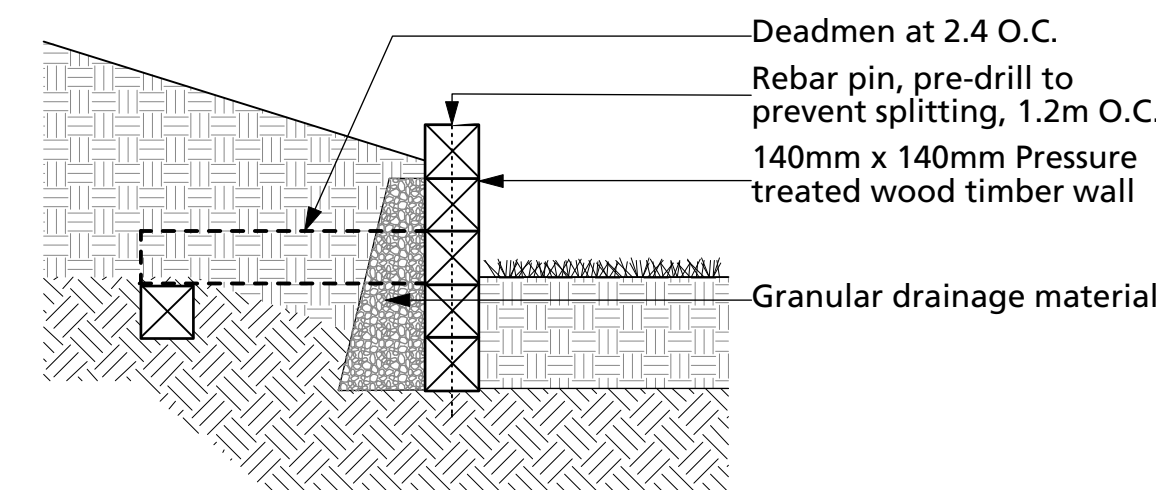
2 Concrete Unit Pavers with Edger
1:10



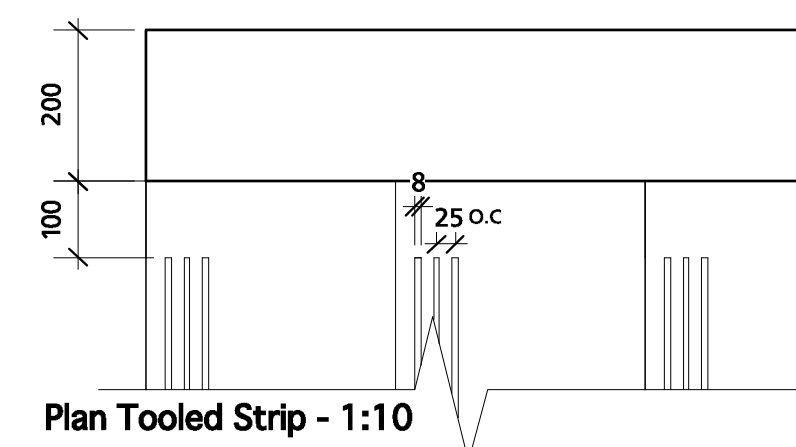
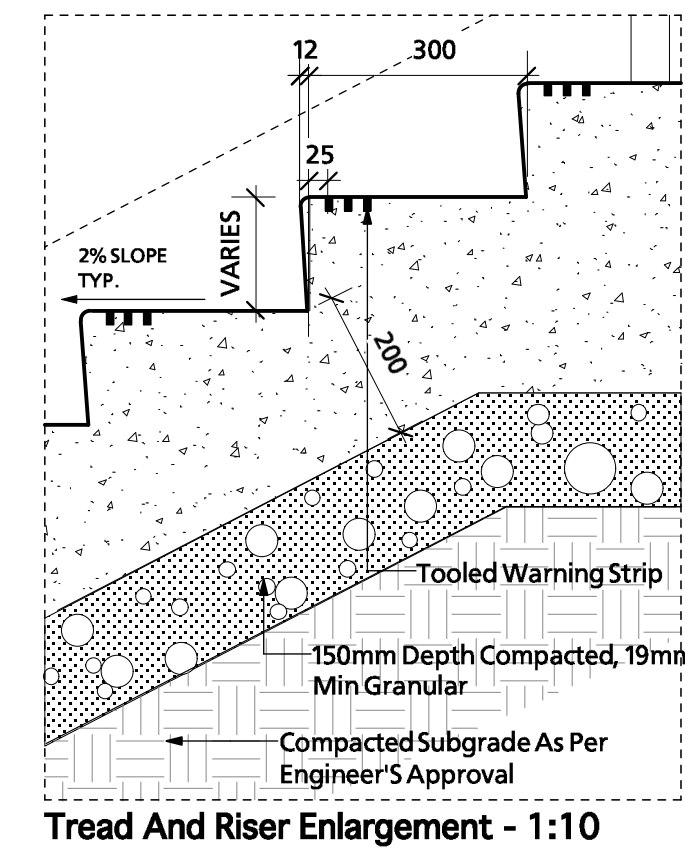
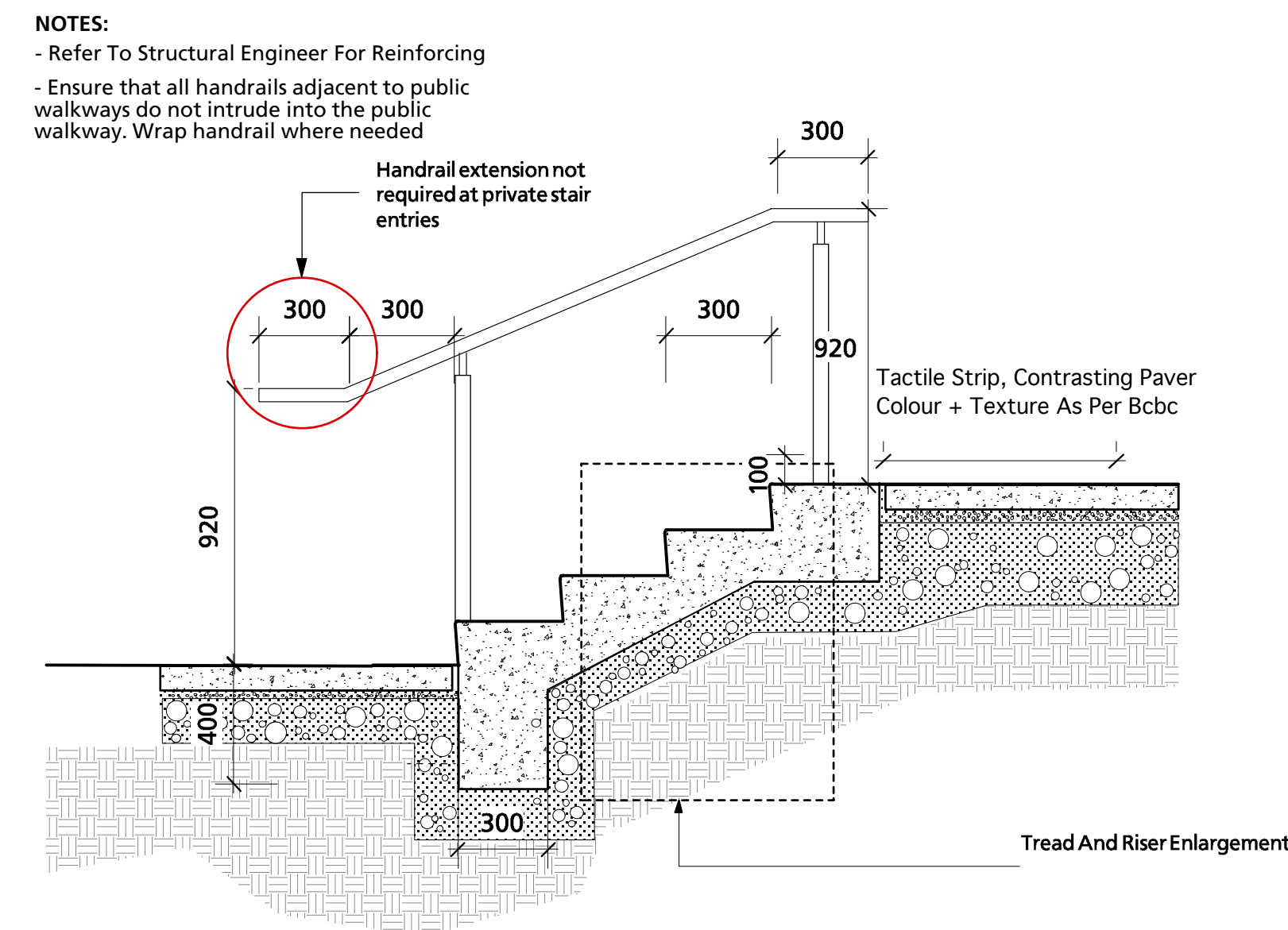
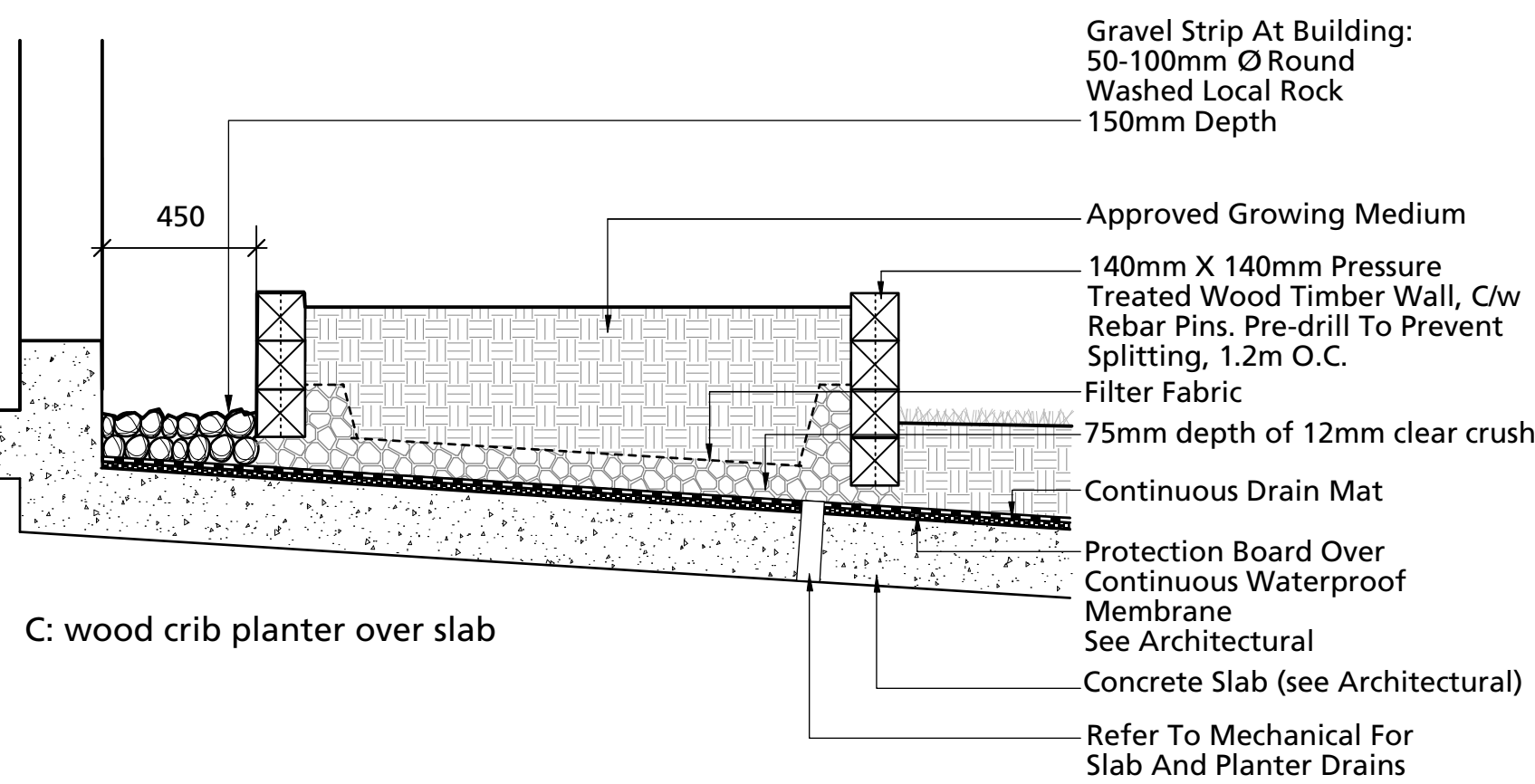
3 Hydropressed Slabs
1:10



