

AGENDA INFORMATION	
<input checked="" type="checkbox"/> Regular Meeting	Date: <u>July 4, 2022</u>
<input type="checkbox"/> Other:	Date: _____

*YJ*  
Dept.  
Manager

*DM*  
GM/  
Director

*AO*  
CAO

## The District of North Vancouver REPORT TO COUNCIL

June 13, 2022  
Case: PLN2021-00045  
File: 08.3060.20/045.21

**AUTHOR:** Emel Nordin, Development Planner

**SUBJECT:** Development Permit 45.21 - 2320 Emery Court

**RECOMMENDATION:**

THAT Development Permit 45.21 (Attachment 1) to allow for the construction of a 46-unit townhouse project at 2320 Emery Court is issued.

**REASON FOR REPORT:**

The site is in Development Permit Areas for Form and Character of Multi-Family Development and Energy and Water Conservation and GHG Emission Reduction. The proposed construction requires issuance of a Development Permit by Council.

**SUMMARY:**

Mosaic Homes has applied to develop Phase Three of their project on the property at 2320 Emery Court in the Lynn Valley Town Centre. The project comprises 46-unit townhouse units with a single-level underground parking garage.



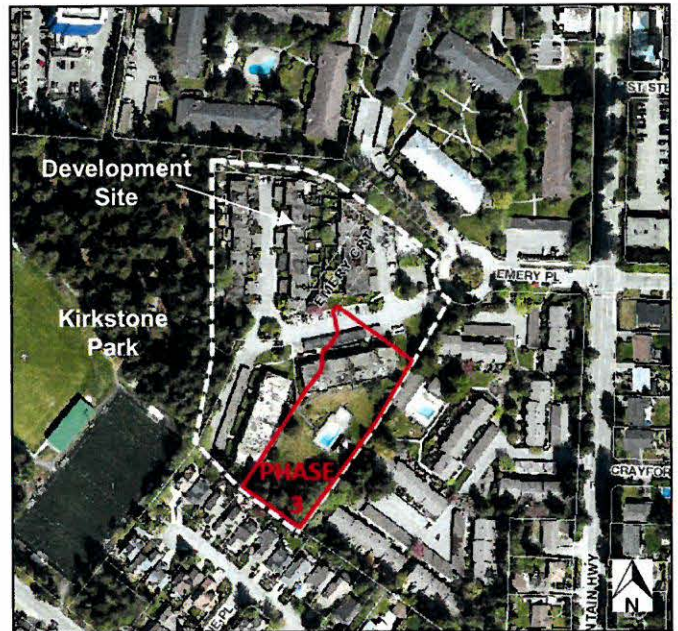
Bylaw 8304, rezoning the entire site to Comprehensive Development Zone 115 (CD115), and Housing Agreement Bylaws 8305 and 8306 were adopted on July 23, 2018. A Development Permit (DP39.17) was issued for Phases One and Two in September 2018 with Phases Three and Four anticipated to proceed as separate development permit applications at a later date.

The project is ready to be considered for the issuance of a development permit. This report recommends issuance of Development Permit 45.21 in accordance with the District's applicable Development Permit Area guidelines.

**SUBJECT PROPERTY:**

The four phase development site is approximately 20,482m<sup>2</sup> or 5.06 acres in size and is located within Lynn Valley Town Centre. The redevelopment project comprises four lots and phases of development. Access to all four phases is provided from newly created cul-de-sac, Emery Court. The Phase Three site, outlined in red on the adjacent aerial photo, is approximately 5,105 m<sup>2</sup> (54,950 sq. ft.) in area.

Kirkstone Park is located to the west, existing multi-family developments are located to the north and east, and single family homes are located to the south.

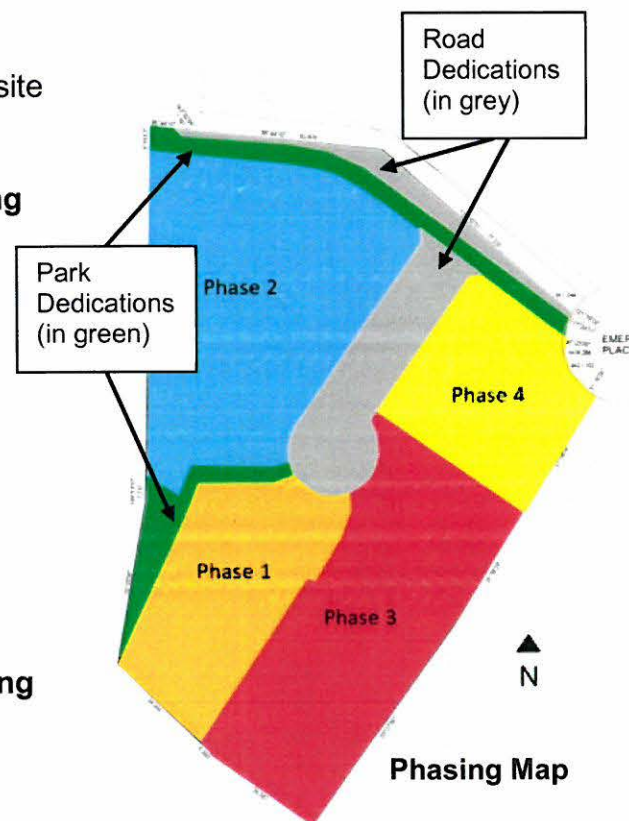


Background

In July 2018, the site was rezoned to Comprehensive Development Zone 115 (CD115). Following rezoning, the property was subdivided into four lots to reflect project phasing, and portions of the site were dedicated to the District as road and park as shown on the adjacent Phasing Map. In September 2018, a development permit (DP39.17) was issued for Phases One and Two, with Phases Three and Four anticipated to proceed as separate development permit applications at a later date.

The four phases are outlined below and shown on the site plan on the page 3.

- **Phase One: 6-storey rental apartment building (42 market and 42 non-market units)**  
Status: Under construction
- **Phase Two: Two 12-storey and one 8-storey strata apartment buildings (220 units)**  
Status: Under construction
- **Phase Three: Six 3-storey strata townhouse buildings (46 units)**  
Status: Development permit application under consideration
- **Phase Four: 5-storey strata apartment building (61 units)**  
Status: Development permit application not yet submitted.







**Project Site Plan and Phasing**

Current Project Status

Phase One, which includes the rental apartment building and children’s play area, is currently under construction and occupancy is anticipated in December of this year. As secured in the Development Covenant at the time of rezoning, former Emery Village residents will be offered first right to rent in the new rental building and Mosaic is continuing to keep the former residents updated.

The Phase Two strata buildings and the shared amenity space are currently under construction and are estimated to be completed between mid-2024 to early 2025.

Phases One and Two also include the following park improvements:

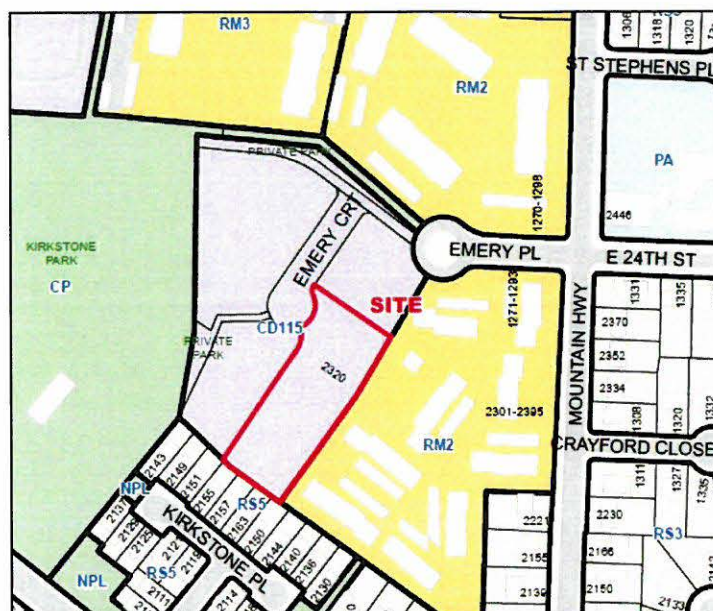
- a new multi-use path along Emery Place from Mountain Highway to Kirkstone Park (recently constructed);
- a new trail connection to Kirkstone Park from Emery Court (anticipated fall 2022); and,
- other trail improvements within Kirkstone Park (anticipated fall 2022).



**EXISTING POLICY:**

Official Community Plan

The site is located within Lynn Valley Town Centre and is designated as “Residential Level 6: Medium Density Apartment” (RES6) in the Official Community Plan (OCP) which envisions multifamily housing at a density of up to approximately 2.5 floor space ratio (FSR). The CD115 zone permits up to 44,485m<sup>2</sup> (478,848 sq ft) of floor space across all four phases resulting in an overall density of approximately 2.16 FSR, which complies with the OCP designation.



**Zoning Map**

Zoning

The CD115 zone allows for up to 411 residential units in four phases and, as previously noted, an overall density of approximately 2.16 FSR.

The CD115 zone also regulates the permitted building heights (range of 3 to 12 storeys), and the vehicle and bicycle parking requirements on the site. The Phase Three project fully complies with the CD115 zone regulations as discussed later in this report.

Development of the site must also conform to the Development Covenant registered on the property as a condition of the rezoning.

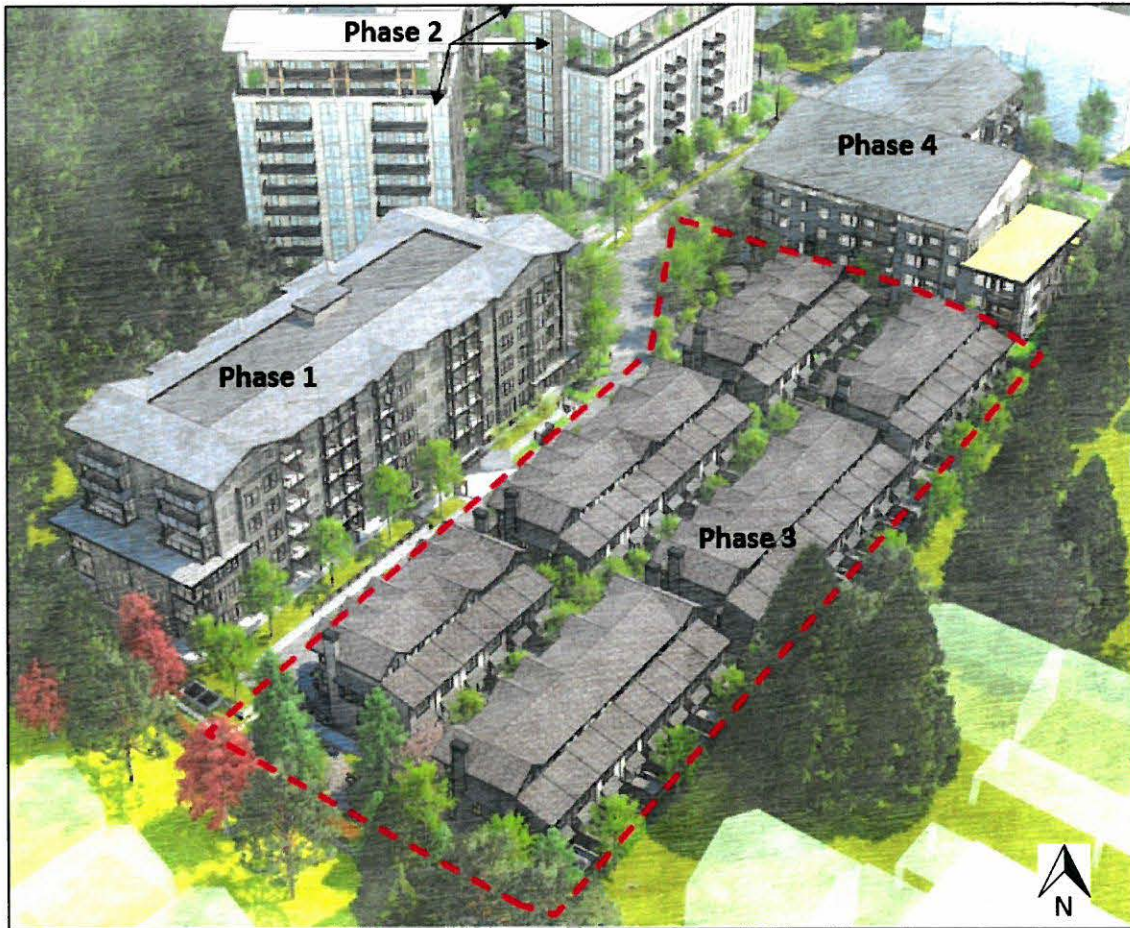
Development Permit Areas

The site is designated in the OCP as Development Permit Areas (DPAs) for the following purposes:

- Form and Character for Multi-Family Development (Ground-Oriented Housing); and,
- Energy and Water Conservation and GHG Emission Reduction

All new development within these DPAs is required to obtain a development permit, and development proposals are reviewed against the OCP’s Schedule B Development Permit Area Guidelines. This project has also been reviewed against the Lynn Valley Town Centre Public Realm and Design Guidelines. The Phase Three project design fulfils the various guideline objectives as outlined in this report and attachments.





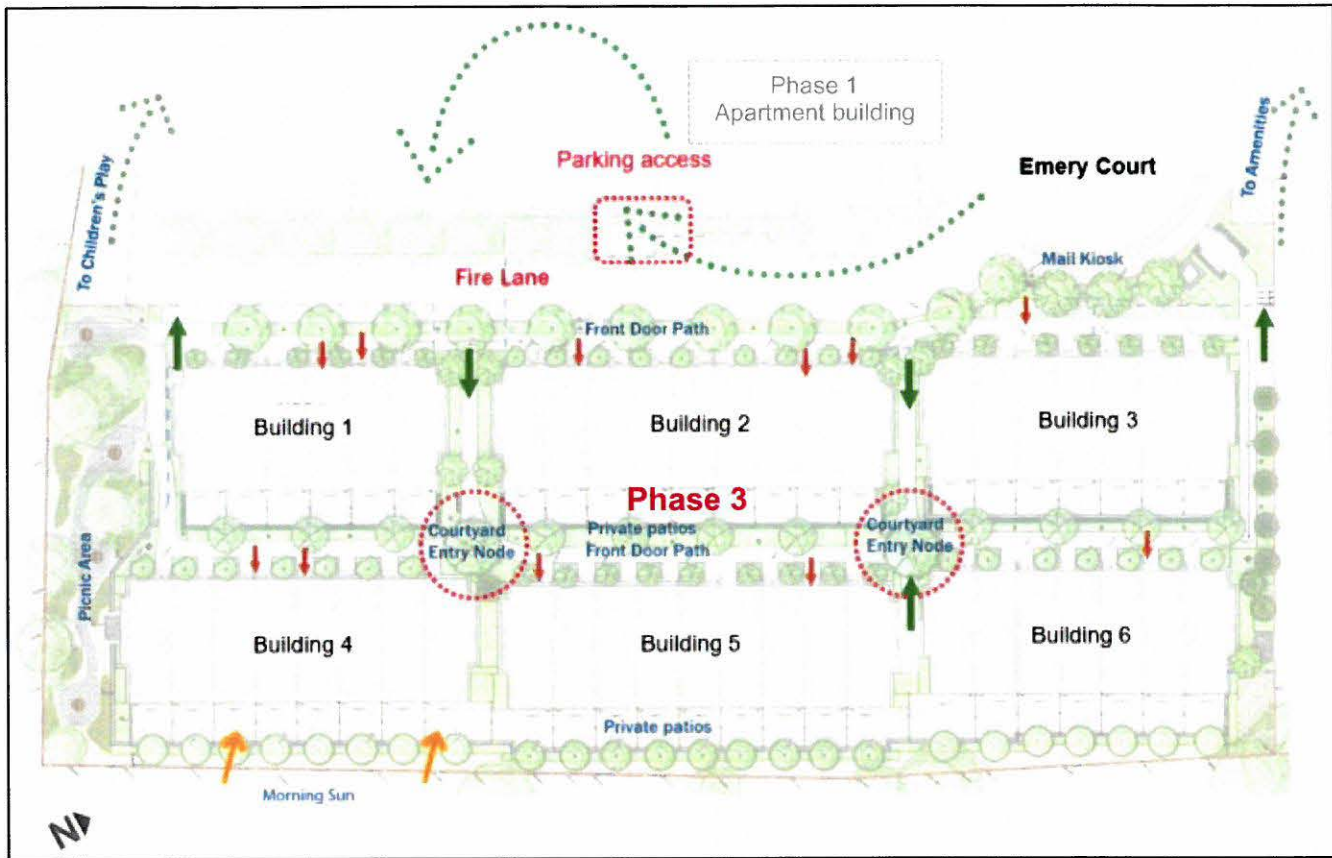
**Aerial Rendering (looking north)**

**THE PROPOSAL:**

The project includes 46 strata townhouse units in six three-storey buildings all over a one-level underground parking garage, and 6,088 m<sup>2</sup> (65,530 sq. ft.) of floor space. The units are a mix of three- and four-bedroom units, ranging in size from approximately 126.6m<sup>2</sup> (1,363 sq ft) to 141.5m<sup>2</sup> (1,523 sq ft).

As shown on the site plan on page 6, vehicle access will be from Emery Court via a driveway shared with the adjacent Phase One rental building, secured with an easement. The parkade entry and visitor parking for this project are located within the Phase One site. The drive aisle then loops under the Phase Three site and direct unit access is provided from the underground parking garage through individual private basements. The townhouse unit front entries are accessed from Emery Court via either a pedestrian walkway on the west side of the site or the internal courtyard.





**Phase Three Site Plan**

Number of Units and Density

The CD115 zone permits a combined total of 355 dwelling units and maximum gross floor area of 38,545m<sup>2</sup> (414,909 sq ft) for Phases One, Two and Three if a CAC of \$1.5 million is paid prior to the issuance of the building permit for Phase Three.

Phases One and Two combined resulted in 304 units and a gross floor area of 32,457m<sup>2</sup> (349,375.7 sq ft). Phase Three brings the total to 350 units and a gross floor area of 38,545 m<sup>2</sup> (414,909 sq ft) which complies with the maximum dwelling units and floor space permitted for the first three phases in the CD115 zone. The \$1.5 million CAC will be collected prior to issuance of building permit for this phase.

Unit Mix

The 46 townhouse units are comprised of 34 three-bedroom and 12 four-bedroom layouts. As per the District's "Strata Rental Protection Policy", the strata units in Phase Three will be available for the owners to rent out their units. The Housing Agreement ensuring the ability for strata units to be rented on a long term basis was secured with Bylaw 8305 at the time of rezoning.



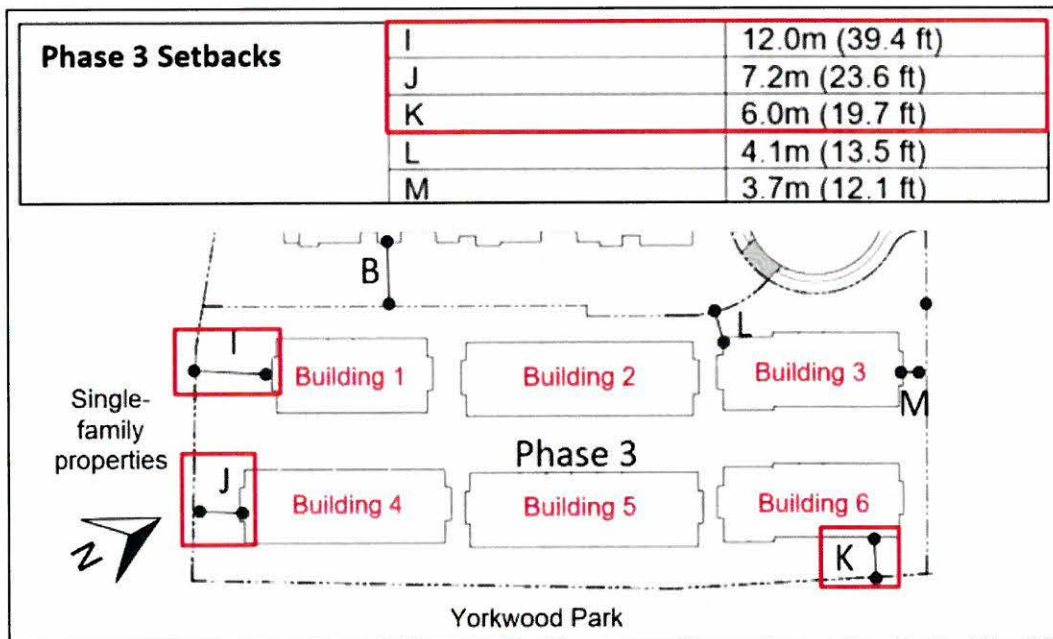
Height

The CD115 zone specifies that the Phase Three buildings may not exceed three storeys or 13m (42.7 ft) in height above finished grade. The proposed buildings comply with the maximum height in the CD115 zone.

As is discussed later in this report, recessed upper storeys and stepped down roof lines on the east and south elevations reduce massing and provide a transition down to the neighbouring single-family houses to the south and townhouse development to the east.

Setbacks

The CD115 zone establishes minimum setback requirements from adjacent properties. As indicated by the table and sketch below, the minimum setbacks required from the south property line which abuts adjacent single-family properties are: 12m (39.4 ft) from Building 1 (Setback “I”) and 7.2m (23.6 ft) from Building 4 (Setback “J”). A minimum 6m (19.7 ft) setback is required from the east property line which abuts the adjacent Yorkwood Park development (Setback “K”). The proposed buildings comply with the minimum setbacks in the CD115 zone.



**Height Map from Bylaw 8304**

Vehicle Parking

The CD115 zone requirement for residential parking is 1.5 spaces for each dwelling unit in addition to 0.1 spaces of visitor parking for each unit. The parking requirement is 69 residential spaces and five visitor spaces, with a total of 74 required parking spaces.

Parking for Phase Three is located within in a one-level underground garage with access provided through the adjacent Phase One lot. The five required visitor parking spaces are also provided within the Phase One parking garage, and both the parking



access and visitor parking spaces are secured through an access and parking easement. The proposed vehicle parking complies with the requirements of the CD115 zone and is summarized in the table below.

<b>Type of Vehicle Parking</b>	<b>Minimum/Maximum Vehicle Parking Spaces Required</b>	<b>Number of Vehicle Parking Spaces Provided</b>
Residential	69	69
Visitor	5	5
<b>Total</b>	<b>74</b>	<b>74</b>

The applicant has proposed “Level 2” Electric Vehicle charging in 100% of the residential parking spaces in accordance with the District’s Electric Vehicle Charging Infrastructure Policy.

Bicycle Parking

The CD115 zone requires one long-term (Class 1) bicycle space for each of the residential units, which results in 46 required bicycle spaces. The proposal includes 46 Class 1 bicycle spaces which are located either within individual units or within secure lockers in the underground parking garage, and 12 Class 2 short-term spaces, providing a total of 58 bicycle spaces as shown in the table below. The proposed bicycle parking complies with the CD115 zone. “Level 1” electric charging will be provided for Class 1 bicycle storage spaces.

<b>Type of Bicycle Space</b>	<b>Number of Bicycle Spaces Provided</b>
Class 1	46
Class 2	12
<b>Total</b>	<b>58</b>

Phase Three of the development project fully complies with the CD115 zoning regulations and DP45.21 does not include any variances.

Development Covenant Requirements

The rezoning process for the project included the registration of a Development Covenant at the time of adoption of the zoning bylaw. The Development Covenant stipulated items to be resolved prior to issuance of the building permit, as well as occupancy of the buildings, and provides certainty that the development commitments regarding community benefits and amenities will be met by the developer.

As previously noted, the community benefits include improved connections both to and within Kirkstone Park including the newly constructed multiuse path along Emery Place.



The on-site shared amenities include a children’s play area within Phase One, an indoor amenity space within Phase Two which includes a 20m lap pool, hot tub, gym space, multipurpose rooms, and a meeting room, a picnic area within Phase Three and a variety of outdoor seating areas and walkways across all phases. Reciprocal easements secure access to these on-site amenities for future residents of the four phases.



Shared Amenities

**Development Permit for the Form and Character of Multi-Family Development:**

Building Design

The project has been reviewed against the Guidelines for Ground-Oriented Housing and the project complies. Notable highlights from the guidelines include:

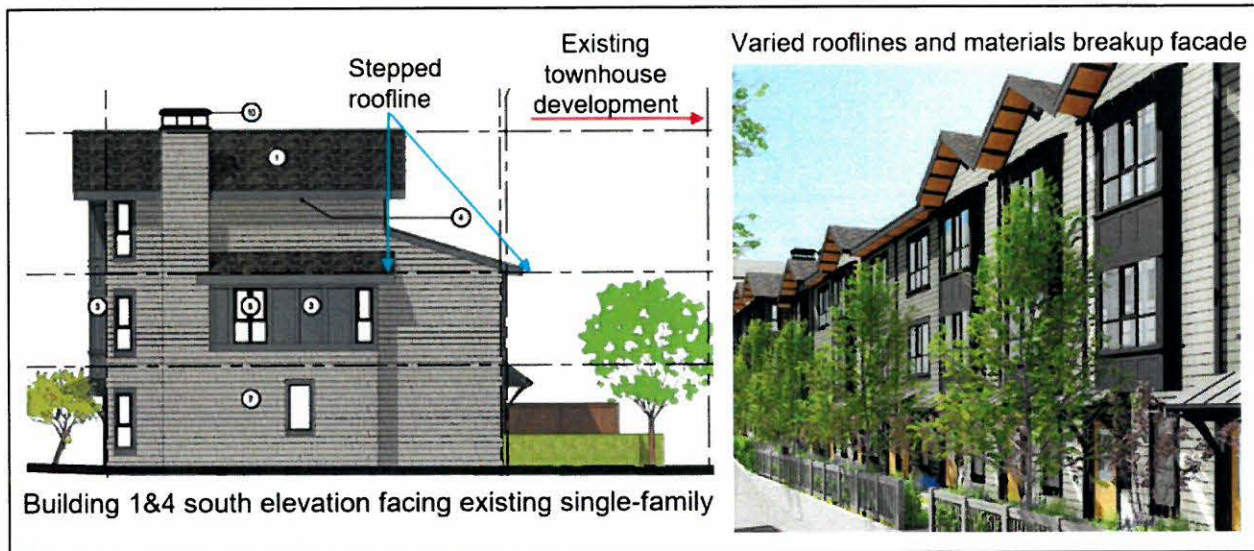
C1.1: Height and Massing: *The height and massing of buildings should be in keeping with a single family dwelling or townhouse height, which is typically less than 12 metres. Architectural treatments that reduce apparent building height such as the use of trim, colour accents, secondary roof elements, building recesses and stepped building forms are encouraged.*

- The maximum height along the eastern edge of the site is less than 12m measured from finished grade to highest ridge of roofs. The typical heights at the courtyard and the western pedestrian walkway are less than 11m. Gabled rooflines, bay windows and one and two storey shed-roof elements, entry porches, and varied materials and colours accents all serve to reduce the scale and create interest to the facades.