4 Concrete Planter Wall
1:20



6 Wood Crib Wall
1:20



3 Re-Issued for DP	02/03/2017
2 Re-Issue for DP	07/15/2016
1 Issue for DP	03/08/2016
Revision No.	Date

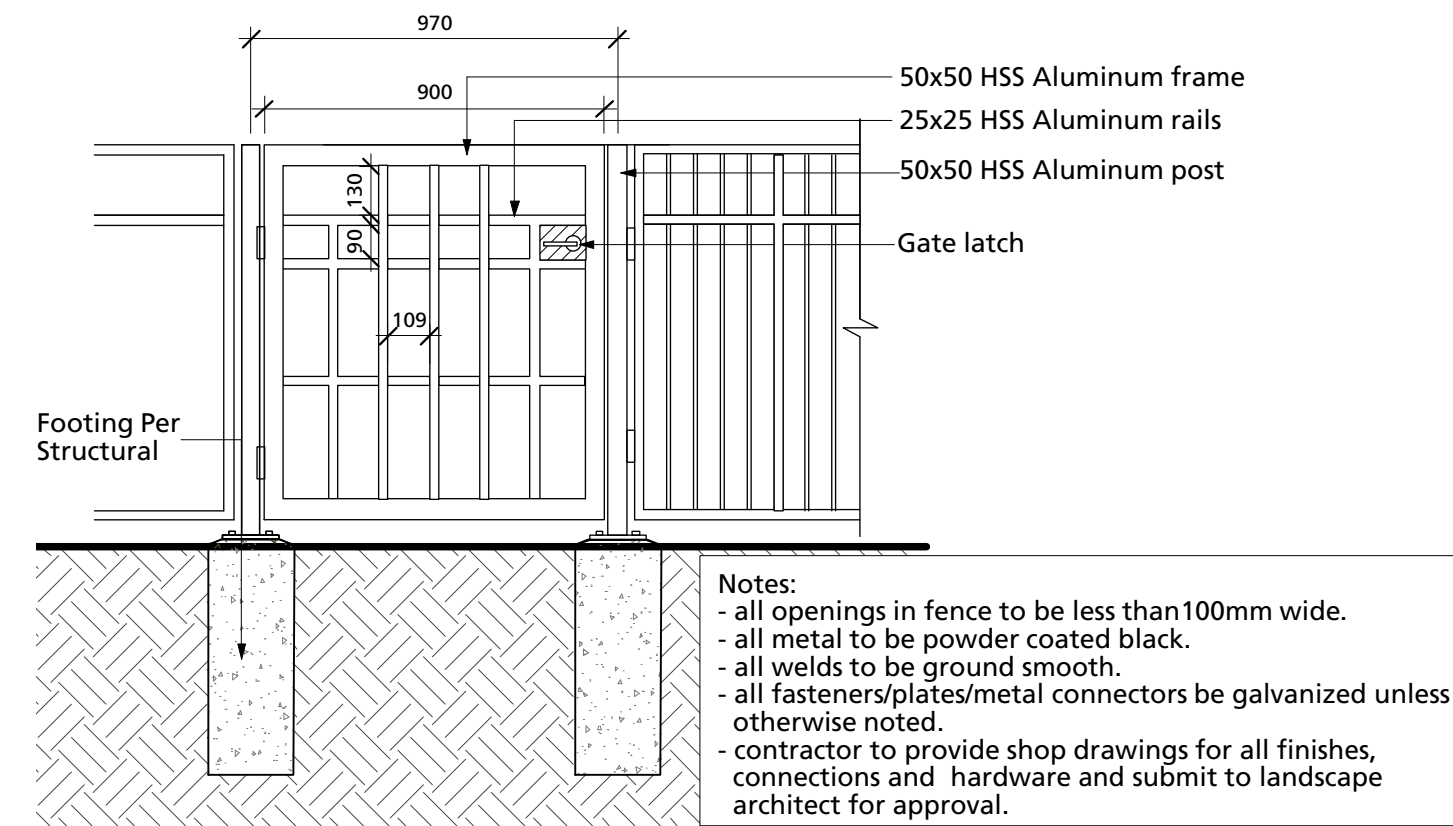
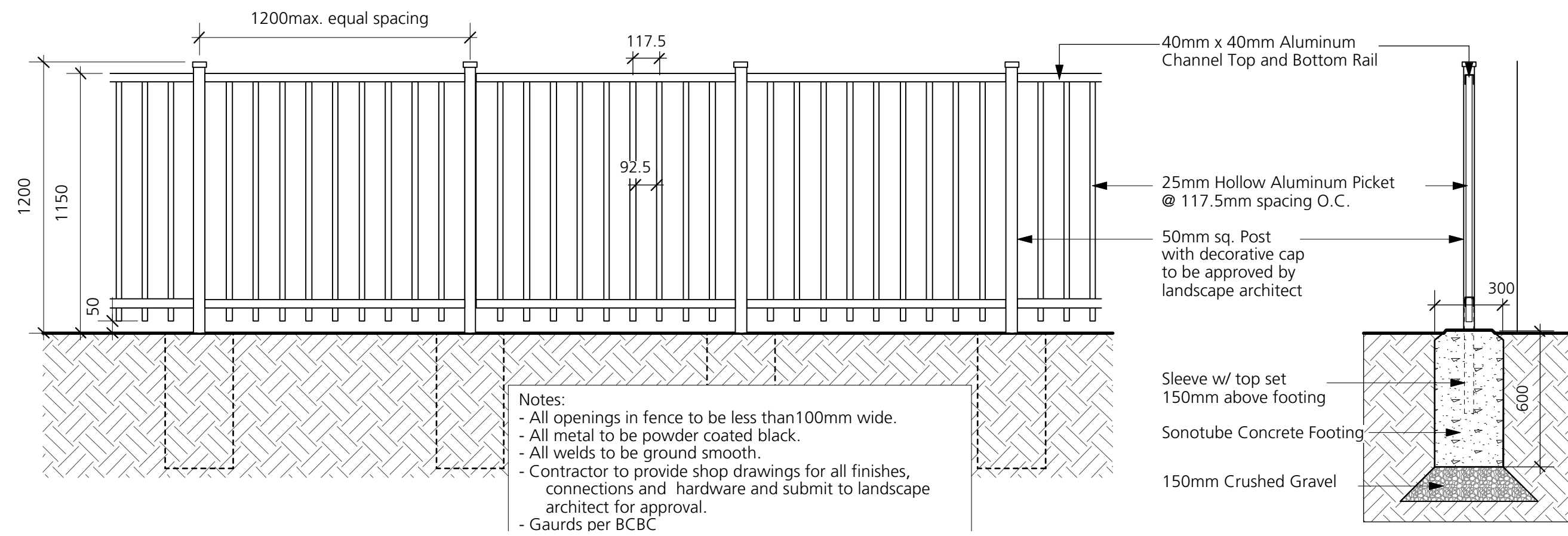
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Client:

Project Title:	Junior High School East 27th Street North Vancouver
Drawing Title:	Landscape Architecture Building
Project North:	Drawn By:
Scale:	Checked By:
Sheet No.:	Job No.:
	As Shown

DP16.16A1

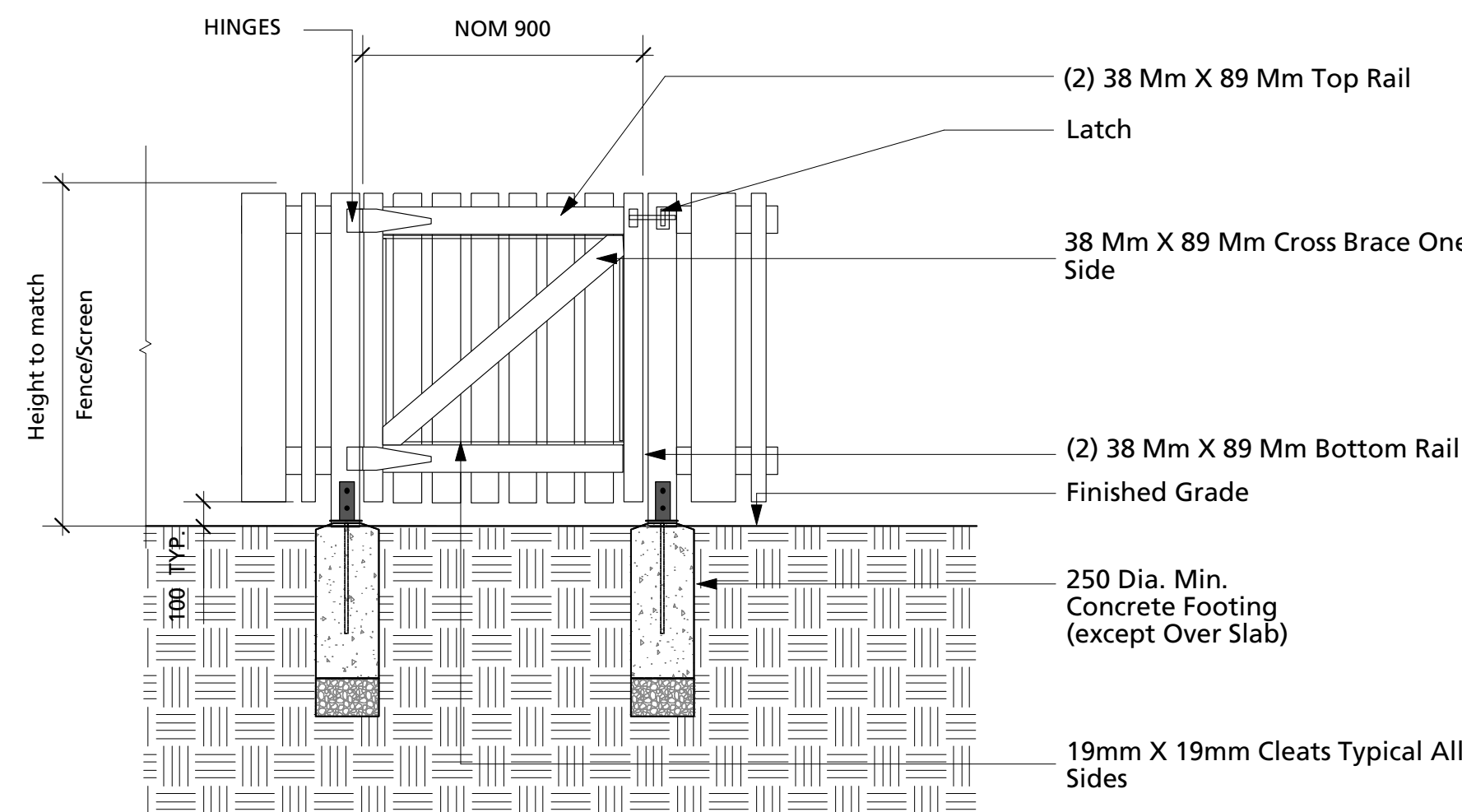
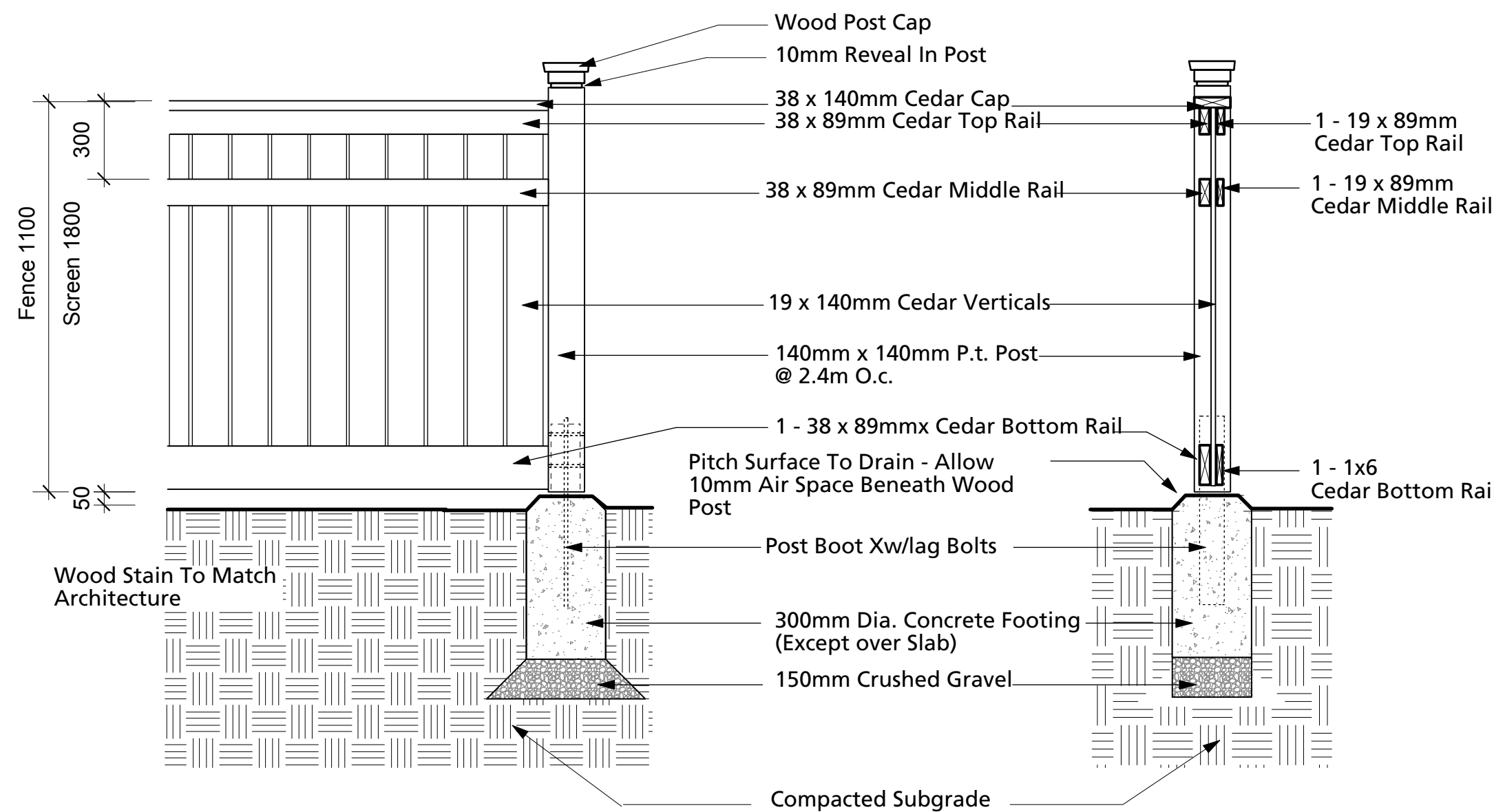
L 5.0