C1.2: Roof Treatment: *The gable orientation and roof pitch should be sympathetic to the design of neighbouring buildings and help to maximize the space and light between buildings.*

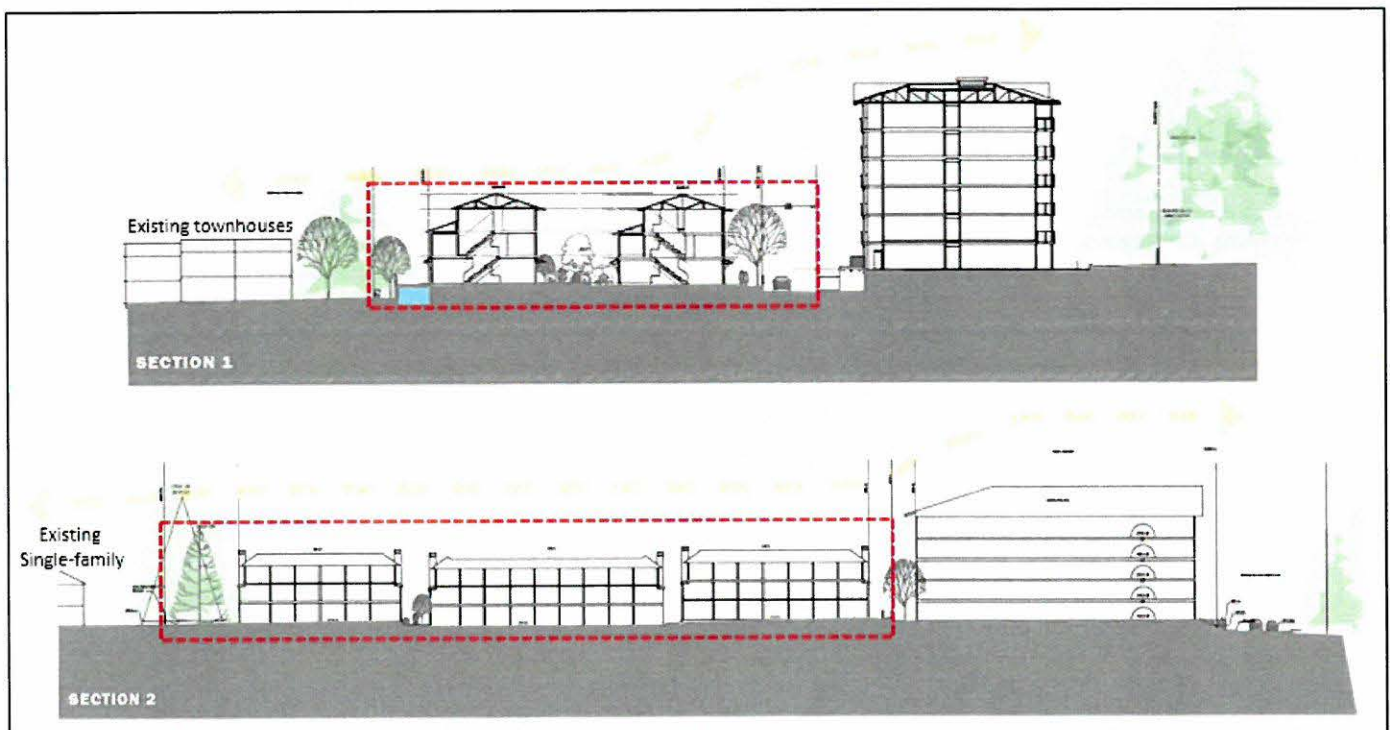


- The roof forms and medium slope roof pitches are sympathetic to the established character of ground-oriented housing in the neighbourhood.



**C3.1: Massing:** *The front façade of buildings should be broken up and portions stepped back to reduce the impression of bulk.*

- The front facades are modulated by a rhythm of gable rooflines, bay windows, porches and generous roof overhangs. Upper storeys are stepped back on elevations fronting neighbouring townhouses and single-family homes to reduce the visual massing.





**C3.2: Variations in Design:**  
*Subtle design variations should be incorporated between neighbouring buildings to avoid a repetitive appearance.*

- The mix of building heights, materials and design of each phase of the development results in variation in building design. In addition, subtle design variations between the townhouse buildings reduce repetition.



**Rendering of Phase 3 and Phase 1 Buildings**

**Landscaping**

The landscape plan submitted with the Phase Three development permit application includes a treed picnic area at the south end of the site, which will be available for use by residents of all four phases as secured in the Development Covenant. As previous noted, residents of Phase Three will also have access to the children's play area within Phase One and the shared walkways and outdoor seating areas across all four phases.



**Landscape Plan**



The landscape plan for Phase Three includes the protection of a number of coniferous and/or large diameter trees on both the south edge of the site (adjacent to single family) and off-site on the multi-family property to the east. The project has been designed to protect the root zones of the retained trees, and the protection areas and preservation measures are secured through a tree protection covenant registered on title. The landscape plan on page 11 of this report indicates the proposed on- and off-site tree retention and removal, and on-site replanting. In total, 15 trees which are a mix of western red cedar and western hemlock are to be retained and protected:

- Eight on-site trees along the south property line adjacent to single-family; and,
- Seven off-site trees along the east property line on the multi-family property.

Two adjacent red alders located on the multi-family property to the east, noted as being in fair condition but leaning, are recommended for removal. Per the District's Tree Protection Bylaw, these are not large diameter or protected species and would not require a permit for removal, however, require neighbour consent. One western hemlock located on the multi-family property to the east is noted as being in very poor health with advanced decline impacting the whole crown. Although initially intended to be retained, due to its poor health and anticipated impacts of the on-site stormwater management infiltration system, this tree is now recommended for removal which will not require a permit but will require neighbour consent. One on-site large diameter western red cedar is recommended to be pruned which requires a permit.

107 new trees are proposed to be planted within Phase Three in addition to a wide variety of adaptive and drought-tolerant shrubs, ferns, perennials, groundcover and grasses, including significant portion of native species.

The landscaping plan includes new plantings around the perimeter of the site and along the central courtyard and interior walkways. Notable highlights from the guidelines include:

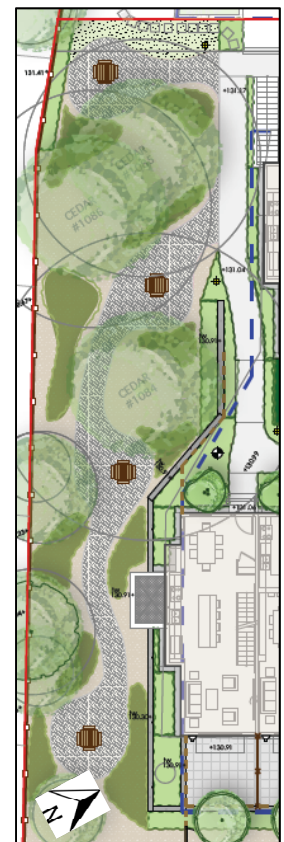
**C2.1: Tree Retention:** *Healthy mature trees and natural features should be retained where possible.*

- As noted, the project includes retention of coniferous and/or large diameter trees along the south and east edges of the property, secured by a tree preservation covenant. The buildings are designed to respect the root structure of retained trees.

**C2.4: Privacy:** *Incorporate planting and fencing to maximize privacy between dwelling units and neighbouring sites.*

- A combination of layered planting, fencing and a mix of retained and new trees soften the edges of outdoor gathering areas, private patios and perimeter of the site, providing privacy between townhouse units and adjacent properties.

**C2.5: Shared Outdoor Space:** *Units should be clustered to create interesting shared outdoor spaces as well as usable and accessible private outdoor spaces. Encourage/integrate informal gathering, play and urban gardening opportunities.*



**Shared picnic area**

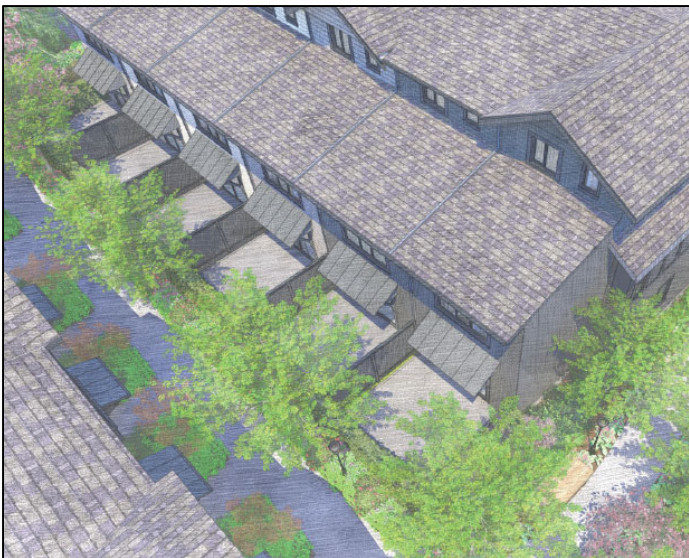


- The project includes a central courtyard with seating nodes provided at path intersections, as well as a quiet picnic seating area and lawns along the south property line accessible to residents of all phases.

**C2.6: Private Outdoor Space:**

*At least 9 square metres of usable private outdoor space should be provided for all units.*

- In addition to the shared outdoor spaces, each townhouse includes a minimum 11.7 m<sup>2</sup> (129 sq ft) private rear patio. A combination of fencing, screens and hedging preserves privacy between the patios and adjacent walkways and buildings.



**Aerial view of private patios**



**View through central courtyard**

**Lynn Valley Town Centre Public Realm and Design Guidelines**

The site is located within Lynn Valley Town Centre and the Public Realm and Design Guidelines apply to the project. The architectural style of the project compliments the mountain village setting and other buildings within the Lynn Valley Town Centre through use of similar colours, building materials, details and design elements. The project employs a contemporary use of textured materials and earth toned colours including wood-effect soffits and shingle cladding.



**View from Emery Court**

As outlined on page 12 of this report, a number of large and coniferous trees will be retained, while new landscaping incorporates extensive planting and trees to enhance the mountain village setting.



The townhouses will all have front doors at grade which enhances walkability, provides a human scale at the pedestrian level and increases the number of eyes on the street.

#### Acoustic Performance

Development Permit 45.21 includes the District's residential acoustic regulations for maximum noise levels in the bedrooms, living areas and other areas of the units. Prior to issuance of a Building Permit, the applicant will be required to submit a report from a qualified noise consultant demonstrating that the building will enable these standards to be met.

#### Accessible Units

The District's Accessible Design Policy for Multi-Family Housing encourages ground-oriented units to include accessible design features where feasible. Given the three-storey townhouse form, the project has been designed to include as many accessible design features as possible. All 46 units include a substantial portion (80%) of the applicable basic accessible design features and approximately 30% of the enhanced accessible design features to facilitate aging in place and provide options for those with reduced mobility.

#### **Development Permit for Energy and Water Conservation and Greenhouse Gas Emission Reductions:**

In accordance with the Energy and Water Conservation and Greenhouse Gas Emission Reduction Development Permit Area Guidelines and the District's CEEP, the project is designed to reduce energy consumption and incorporate building performance measures that will result in reduced costs for future owners. The proposal will meet Step 3 of the BC Energy Step Code with a low carbon energy system producing less than 3 kg CO<sub>2e</sub>/m<sup>2</sup>/yr. The applicant has provided a commitment letter detailing how the project will respond to the applicable DPA guidelines.

Notable highlights from the OCP guidelines with corresponding project commitments are included below.

#### Energy Conservation:

*Guideline 1: An integrated design process should be utilized to identify opportunities to reduce a building's energy consumption.*

- Building envelope will be optimized in terms of construction and glazing to maximize energy savings and occupant comfort.
- Electric heat and hot water mechanical systems will be utilized.
- Lighting design will use highly efficient LED fixtures to reduce electricity consumption and excessive internal heat gains.
- Energy Recovery Ventilators (ERV) will be specified to efficiently temper exterior air and circulate it throughout the homes.

Water Conservation:

*Guideline 1: An integrated design process should be utilized to identify opportunities to reduce a building's water consumption.*

- Low flow plumbing features and Energy Star rated appliances will reduce overall building water and domestic water heating energy use.
- An onsite stormwater detention facility to limit flow discharge rates as well as soft landscaping to allow for infiltration.
- A significant portion of the planting on site will be native species to minimize the need for landscape irrigation.
- Installation of efficient irrigation technology with rain sensors.

Greenhouse Gas Emission Reductions:

*Guideline 1: Building materials which are durable for the use intended should be selected.*

*Guideline 4: A construction waste management plan should be developed and areas for the collection of recyclable materials during construction should be provided on-site.*

- Durable materials will be specified throughout.
- Construction waste will be managed with a goal to divert it from the landfill.

**OFF-SITE IMPROVEMENTS:**

The Development Covenant registered on title at the time of rezoning secures a number of off-site improvements for the development site. In addition to the Kirkstone Park trail improvements discussed in this report, the four phase project provides:

- street lighting, street trees, sidewalk and boulevard improvements on the site frontages;
- a new raised pedestrian crossing on Emery Place at Emery Court;
- traffic signal upgrades at Mountain Highway and Emery Place;
- creation of the new Emery Court cul-de-sac;
- the extension of Emery Place in accordance with the future Lynn Valley road network envisioned in the OCP and Lynn Valley Flexible Planning Framework, facilitated through a Kirkstone Park Alternative Approval Process; and,
- a cash contribution towards a sanitary sewer replacement to address necessary upgrades for Lynn Valley.

The required off-site works have been secured in the Development Covenant. The current estimated cost of the off-site civil work for all four phases including any works associated with Phase Three is approximately \$9.7 million. This includes approximately \$5.6 million for the sanitary sewer replacement.



**DEVELOPMENT COST CHARGES:**

District of North Vancouver Development Cost Charges (DCCs) will be payable at the applicable rate at time of Building Permit issuance. DCC's for Phase Three are estimated to be \$875,499 based on the 2022 rates and are subject to change in 2023. Greater Vancouver Sewage and Drainage DCC's and TransLink DCC's will also be payable.

**COMMUNITY AMENITY CONTRIBUTION:**

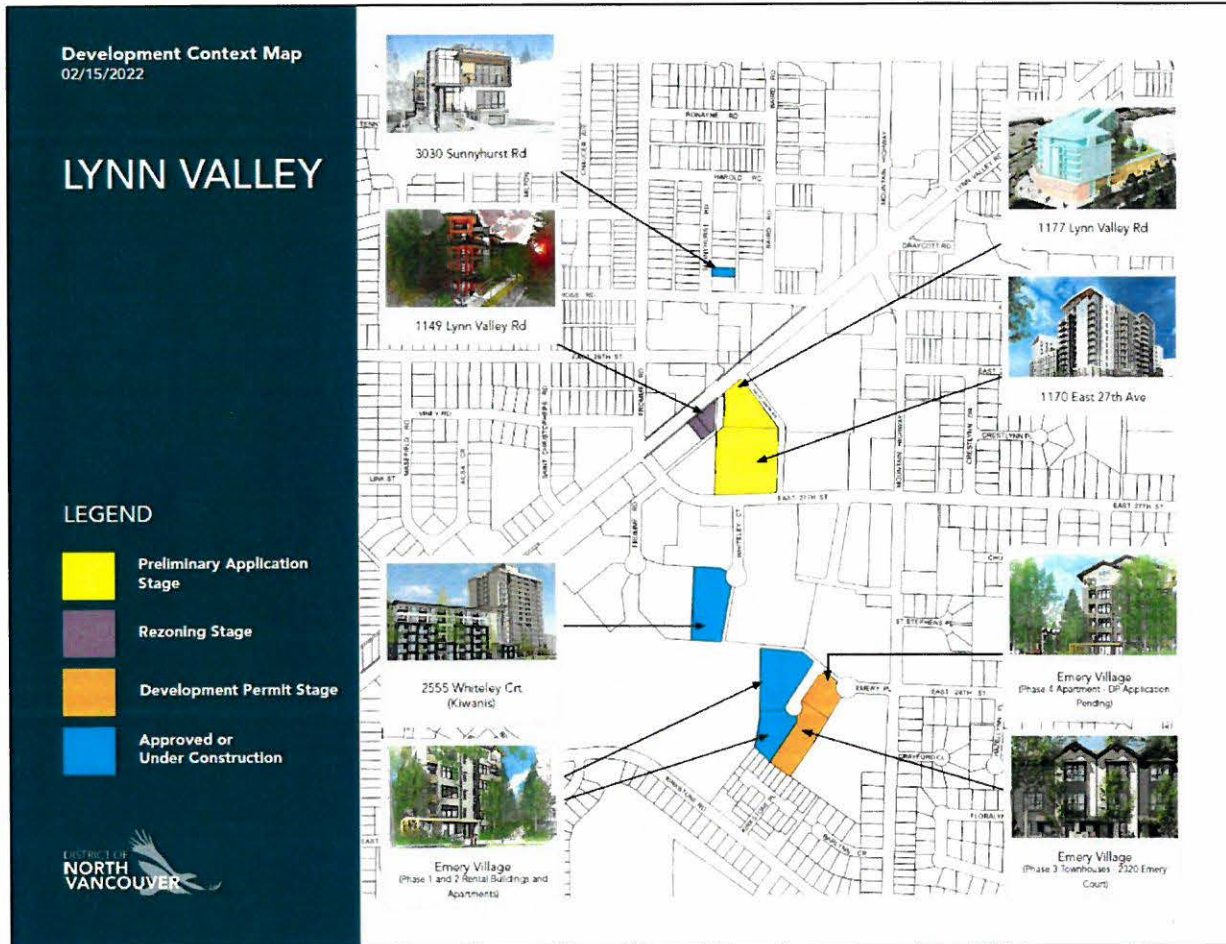
The District's Community Amenity Contribution (CAC) Policy is applicable to projects including an increase in residential density to meet additional amenity needs associated with growth. At the time of rezoning, 84 rental housing units including 42 non-market units in Phase One of the project were secured in perpetuity and a cash CAC with a combined total of \$11.9 million was secured for the project. The CD115 zone allows the CACs from this development to be used towards any of the following amenities, with allocation and timing of expenditure(s) to be determined by District Council:

- Affordable or special needs housing;
- The provision or enhancement of public facilities;
- Improvements to public parks, plazas, trails and greenways;
- Playgrounds; and
- Public art and other beautification projects.

As established in the CD115 zone, a CAC of \$1.5 million will be provided prior to the issuance of a building permit for Phase Three. A combined \$9 million of CACs have already been provided and the remaining \$1.4 million will be provided prior to the issuance of a building permit for Phase Four.

### CONSTRUCTION TRAFFIC MANAGEMENT PLAN:

The site is shown in relation to other residential construction projects and potential development projects in the image below.



In order to reduce development's impact on pedestrian and vehicular movements, the applicant is required to provide a Construction Traffic Management Plan (CTMP). The CTMP must outline how the applicant will coordinate with other projects in the area to minimize construction impacts. Staff are continuing to work with the applicant on the CTMP and a final accepted version will be required prior to issuance of any building permits.

It is anticipated that construction staging for Phase Three will be accommodated on-site and that trades parking will be accommodated off-site in a nearby rented parking lot without impacting existing neighbourhood streets.

A Highway Use Permit is required and will outline construction truck routes. Staff will monitor and adjust truck routing as necessary to ensure it remains sensitive to safety, especially with regards to peak use times in the surrounding community.



In particular, the Construction Traffic Management Plan must:

1. Provide safe passage for pedestrians, cyclists, and vehicle traffic;
2. Outline roadway efficiencies (i.e. location of traffic management signs and flaggers);
3. Make provisions for trade vehicle parking which is acceptable to the District and minimizes impacts to neighbourhoods;
4. Provide a point of contact for all calls and concerns;
5. Provide a sequence and schedule of construction activities;
6. Identify methods of communication with other developments in the area;
7. Address silt/dust control and cleaning up from adjacent streets;
8. Provide a plan for litter clean-up and street sweeping adjacent to site;
9. Include a communication plan to notify surrounding businesses and residents; and,
10. Commit to install cameras where necessary to assist staff in monitoring construction activities.

The requirement for an accepted Construction Traffic Management Plan is secured within the Development Covenant.

**CONCURRENCE:**

Staff

The project has been reviewed by staff from Development Planning, Building, Fire and Rescue Services, Community Planning, Landscape, Environment, Development Engineering, Construction Traffic Management, and Parks Departments.

Advisory Design Panel

The application was considered by the Advisory Design Panel on October 14, 2021 and the Panel recommended approval of the project subject to “addressing to the satisfaction of staff the items noted by the Panel in its review of the project.”

In response to the resolution, the following revisions were included in the proposal:

- Side-by-side unit entries have been separated with privacy screens.
- A grade change previously resulted in a step at the entry to each unit. Revisions to the design have allowed for 27 of the 46 units to now have a flush landing at entry, improving accessibility.
- The material colour palette has been revised to include a light grey scheme and two additional entry door colours have been provided to both increase variety and further enhance individual unit identities.
- Three of the buildings have been slightly rotated to provide a wider courtyard space in the centre of the site.

Staff are satisfied with the resolution of these items.

**PUBLIC INPUT:**

Prior to rezoning, the public input processes included the following:

- Early Input Opportunity Meeting at the preliminary application;
- Facilitated Public Information Meeting;
- Public Meeting for the Alternative Approval Process for Kirkstone Park; and
- Public Hearing for Bylaw 8304.

For the Phase Three Development Permit application, the applicant held a virtual Public Information Meeting (PIM) from December 3<sup>rd</sup> to December 17<sup>th</sup>, 2021.

Notices were distributed to neighbours in accordance with the District's policy on Non-Statutory Public Consultation for Development Applications. Two double-sided notification signs were placed on the site to inform passers-by of the meeting: one at the entrance to the site at the corner of Emery Place and Emery Court and the other at the southwest corner of Emery Place and Mountain Highway. Advertisements were also placed in the North Shore News on two occasions.

A webpage was established for the Virtual PIM on the District's website and included a video and display boards prepared by the applicant as well as information on the District's Development Permit process and a context map. The webpage allowed participants to ask questions which were posted with a response within two business days. Participants were also able to submit a comment form. Of note, the project webpage was viewed by 88 unique visitors and the project video was viewed 23 times.

A summary of the Virtual Public Information Meeting, comments received, and the Q&A, is attached (**Attachment 2**). Key topics included an appreciation of the form of housing, a desire for more rental units, concerns regarding site drainage, and concerns regarding impacts to Kirkstone Park and a desire for additional park space. Questions were raised regarding energy efficiency and climate change considerations, on-site amenities and utility costs for future residents, and the project's public art contribution.

**CONCLUSION:**

The project has been developed in accordance with the CD115 Zone regulations and the OCP Development Permit Area Guidelines for Form and Character of Ground-Multi-Family Development and Energy and Water Conservation and Greenhouse Gas Emission Reduction. It also addresses the Design Guidelines for the Lynn Valley Town Centre and contributes to Town Centre objectives. Development Permit 45.21 is now ready for Council's consideration.



**Options:**

The following options are available for Council's consideration:

1. Issue Development Permit 45.21 (Attachment 1) to allow for the construction of a 46-unit townhouse development at 2320 Emery Court (staff recommendation); or
2. Deny Development Permit 45.21 and provide direction to staff.

Respectfully submitted,



Emel Nordin  
Development Planner

**Attachments:**

1. DP 45.21
2. Summary Report - December 3 to December 17, 2021 Public Information Meeting

REVIEWED WITH:					
<input type="checkbox"/> Community Planning	_____	<input type="checkbox"/> Clerk's Office	_____	External Agencies:	
<input type="checkbox"/> Development Planning	_____	<input type="checkbox"/> Communications	_____	<input type="checkbox"/> Library Board	_____
<input type="checkbox"/> Development Engineering	_____	<input type="checkbox"/> Finance	_____	<input type="checkbox"/> NS Health	_____
<input type="checkbox"/> Utilities	_____	<input type="checkbox"/> Fire Services	_____	<input type="checkbox"/> RCMP	_____
<input type="checkbox"/> Engineering Operations	_____	<input type="checkbox"/> ITS	_____	<input type="checkbox"/> NVRC	_____
<input type="checkbox"/> Parks	_____	<input type="checkbox"/> Solicitor	_____	<input type="checkbox"/> Museum & Arch.	_____
<input type="checkbox"/> Environment	_____	<input type="checkbox"/> GIS	_____	<input type="checkbox"/> Other:	_____
<input type="checkbox"/> Facilities	_____	<input type="checkbox"/> Real Estate	_____		
<input type="checkbox"/> Human Resources	_____	<input type="checkbox"/> Bylaw Services	_____		
<input type="checkbox"/> Review and Compliance	_____	<input checked="" type="checkbox"/> Planning	_____		



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## **THE CORPORATION OF THE DISTRICT OF NORTH VANCOUVER**

### **DEVELOPMENT PERMIT 45.21**

This Development Permit 45.21 is hereby issued by The Corporation of the District of North Vancouver to the registered owner(s) for the development of 46 townhouse units in six buildings on the property 2320 Emery Court legally described as LOT 3 DISTRICT LOT 2022 GROUP 1 NEW WESTMINSTER DISTRICT PLAN EPP96076 (PID: 031-136-389), subject to the following terms and conditions:

- A. The following requirements are imposed under Subsection 490 (1) (c) of the Local Government Act:
1. Substantial construction as determined by the Manager of Permits and Licenses shall commence within two years of the date of this permit or the permit shall lapse.
  2. A Construction Traffic Management Plan is required prior to issuance of the Building Permit and Excavation Permit, and may require amendments during the course of construction to ensure that construction impacts are minimized.
  3. \$1,500,000 in Community Amenity Contributions is required prior to issuance of a Building Permit as outlined in the CD 115 Zone.
- B. The following requirements are imposed under Subsections 491 (7) and (8) of the Local Government Act:
1. The site shall be developed in accordance with the attached plans (DP 45.21 1 through 44).
  2. Prior to the issuance of a Building Permit, the following shall be submitted to:
    - i. Development Planning Department:
      - a. Confirmation of registration of an easement in favour of Lot 3 over Lot 1 granting the user(s) of the Lot 3 accessible visitor parking space ("Lot 3 V1") access to the Lot 1 elevator, lobby and building entrance as required for entering and exiting the underground parking garage.
    - ii. Building Department:
      - a. A completed report prepared by a qualified acoustic professional verifying compliance with the acoustic guidelines as set out in the Development Covenant and as follows:



- compliance with District of North Vancouver Noise Regulation Bylaw for any rooftop mechanical equipment.
- that noise levels for dwelling unit occupants will not exceed those listed below:

Portion of Dwelling Unit	Noise Level (Decibels)*
bedrooms	35
living, dining, recreation rooms	40
kitchen, bathrooms, hallways	45

\*For the purpose of this section the noise level is the A-weighted 24-hour equivalent (Leq) sound level and will be defined simply as the noise level in decibels.