8 Aluminium Fence
1:20

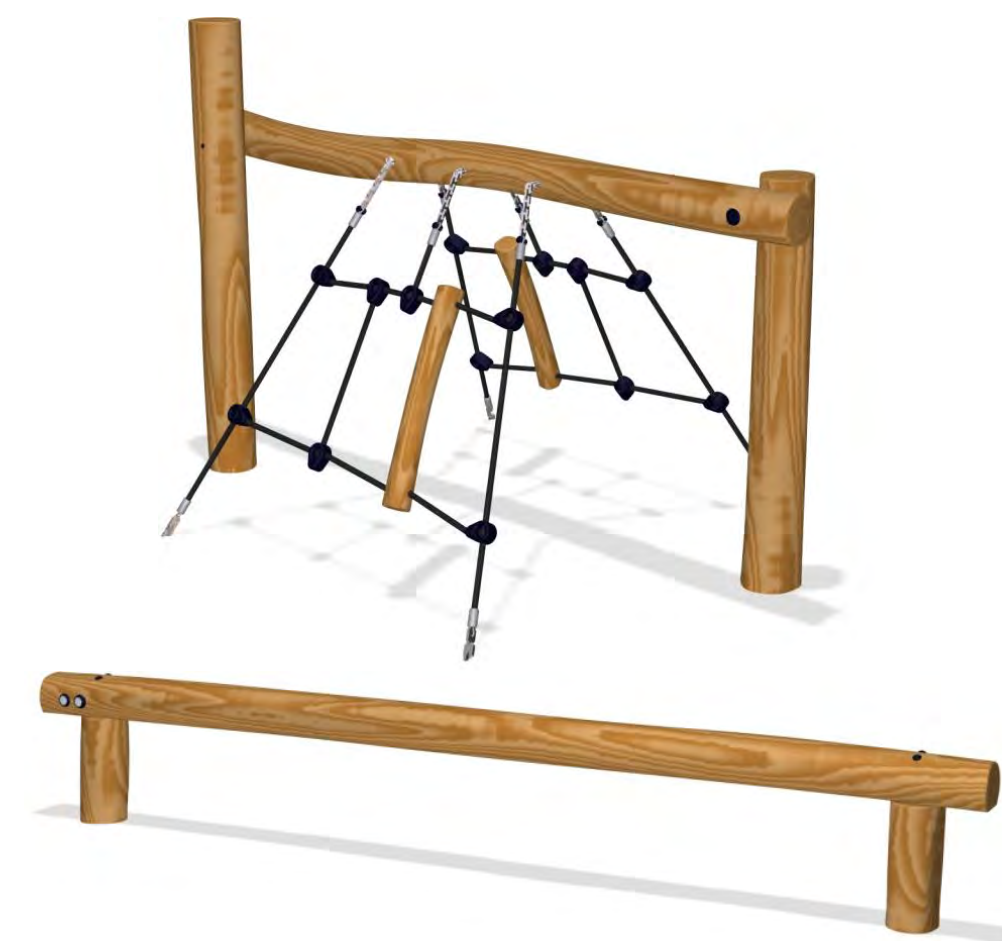
9 Aluminium Fence Gate
1:20

Note: Wood Stain to match Architecture



10 Wood Fence
1:20

11 Wood Fence Gate
1:20

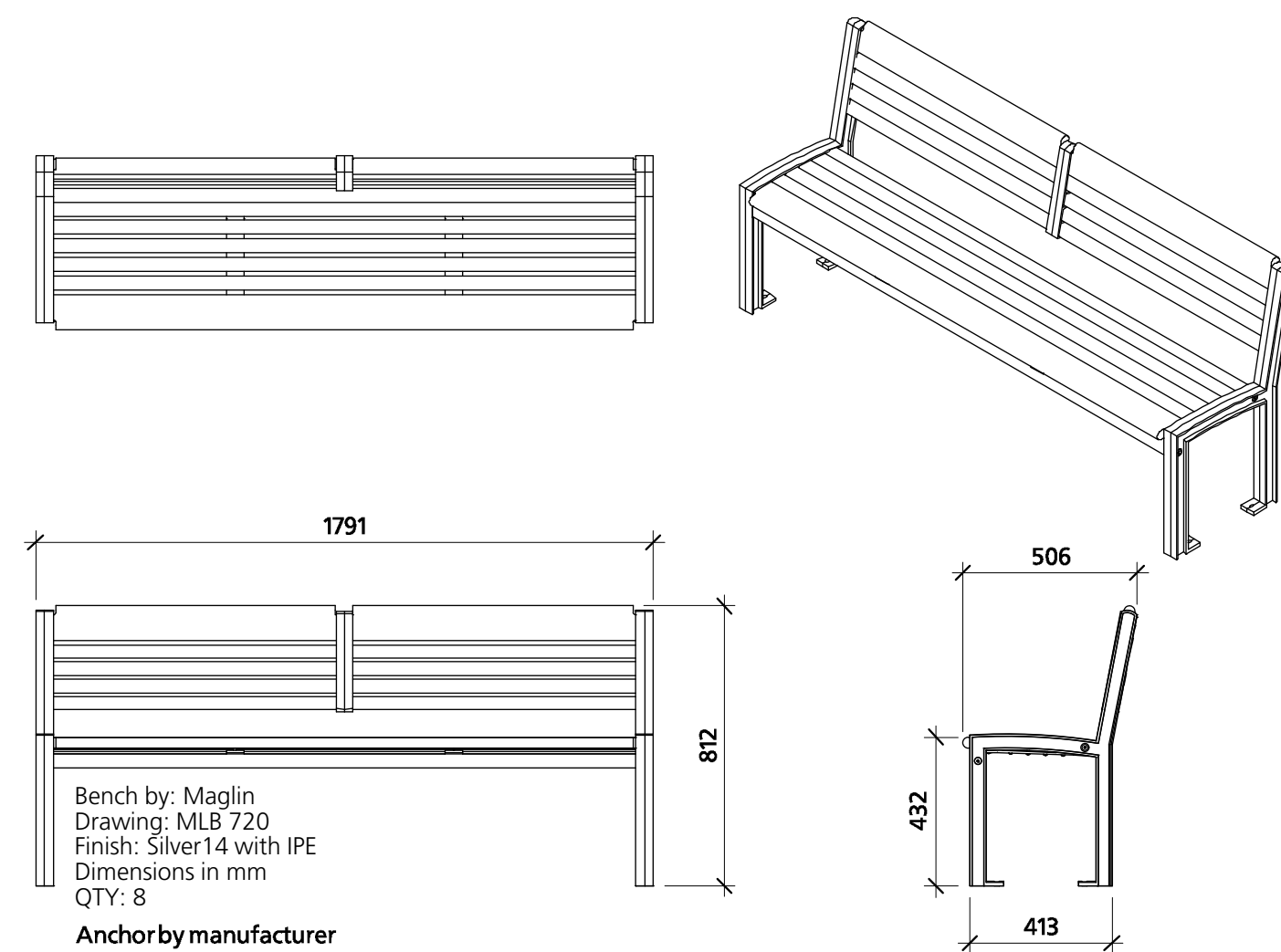


DISTRIBUTOR: KOMPAN
WWW.KOMPAN.US

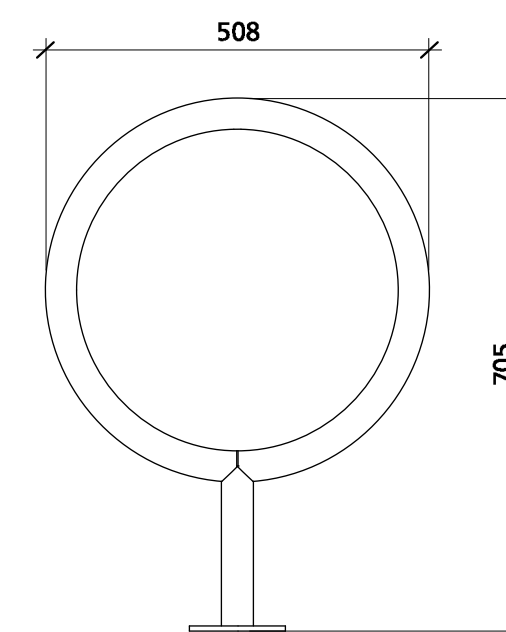
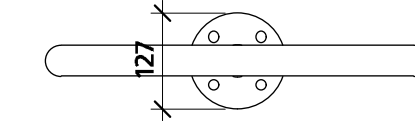
PLAY EQUIPMENT TO BE INSTALLED AS PER MANUFACTURERS DIRECTION
PLAYGROUND SAFETY SURFACING TO BE ENGINEERED WOOD FIBER OR PRE-APPROVED
EQUIVALENT TO CSA STANDARDS. CONTAIN PLAYGROUND SAFETY SURFACING WITH
FLUSH CONCRETE CURB

SUBJECT TO FINAL APPROVAL BY DNV

12 Play Equipment
NTS

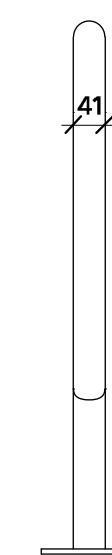
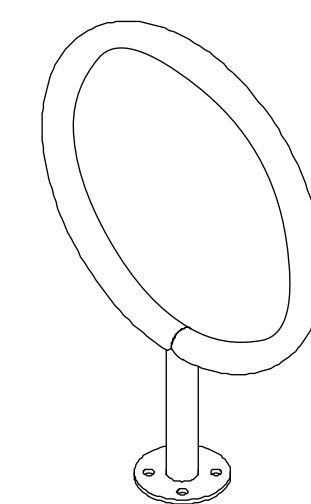


13 Bench by Maglin (MLB 720)
1:20



Bike Racks by: Maglin
Drawing: MBR 150
Finish: Silver14
Dimensions in mm
QTY: 4

14 Bike Racks by Maglin (MBR 150)
1:20



Anchor by
manufacturer
SUBJECT TO FINAL
APPROVAL BY DNV

3	Re-Issued for DP	02/03/2017
2	Re-Issue for DP	07/15/2016
1	Issue for DP	03/08/2016
Revision No.		Date

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Client:

Project Title:

Juniper
TIMBER CO
East 27th St
North Vancouver

Drawing Title:

Landscape Design
Building

Project North:

Drawn By:

Checked By:

Scale:

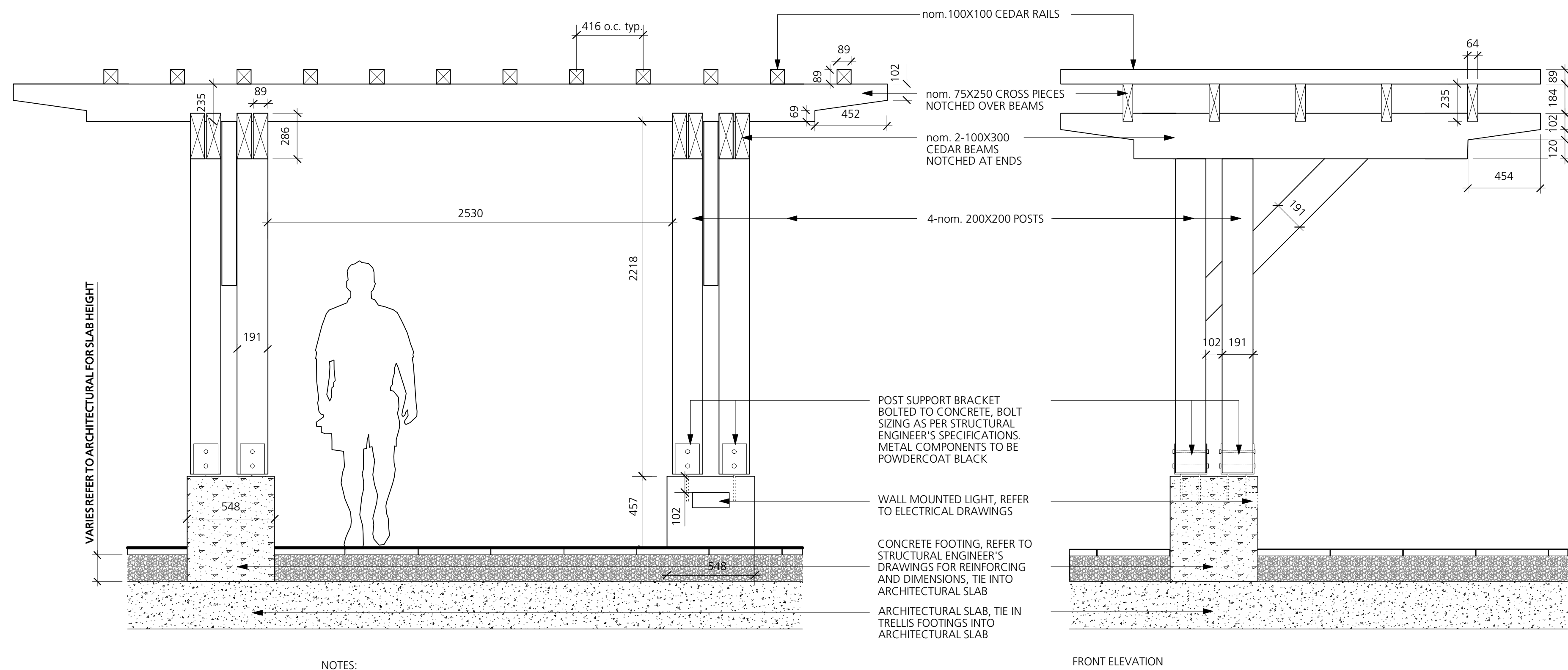
Job No.:

As Shown

Sheet No.:

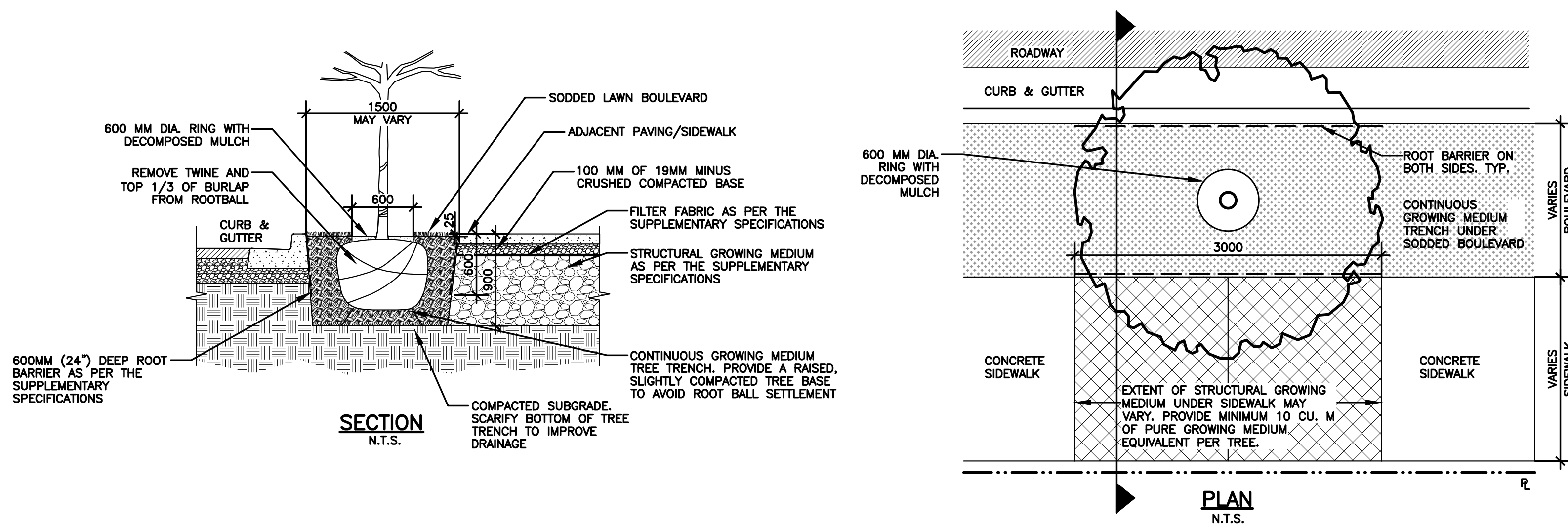
DP16.16AJ

L 5.1

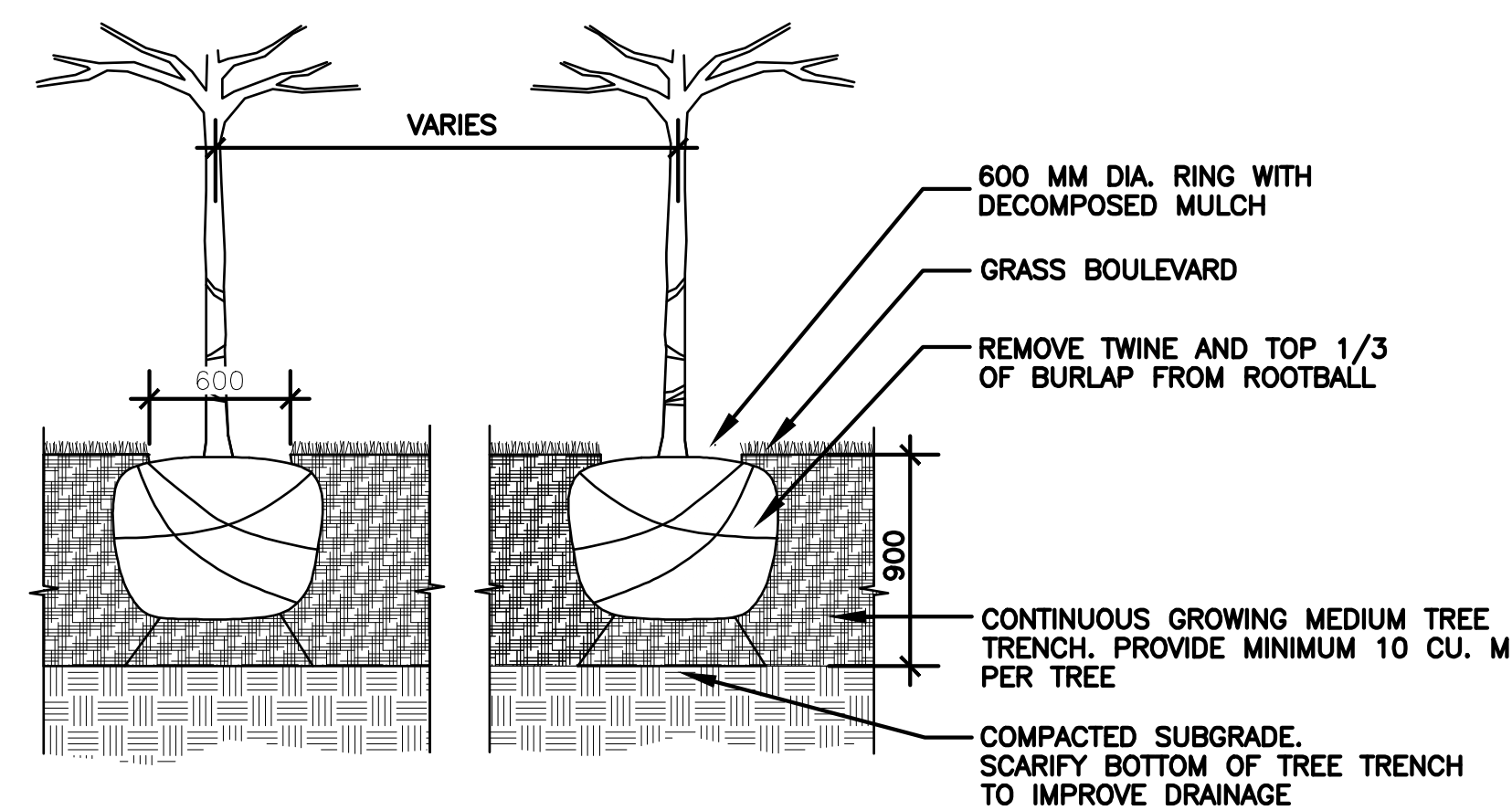


- NOTES:
1. ALL WOOD TO BE SELECT TIGHT KNOT RED CEDAR, S4S.
 2. ALL WOOD TO BE STAINED W/ MIN. TWO COATS SOLID STAIN TO ACHIEVE SOLID COVERAGE. COLOUR TO MATCH ARCHITECTURAL WOOD.