- b. A summary of the accessible design measures that will be provided, consistent with the objectives of the District’s Accessible Design Policy for Multi-Family Housing and as shown on attachment DP 45.21 - 34-42.
- iii. Parks Department:
- a. Three copies of a final detailed landscape plan prepared by a Landscape Architect registered in British Columbia for the approval of the General Manager of Engineering or their designate;
  - b. A written landscape estimate in accordance with District format, submitted by the Landscape Architect for approval by the Parks and Engineering Services Department for the installation of all landscaping as shown on the final approved landscape plan; and,
  - c. A completed “Permission to Enter” agreement to provide evidence that a Landscape Architect has been retained to supervise the installation of the landscape works and the written authorization for the District or its agents to enter the premises and expend any or all of the deposit monies to complete the landscape works in accordance with the approved landscape plan.
- iv. Engineering Department:
- a. Finalized civil and electrical engineering plans in accordance with the Engineering Servicing Agreement, designed by a Professional Engineer, for review and acceptance by the Engineering Department.

---

C. The following requirements are imposed under Subsections 491 (9) and (10) of the Local Government Act:

1. Prior to issuance of the Building Permit the following is required:

- i. Confirmation of the green building features included in the project to fulfil the Energy and Water Conservation and Greenhouse Gas Emission Reduction Development Permit area guidelines as outlined in the DPA Energy and Water Conservation and Greenhouse Gas Emission Reduction memo prepared by Mosaic Homes and submitted to the District as shown on DP45.21 – 43-44.

D. The following requirements are imposed under Subsection 502 of the Local Government Act:

1. Prior to issuance of the Building Permit the following deposits are required:

- i. A security deposit equal to the greater of 125% of the estimated cost of all on-site landscaping, in accordance with the approved cost estimate or \$100,000. The deposit must be provided prior to issuance of a Building Permit for the development on the Land and will be held as security for landscaping, building and environmental works.
- ii. Engineering security deposit(s), in an amount specified in the Engineering Services Agreement, to cover the construction and installation of all off-site engineering and landscaping requirements.

E. Nothing in this Development Permit alters or affects in any way any of the preconditions to issuance of a Building Permit as set out in the Development Covenant registered against the Land in favour of the District under number CA6927649-CA6927651.

---

**Mayor**

---

**Municipal Clerk**

Dated this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_





WALKABOUT





WALKABOUT





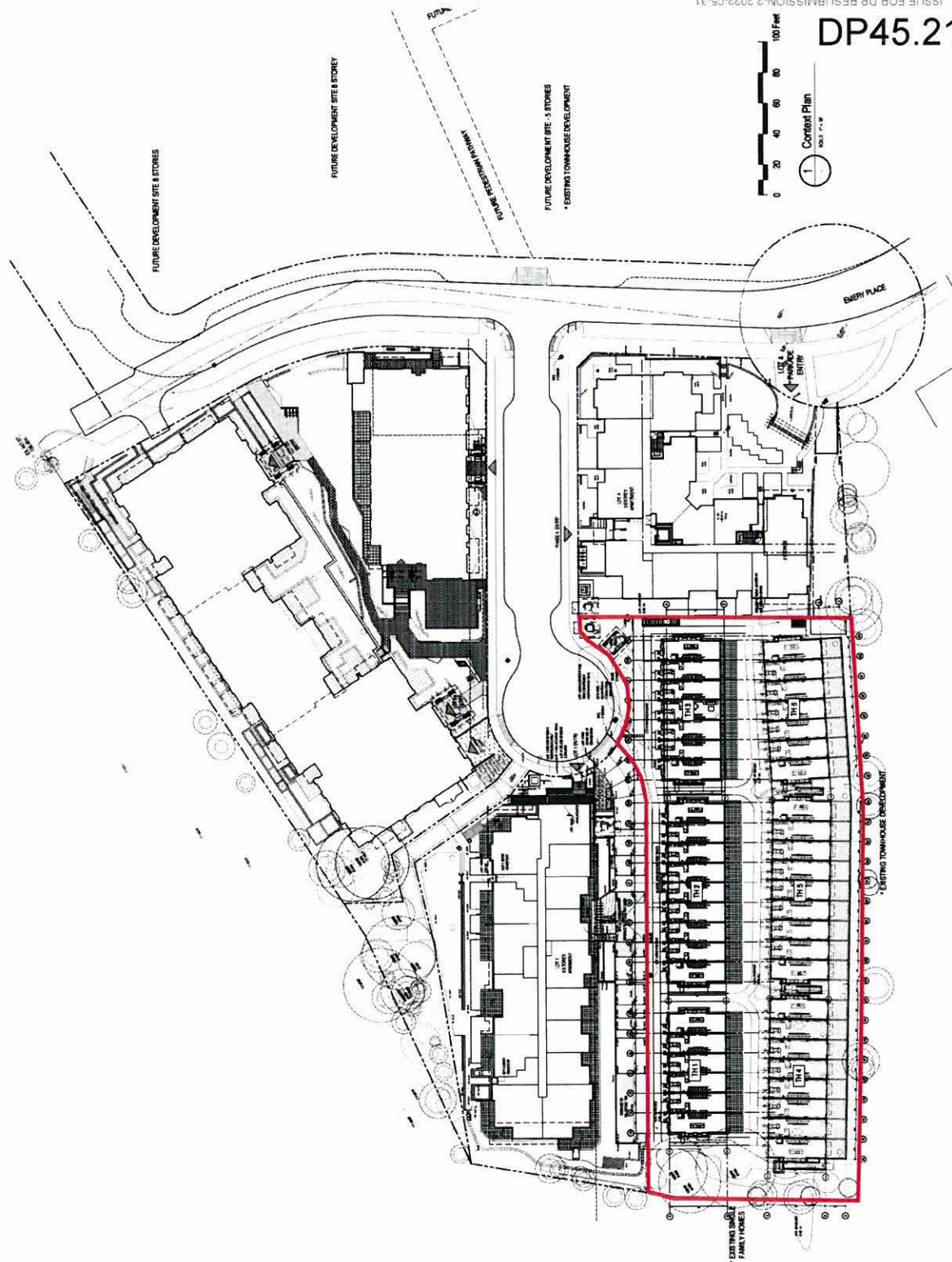
WALKABOUT





WALKABOUT





DP45.21 - 5



2017

A1.0u

Context Plan

Lynn Lot 3

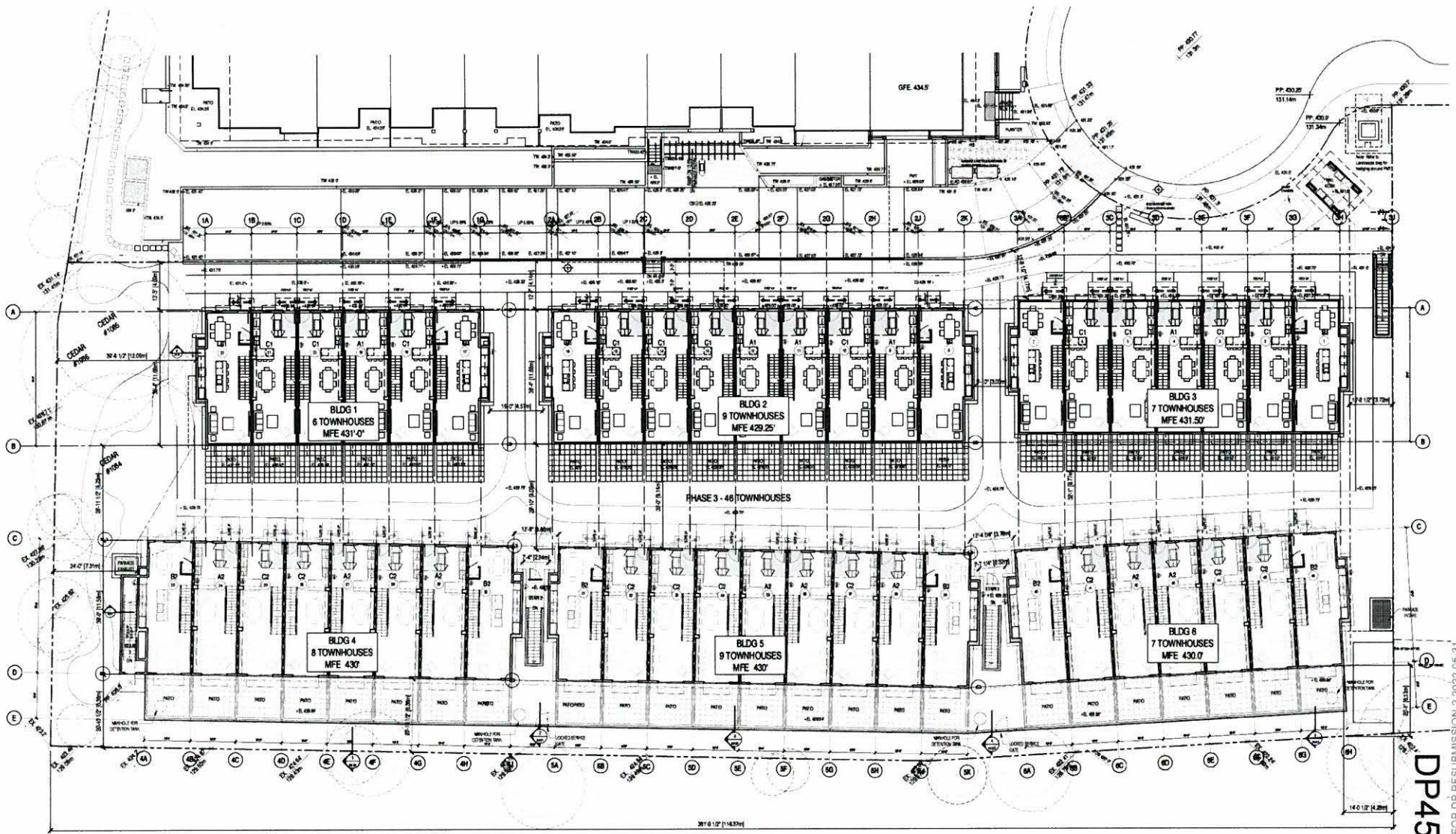


Mosaic Homes  
MOSAIC

RWA ARCHITECTURE  
100 King Street West  
Toronto, Ontario M5X 1C5  
Tel: 416.593.8888  
www.rwa.ca

ISSUE FOR DP RESUBMISSION 2 2022-05-31





1 Site Plan - Lot 3  
SCALE 1/8"=1'-0"



NO.	REVISION	DATE	BY	CHKD.	APP'D.
1	ISSUED FOR PERMIT	2022-05-31	...	...	...
2	REVISION	...	...	...	...
3	REVISION	...	...	...	...
4	REVISION	...	...	...	...



Lynn Lot 3

Site Plan

A1.01

DP45.21 - 6  
ISSUE FOR DP RESUBMISSION-2 2022-05-31  
2017



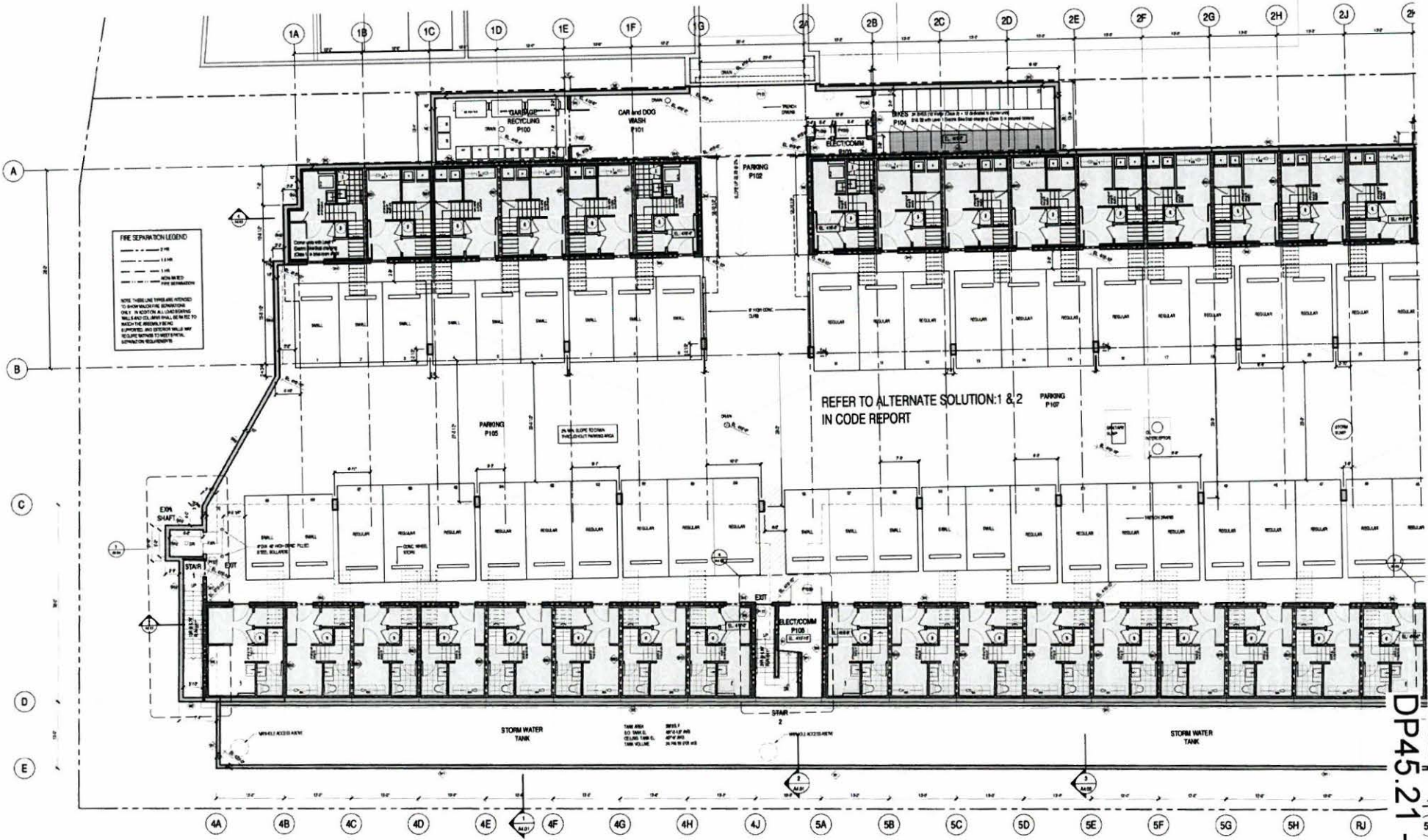












**FIRE SEPARATION LEGEND**

NOTE: THESE LINE TYPES ARE INTENDED TO SHOW VARIOUS FIRE SEPARATIONS ONLY. IN ADDITION, ALL LOAD-BEARING WALLS AND COLUMN WALLS ARE IN ACCORD WITH THE APPLICABLE BUILDING CODES AND SECTIONS SHALL BE SEPARATE FROM THE SEPARATION REQUIREMENTS.

REFER TO ALTERNATE SOLUTION 1 & 2  
IN CODE REPORT

**RWA ARCHITECTURE**  
300 Kingway  
Vancouver, BC  
Canada V6T 3J7

T: 604 736 9809  
F: 604 736 9800  
E: info@rwa.ca  
W: www.rwa.ca

**Mosaic Homes**  
100-1000 Columbia Road  
Vancouver BC V6H 2A6

**MOSAIC**

NO.	DESCRIPTION	DATE	BY	CHKD BY
1	ISSUED FOR PERMIT	2022-06-18	...	...
2	REVISIONS	...	...	...
3	REVISIONS	...	...	...
4	REVISIONS	...	...	...



PROJECT TITLE  
**Lynn Lot 3**  
288 Stone Creek North, North Vancouver, BC

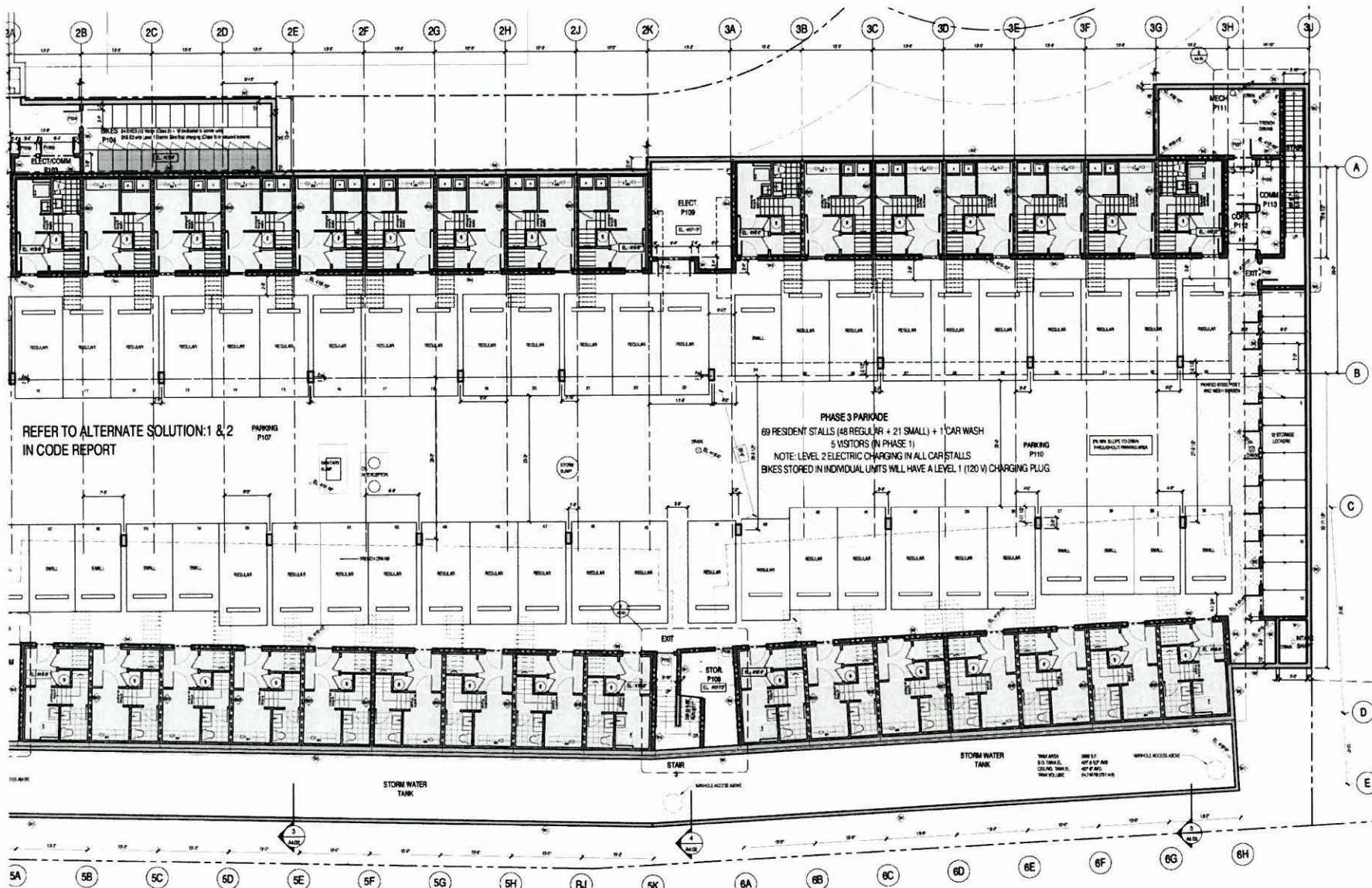
ISSUE TITLE  
**P1 Level Plan-South**

SCALE: 1/8" = 1'-0"  
DATE: 2022-06-18  
DRAWN BY: ...  
CHECKED BY: ...

**A2.00a**

DP45.21 - 10  
 ISSUE FOR PERMIT: 2022-06-18  
 2017





**FIRE SEPARATION LEGEND**

- 1 HR
- 1.5 HR
- 2 HR
- 3 HR

NOTE: THESE LINE TYPES ARE INTENDED TO SHOW FIRE SEPARATION. ONLY PLANNED ALL CONCERNING WALLS AND DOORS SHALL BE NOTED TO MATCH THE APPROPRIATE RATING. UNPLANNED AND IMPROPERLY DETAILING REQUIRE REFERENCE TO BEST PRACTICE SEPARATION REQUIREMENTS.

REFER TO ALTERNATE SOLUTION: 1 & 2 IN CODE REPORT

**PHASE 3 PARKADE**  
 69 RESIDENT STALLS (48 REGULAR + 21 SMALL) + 1 CAR WASH  
 5 VISITOR (IN PHASE 1)  
 NOTE: LEVEL 2 ELECTRIC CHARGING IN ALL CAR STALLS  
 BIKES STORED IN INDIVIDUAL UNITS WILL HAVE A LEVEL 1 (120 V) CHARGING PLUG



**Mosaic Homes**  
 500-888-2222  
 C. 416-291-1111  
 W. www.mosaic.ca

NO.	REVISION	DATE	BY	CHKD BY
1	ISSUED FOR PERMIT	2022-06-18	[Signature]	[Signature]
2	ISSUED FOR CONSTRUCTION	2022-06-18	[Signature]	[Signature]
3	ISSUED FOR CONSTRUCTION	2022-06-18	[Signature]	[Signature]



**Lynn Lot 3**

**P1 Level Plan-North**

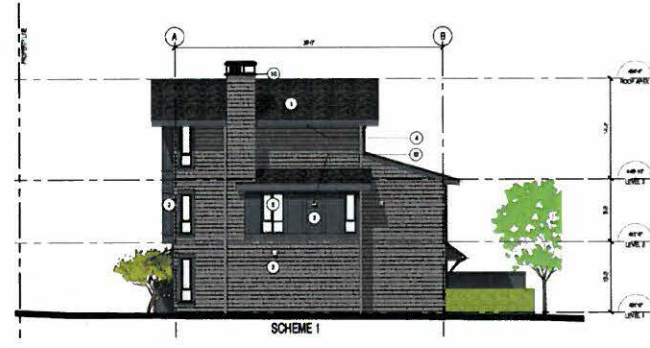
**A2.00b**

DP45.21 - 11  
 ISSUED FOR PERMIT: DP-3, 2022-06-18  
 12.0.1.1





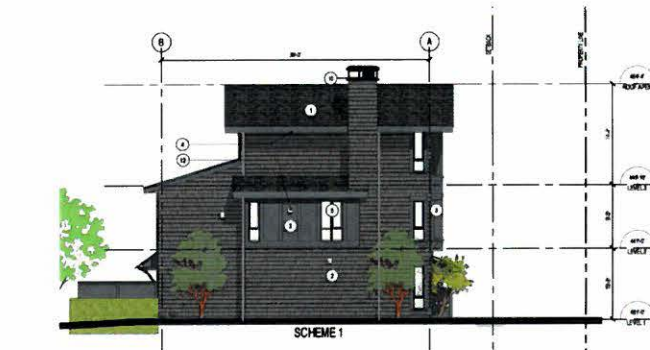
1 Building 1 West Elevation  
SCALE: 1/8" = 1'-0"



2 Building 1 South Elevation  
SCALE: 1/8" = 1'-0"



3 Building 1 East Elevation  
SCALE: 1/8" = 1'-0"



4 Building 1 North Elevation  
SCALE: 1/8" = 1'-0"

Lynn Lot 3 Townhouses - Colour Allocation

By: [Signature]

MATERIALS	Scheme 1, Dark grey Light colour door	Scheme 3, Light grey Light colour door	Scheme 1, White Light colour door	Scheme 3, Dark grey Dark colour door
1. CONCRETE/STONE/BRICK	CONCRETE	CONCRETE	CONCRETE	CONCRETE
2. CONCRETE/STONE/BRICK	CONCRETE	CONCRETE	CONCRETE	CONCRETE
3. CONCRETE/STONE/BRICK	CONCRETE	CONCRETE	CONCRETE	CONCRETE
4. CONCRETE/STONE/BRICK	CONCRETE	CONCRETE	CONCRETE	CONCRETE
5. CONCRETE/STONE/BRICK	CONCRETE	CONCRETE	CONCRETE	CONCRETE
6. CONCRETE/STONE/BRICK	CONCRETE	CONCRETE	CONCRETE	CONCRETE
7. CONCRETE/STONE/BRICK	CONCRETE	CONCRETE	CONCRETE	CONCRETE
8. CONCRETE/STONE/BRICK	CONCRETE	CONCRETE	CONCRETE	CONCRETE
9. CONCRETE/STONE/BRICK	CONCRETE	CONCRETE	CONCRETE	CONCRETE
10. CONCRETE/STONE/BRICK	CONCRETE	CONCRETE	CONCRETE	CONCRETE
11. CONCRETE/STONE/BRICK	CONCRETE	CONCRETE	CONCRETE	CONCRETE
12. CONCRETE/STONE/BRICK	CONCRETE	CONCRETE	CONCRETE	CONCRETE
13. CONCRETE/STONE/BRICK	CONCRETE	CONCRETE	CONCRETE	CONCRETE
14. CONCRETE/STONE/BRICK	CONCRETE	CONCRETE	CONCRETE	CONCRETE
15. CONCRETE/STONE/BRICK	CONCRETE	CONCRETE	CONCRETE	CONCRETE
16. CONCRETE/STONE/BRICK	CONCRETE	CONCRETE	CONCRETE	CONCRETE
17. CONCRETE/STONE/BRICK	CONCRETE	CONCRETE	CONCRETE	CONCRETE
18. CONCRETE/STONE/BRICK	CONCRETE	CONCRETE	CONCRETE	CONCRETE
19. CONCRETE/STONE/BRICK	CONCRETE	CONCRETE	CONCRETE	CONCRETE
20. CONCRETE/STONE/BRICK	CONCRETE	CONCRETE	CONCRETE	CONCRETE