15 Wood Arbor
1:20



16 Boulevard Tree District Detail (offsite)
NTS



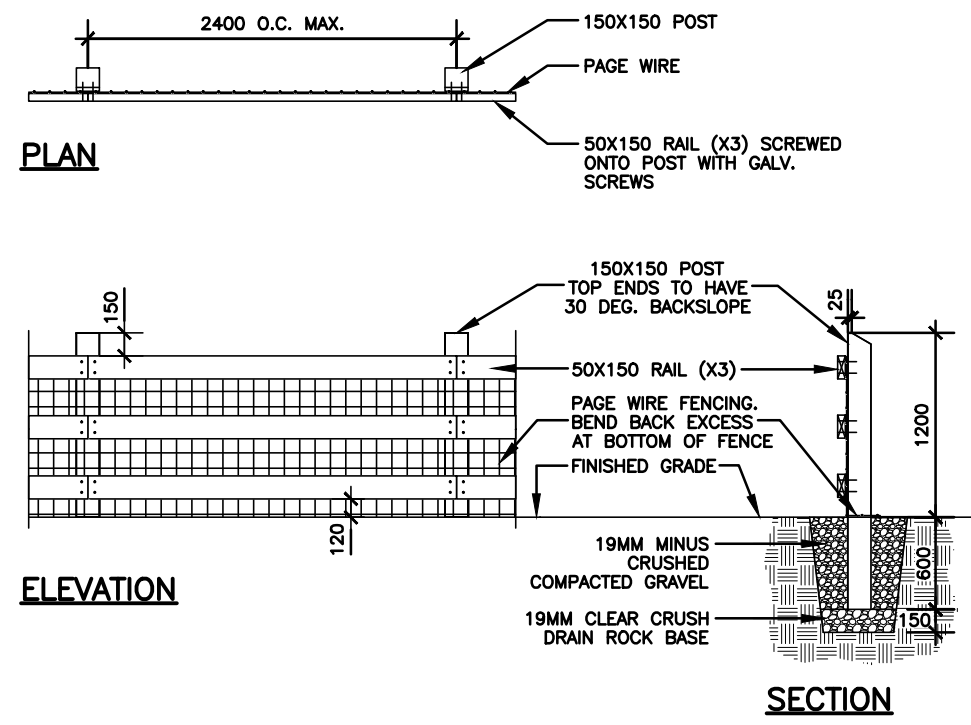
GRASS BOULEVARD - LONGITUDINAL SECTION

1 Re-Issued for DP 02/03/2017
Revision No. Date

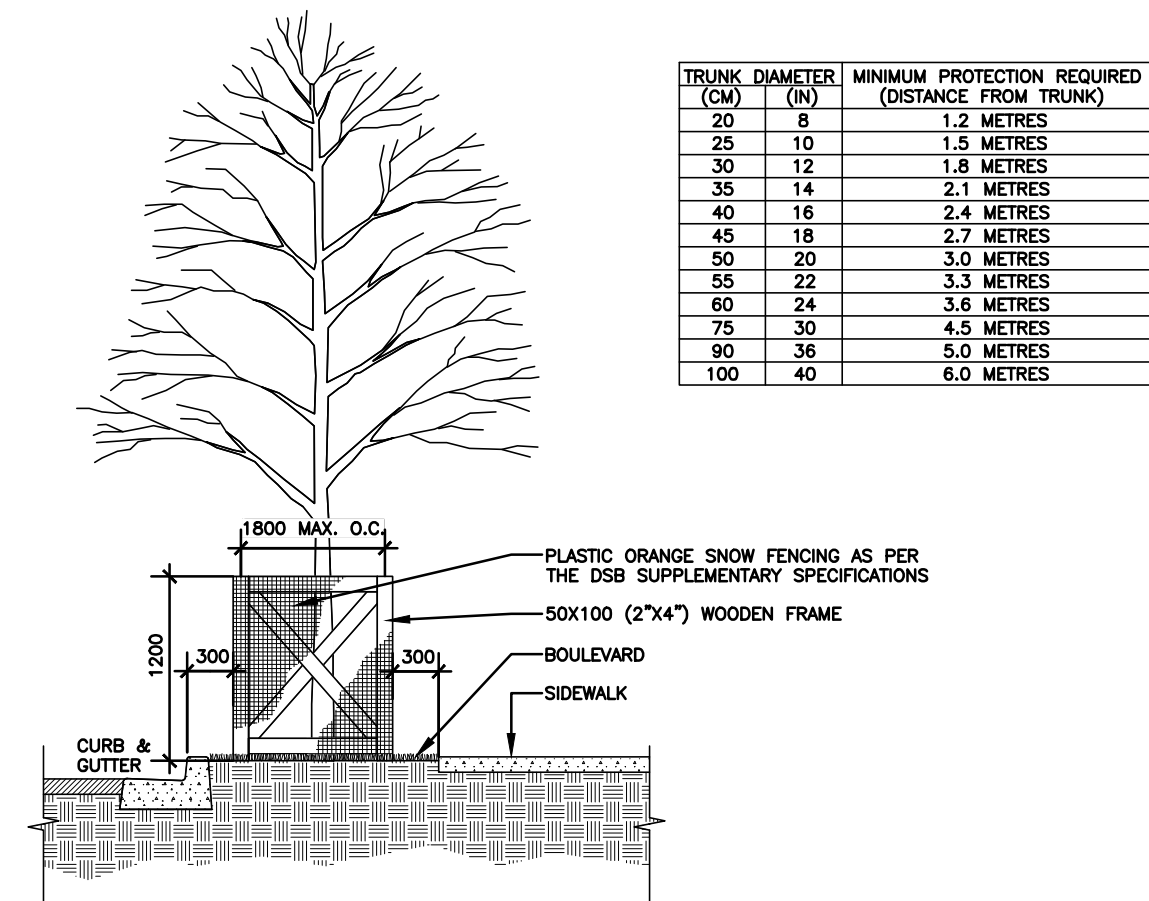
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Client:

Project Title: Juniper at
TIMBER C
East 27th S
North Vancou
Drawing Title: Landscape D
Building
Project North: Drawn By:
Checked By:
Scale: Job No.:
As Shown
Sheet No.:
DP16.16AK
L 5.2