MATERIAL LIST

1. ASPHALT SHINGLES ON ROOF
2. CONCRETE/STONE/BRICK
3. CONCRETE/STONE/BRICK
4. CONCRETE/STONE/BRICK
5. CONCRETE/STONE/BRICK
6. CONCRETE/STONE/BRICK
7. CONCRETE/STONE/BRICK
8. CONCRETE/STONE/BRICK
9. CONCRETE/STONE/BRICK
10. CONCRETE/STONE/BRICK
11. CONCRETE/STONE/BRICK
12. CONCRETE/STONE/BRICK
13. CONCRETE/STONE/BRICK
14. CONCRETE/STONE/BRICK
15. CONCRETE/STONE/BRICK
16. CONCRETE/STONE/BRICK
17. CONCRETE/STONE/BRICK
18. CONCRETE/STONE/BRICK
19. CONCRETE/STONE/BRICK
20. CONCRETE/STONE/BRICK

**RWA**  
ARCHITECTURE  
350 Kingston  
Windsor, ON  
Canada, N7T 3J7  
T 504 736 8859  
E info@rwa.ca  
W www.rwa.ca

**Mosaic Homes**  
100-800 University Ave  
Windsor, ON N9N 1S8  
**MOSAIC**

NO. 100-800 UNIVERSITY AVE WINDSOR, ON N9N 1S8  
1. Mosaic Homes  
2. RWA ARCHITECTURE  
3. Mosaic Homes  
4. Mosaic Homes



ISSUED TITLE  
**BLDG 1 Elevations**

SCALE: 1/8" = 1'-0" SHEET NO:  
DATE: 2022-05-31

**A3.01**

DP45.21 - 12  
ISSUE FOR DP RESUBMISSION 2 2022-05-31  
1 | 1.0 | 2



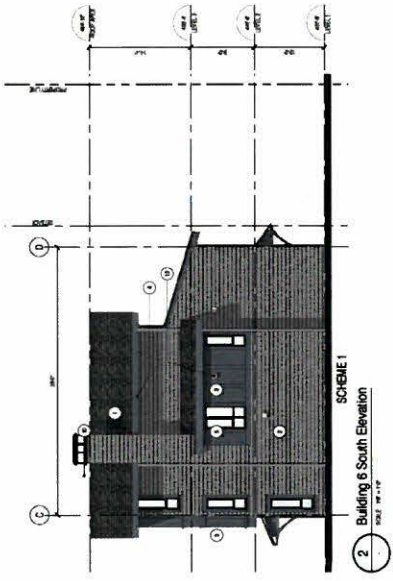








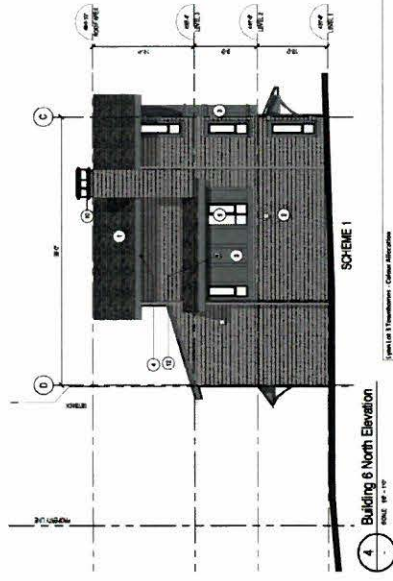




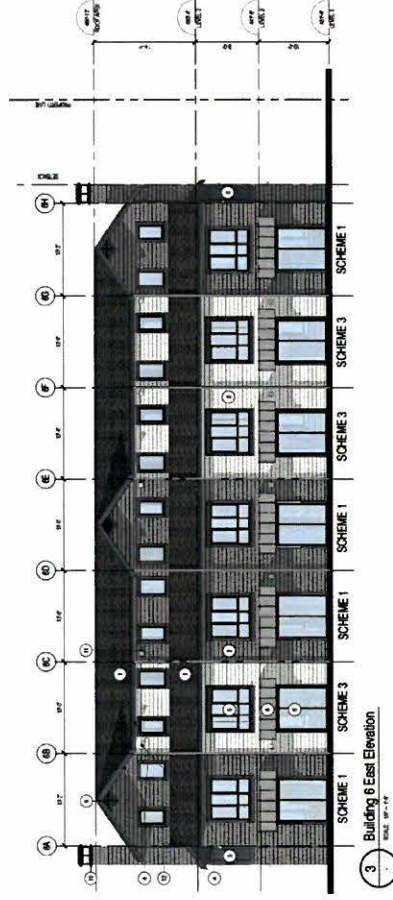
2 Building & South Elevation  
SCALE: 1/8" = 1'-0"



1 Building & West Elevation  
SCALE: 1/8" = 1'-0"



4 Building & North Elevation  
SCALE: 1/8" = 1'-0"



3 Building & East Elevation  
SCALE: 1/8" = 1'-0"

**MATERIAL LIST**

1. BRICK
2. CONCRETE
3. GUTTER
4. METAL ROOFING
5. METAL FLASHING
6. METAL DOWNSPOUT
7. METAL TRIM
8. METAL VENT
9. METAL WOOD TRIM
10. METAL WOOD TRIM
11. METAL WOOD TRIM
12. METAL WOOD TRIM
13. METAL WOOD TRIM
14. METAL WOOD TRIM
15. METAL WOOD TRIM
16. METAL WOOD TRIM
17. METAL WOOD TRIM
18. METAL WOOD TRIM
19. METAL WOOD TRIM
20. METAL WOOD TRIM

NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	BRICK	1000	SQ. YD.	1.50	1500.00
2	CONCRETE	100	CY	120.00	12000.00
3	GUTTER	100	LINEAR FT.	10.00	1000.00
4	METAL ROOFING	1000	SQ. YD.	1.50	1500.00
5	METAL FLASHING	100	LINEAR FT.	10.00	1000.00
6	METAL DOWNSPOUT	100	LINEAR FT.	10.00	1000.00
7	METAL TRIM	100	LINEAR FT.	10.00	1000.00
8	METAL VENT	100	LINEAR FT.	10.00	1000.00
9	METAL WOOD TRIM	100	LINEAR FT.	10.00	1000.00
10	METAL WOOD TRIM	100	LINEAR FT.	10.00	1000.00
11	METAL WOOD TRIM	100	LINEAR FT.	10.00	1000.00
12	METAL WOOD TRIM	100	LINEAR FT.	10.00	1000.00
13	METAL WOOD TRIM	100	LINEAR FT.	10.00	1000.00
14	METAL WOOD TRIM	100	LINEAR FT.	10.00	1000.00
15	METAL WOOD TRIM	100	LINEAR FT.	10.00	1000.00
16	METAL WOOD TRIM	100	LINEAR FT.	10.00	1000.00
17	METAL WOOD TRIM	100	LINEAR FT.	10.00	1000.00
18	METAL WOOD TRIM	100	LINEAR FT.	10.00	1000.00
19	METAL WOOD TRIM	100	LINEAR FT.	10.00	1000.00
20	METAL WOOD TRIM	100	LINEAR FT.	10.00	1000.00

BLDG 6 Elevations  
A3.06

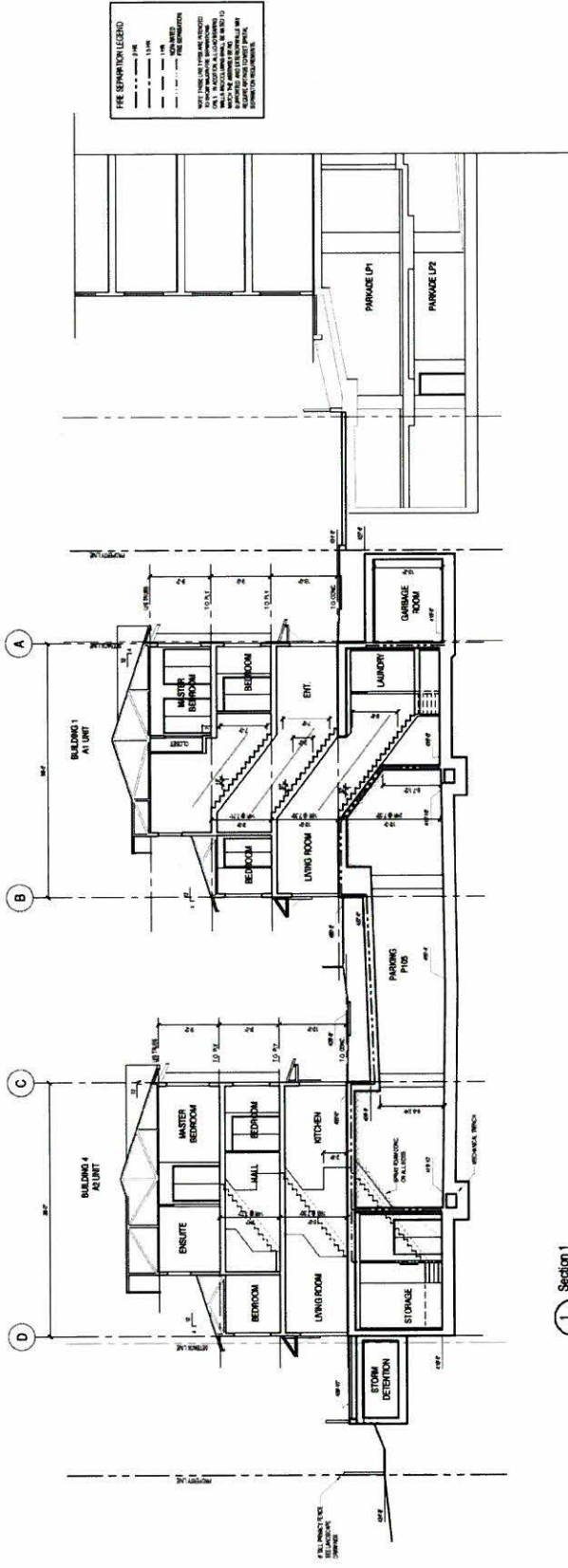


**RWA ARCHITECTURE**  
300 Kingpin  
Lynchburg, VA 24502  
757.328.8888  
www.rwaarch.com

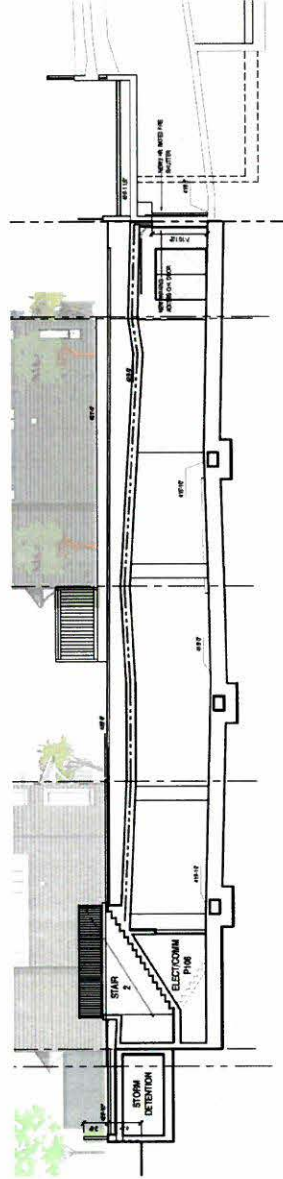
**Mosaic Homes**  
10000 W. 10th St.  
Lynchburg, VA 24502  
757.328.8888