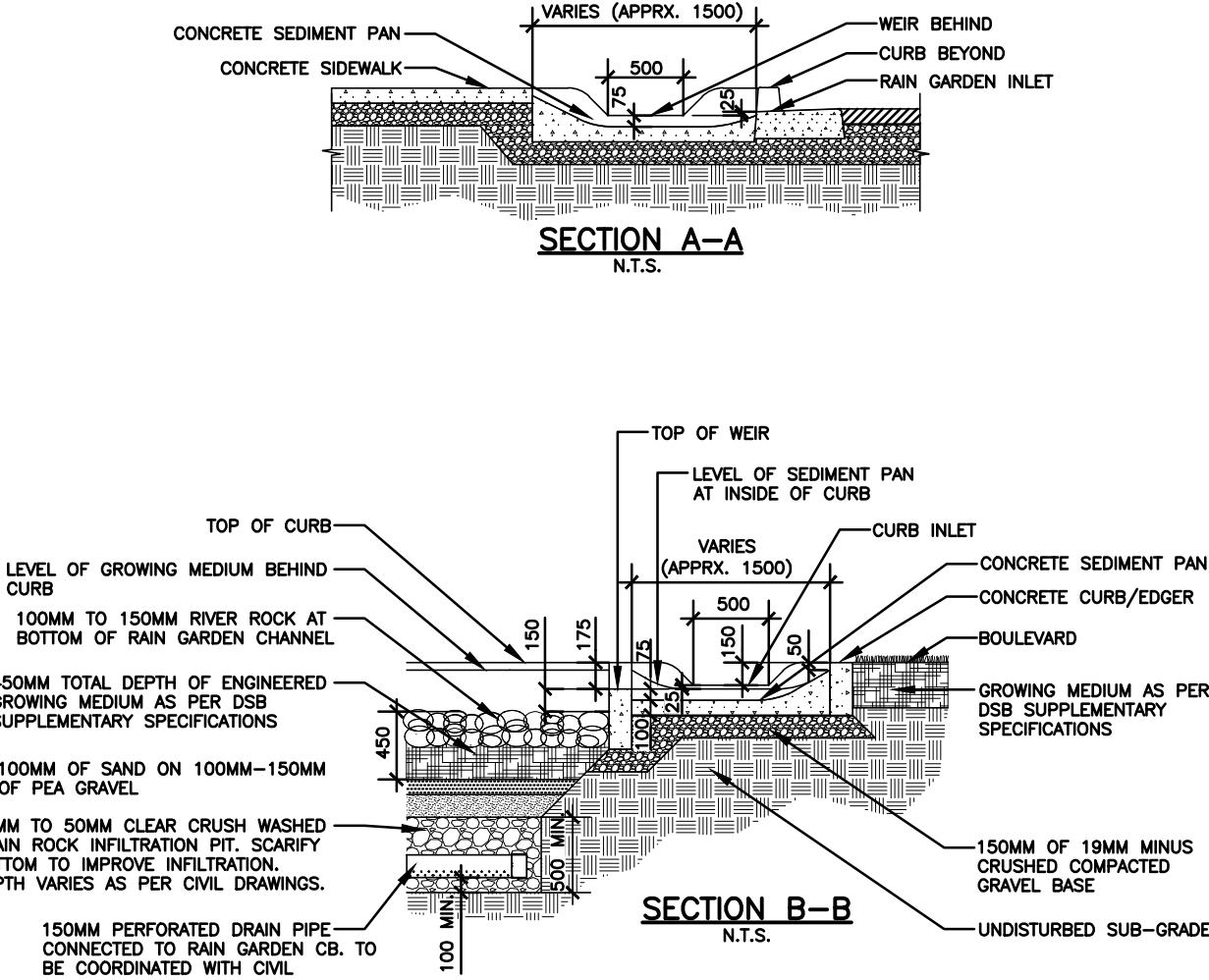
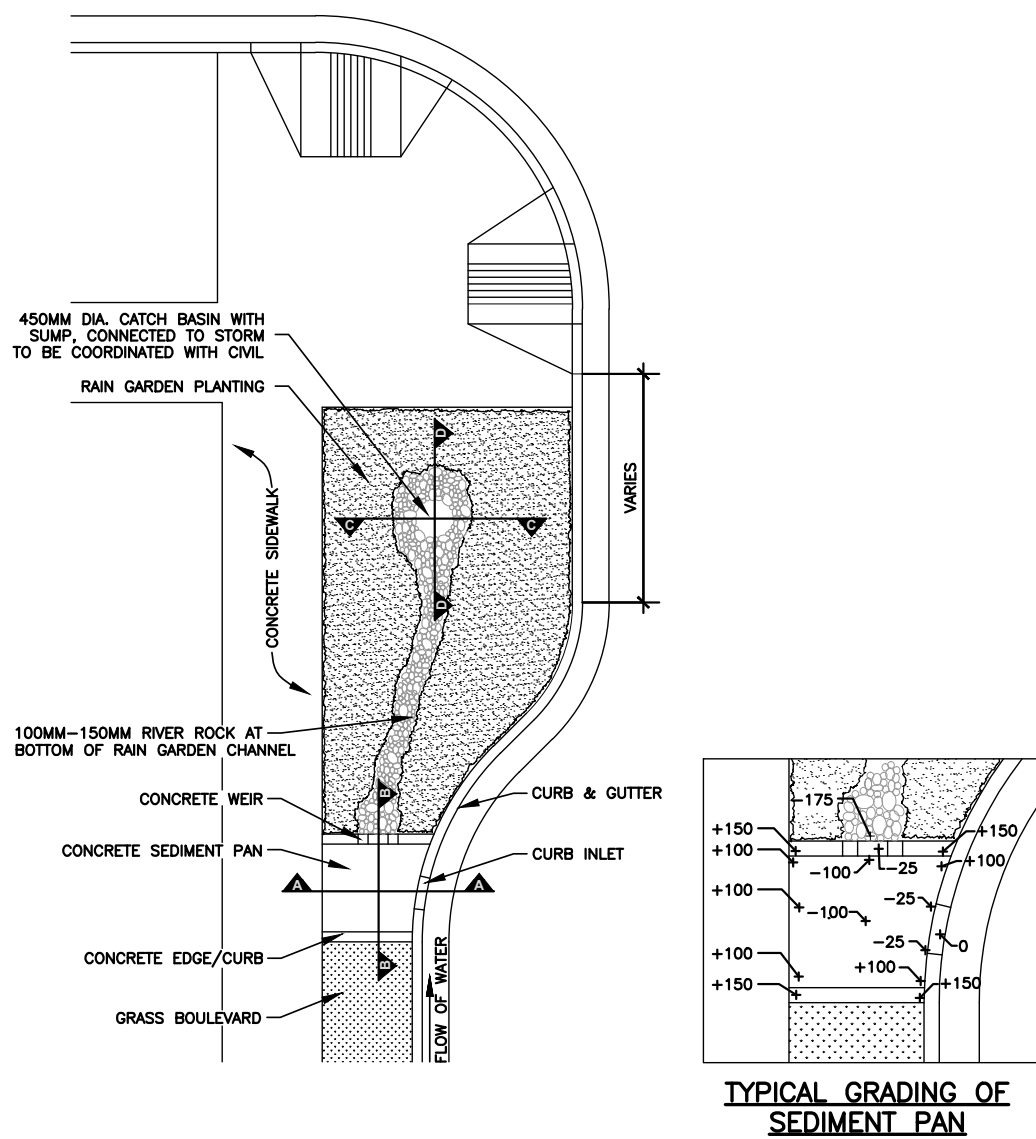
- NOTES:
1. ALL WOOD TO BE DIMENSIONAL ROUGH TEXTURED STANDARD GRADE CEDAR.
 2. ALL WOOD TO BE STAINED WITH BRODA PRO-TEK-TOR DECK-RAIL WATER-BORNE NATURAL OIL FINISH.
 3. COLOUR TO BE 011A NATURAL CLEAR LITE, AS SUPPLIED BY CBR PRODUCTS (604-254-3325), OR APPROVED EQUAL.
 4. CONFIRM LAYOUT ON SITE WITH DNV REPRESENTATIVE PRIOR TO INSTALLATION.
 5. ALL FENCE POSTS TO BE INSTALLED PLUMB AND TRUE.
 6. RESTORE ANY DISTURBED AREAS TO THE SATISFACTION OF THE DNV REPRESENTATIVE.
 7. CONTRACTOR TO PROVIDE SAMPLE OF MATERIALS FOR DNV REPRESENTATIVE'S APPROVAL PRIOR TO INSTALLATION.
 8. ENSURE ALL PAGE WIRE IS TAUT AND ALIGNED AT RIGHT ANGLES WITH POSTS AND RAILS.
 9. PAGE WIRE TO BE LOW CARBON FIELD FENCE, PRODUCT #118233, BY BEHAERT, SUPPLIED BY OTTER CO-OP (604-607-6909), OR FRASER VALLEY STEEL (604-856-3391), OR APPROVED EQUAL.



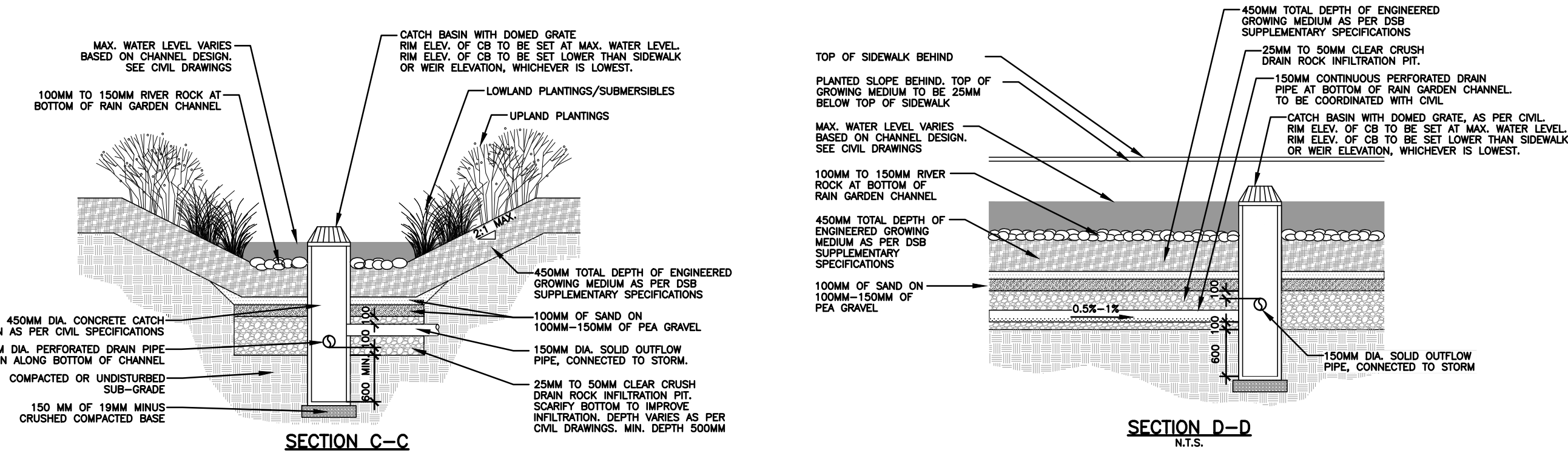
TRUNK DIAMETER (CM)	(IN)	MINIMUM PROTECTION REQUIRED (DISTANCE FROM TRUNK)
20	8	1.2 METRES
25	10	1.5 METRES
30	12	1.8 METRES
35	14	2.1 METRES
40	16	2.4 METRES
45	18	2.7 METRES
50	20	3.0 METRES
55	22	3.3 METRES
60	24	3.6 METRES
75	30	4.5 METRES
90	36	5.0 METRES
100	40	6.0 METRES

17 Environmental Fence Detail (N/A) NTS

18 Tree Protection Fence Detail NTS

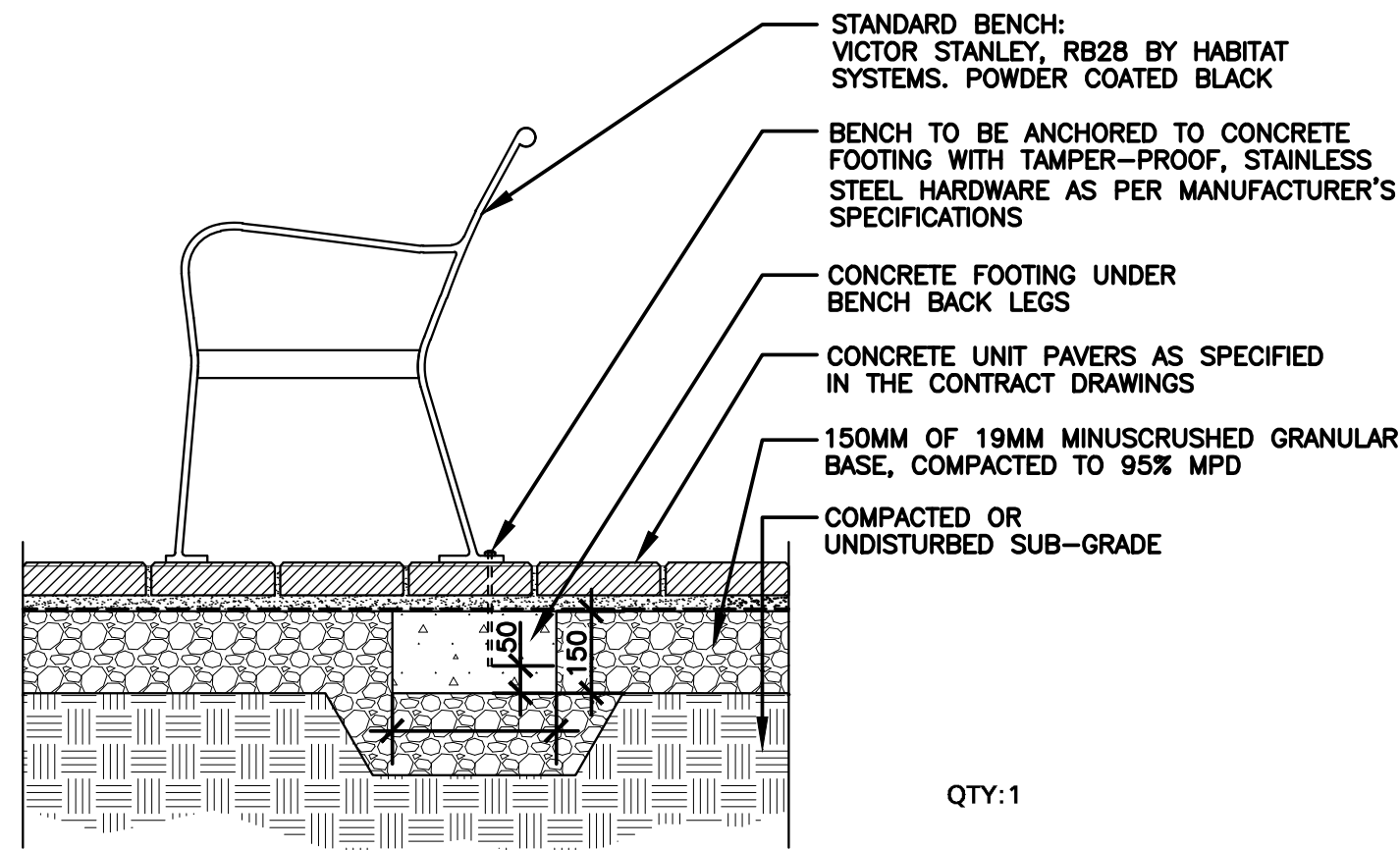


19 Rain Garden District Detail (offsite) NTS

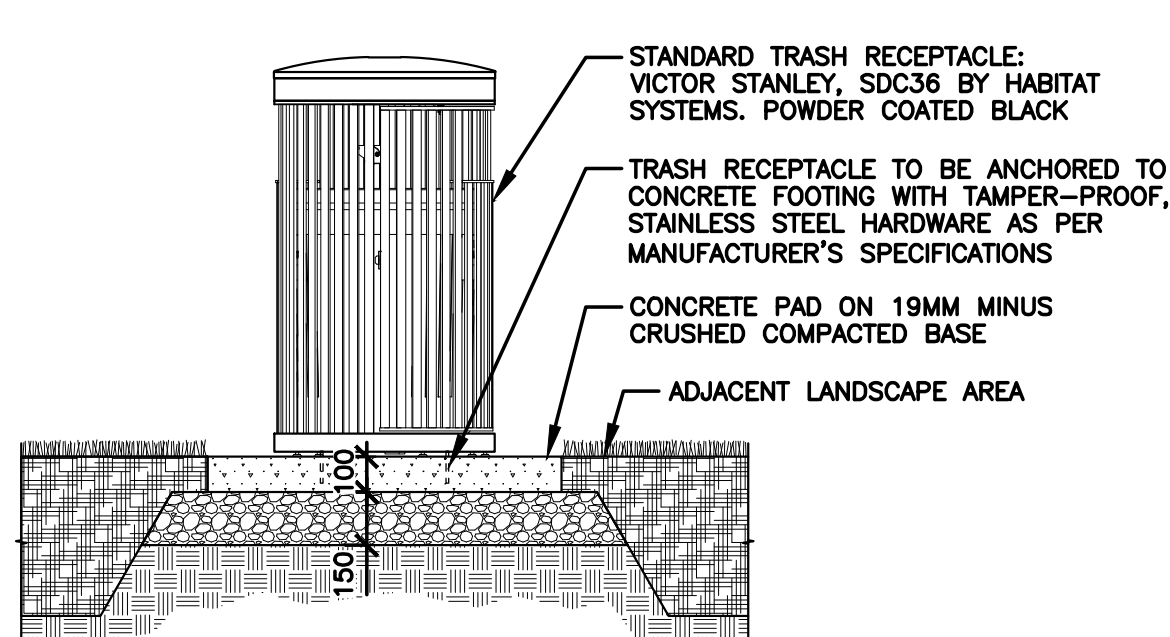


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Revision No.		Date

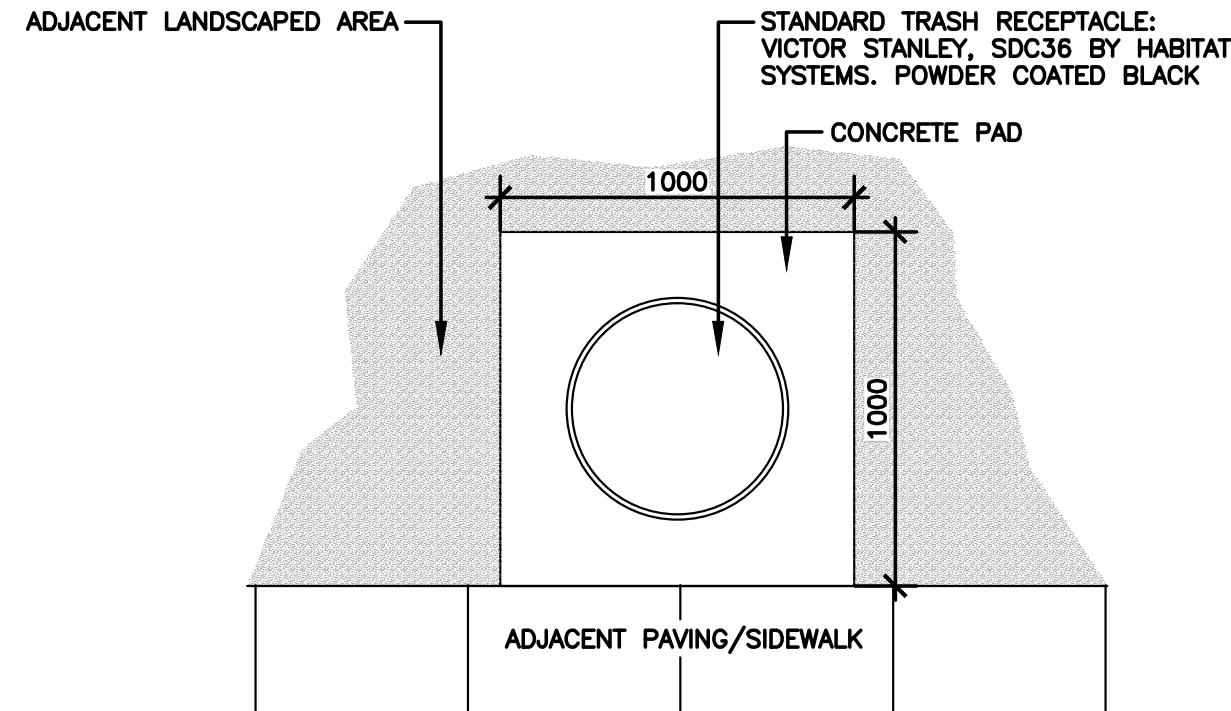
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Client:



20 Bench on Pavers District Detail (offsite) NTS



21 Trash Receptacle District Detail (offsite) NTS



Project Title:	Juniper at TIMBER C East 27th S North Vancouv
Drawing Title:	Landscape B Building
Project North:	Drawn By:
Scale:	Job No.:
Sheet No.:	As Shown

DP16.16AL