**MOSAIC**





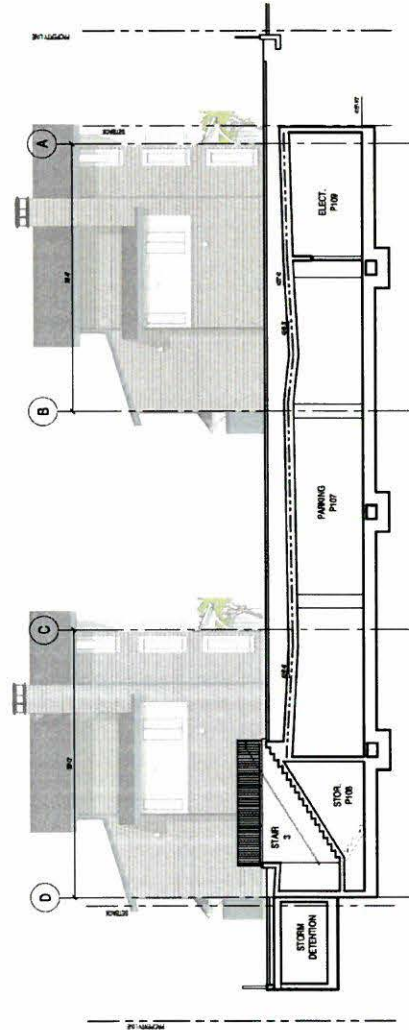
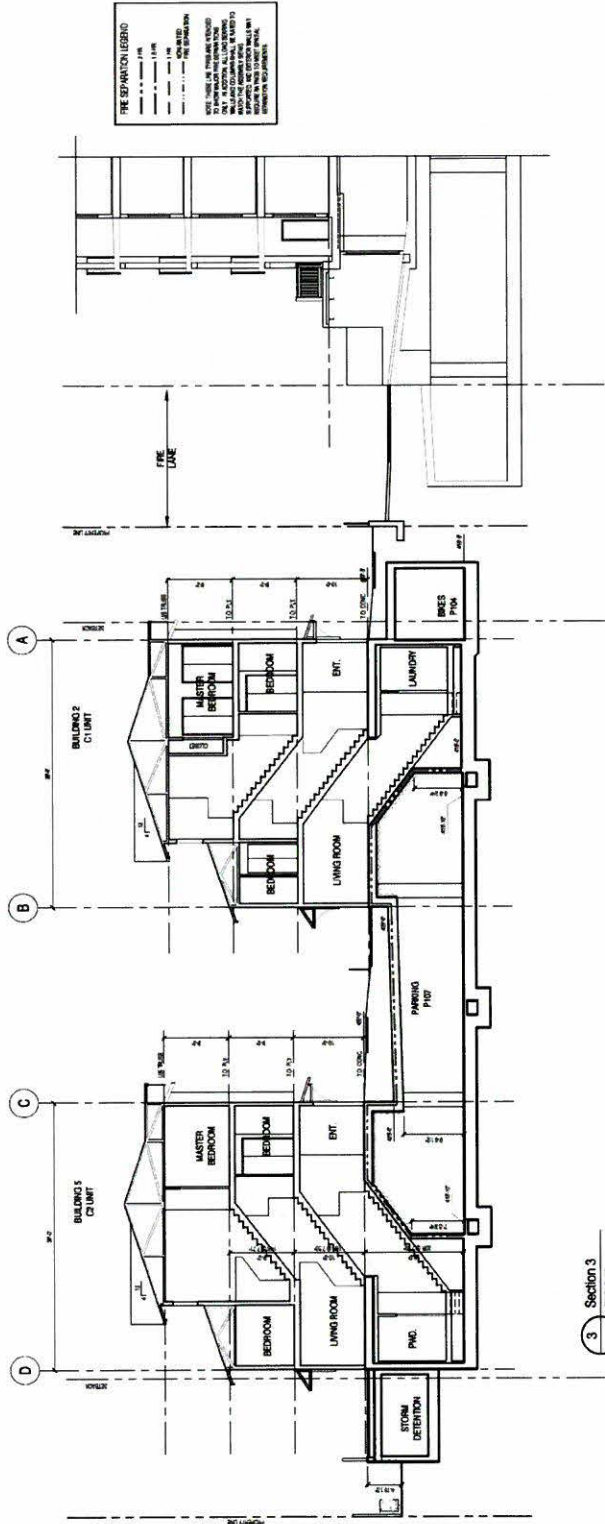
1 Section 1  
SCALE 1/8" = 1'-0"



2 Section 2  
SCALE 1/8" = 1'-0"

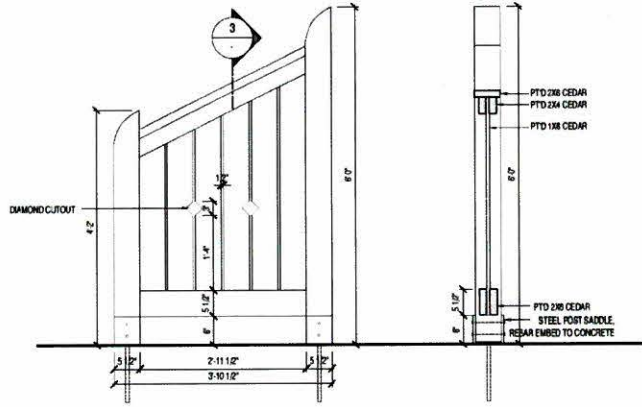


RWA ARCHITECTURE  
352 Kingsway  
Vancouver, BC V6W 1K6  
Canada V6W 1K6  
Tel: 604.778.9939  
Fax: 604.778.9939  
www.rwa.ca

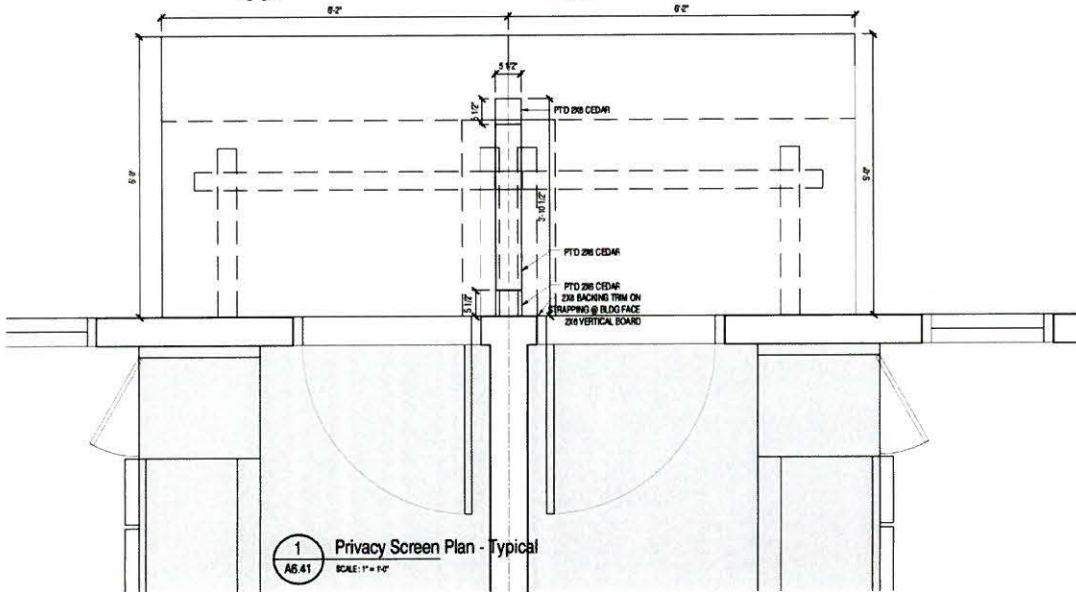








2 Privacy Screen Elevation - Typical SCALE: 1" = 1'-0"  
 3 Privacy Screen Section - Typ SCALE: 1" = 1'-0"  
 A6.41 A6.41



1 Privacy Screen Plan - Typical SCALE: 1" = 1'-0"  
 A6.41

**RWA**  
 ARCHITECTURE  
 355 Kingsway  
 Westport, VT 05671  
 T: 504.736.8958  
 E: info@rwa-arch.com  
 W: www.rwa-arch.com

Mosaic Homes  
 400 Main Street  
 Westport, VT 05671  
**MOSAIC**

NO.	REVISION	DATE	BY	CHKD.	APP.
1	ISSUED FOR PERMIT	05/11/2022	JL	MS	
2	REVISED PER COMMENTS	05/11/2022	JL	MS	
3	REVISED PER COMMENTS	05/11/2022	JL	MS	
4	REVISED PER COMMENTS	05/11/2022	JL	MS	

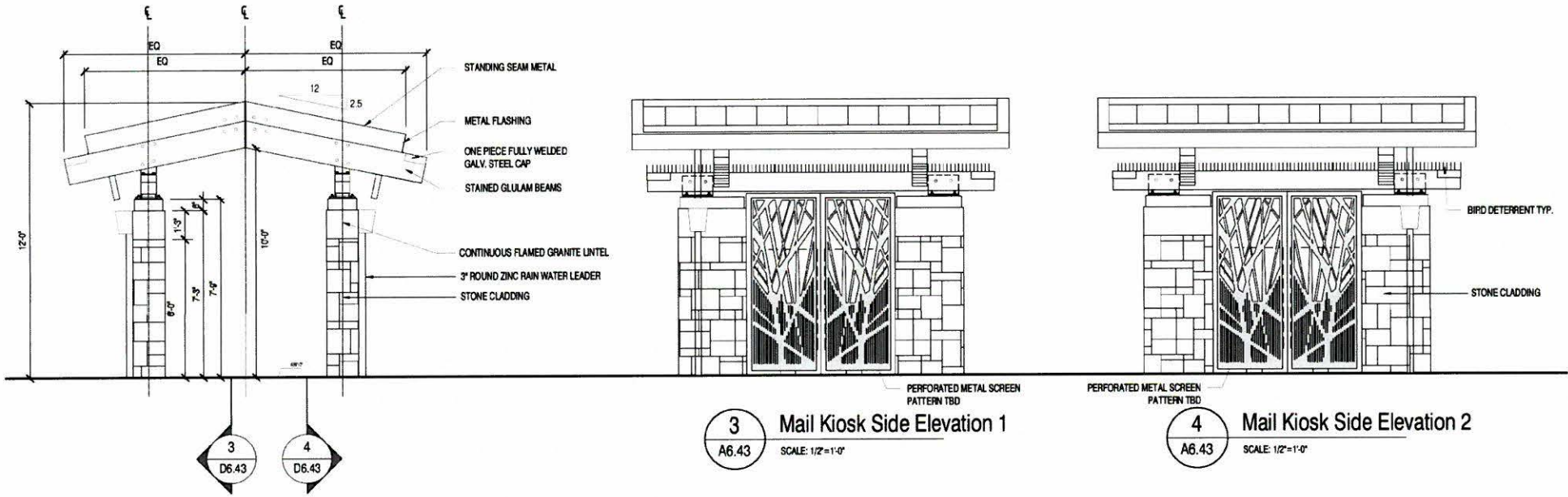
PROJECT TITLE  
 Lynn Lot 3  
 2288 Snows Creek Road, Westport, VT

ISSUING TITLE  
 Privacy Screen Details  
 SCALE: 1" = 1'-0" SHEET NO.  
 DRAWN BY: J.L. DATE: 05/11/2022  
 P.L.P. NAME: J.L.

DP45.21 - 21  
 ISSUE FOR DP RESUBMISSION: 2022-05-31  
 1 | 1.0 | 2.0 | 3.0 | 4.0 | 5.0 | 6.0 | 7.0 | 8.0 | 9.0 | 10.0 | 11.0 | 12.0  
 A6.41





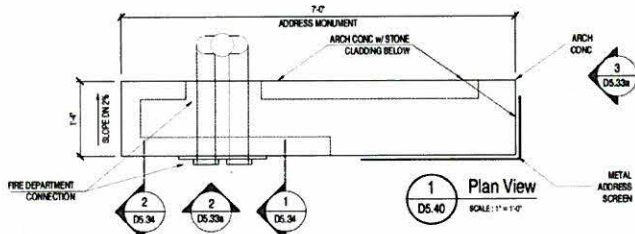


**2** Mail Kiosk Section  
A6.43 SCALE: 1/2"=1'-0"

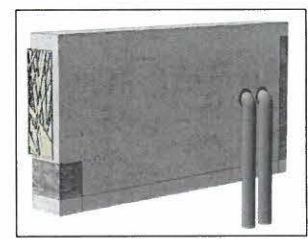
**3** Mail Kiosk Side Elevation 1  
A6.43 SCALE: 1/2"=1'-0"

**4** Mail Kiosk Side Elevation 2  
A6.43 SCALE: 1/2"=1'-0"

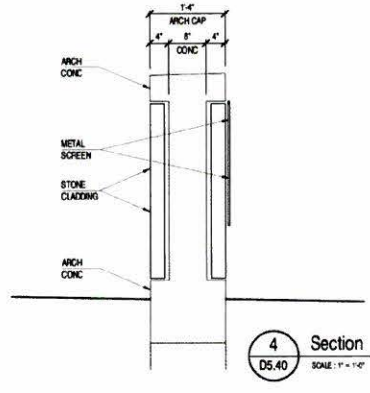
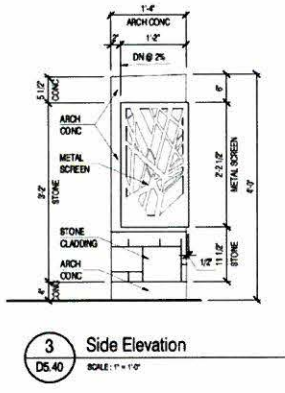
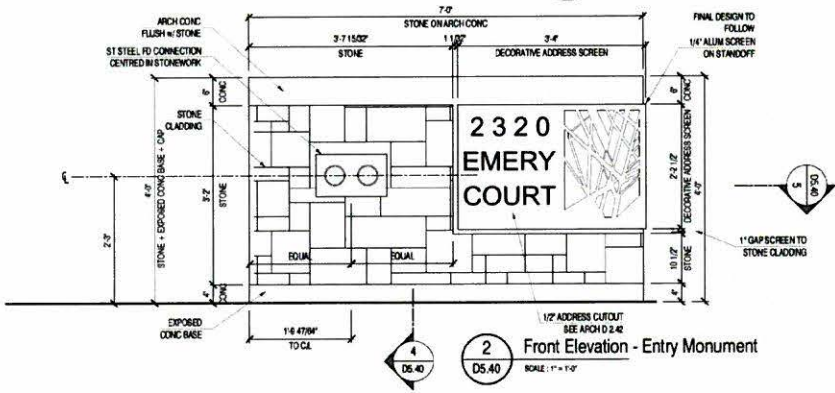
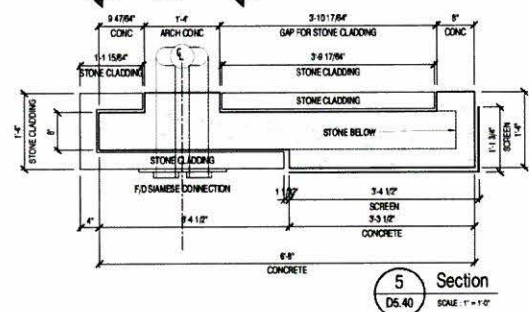


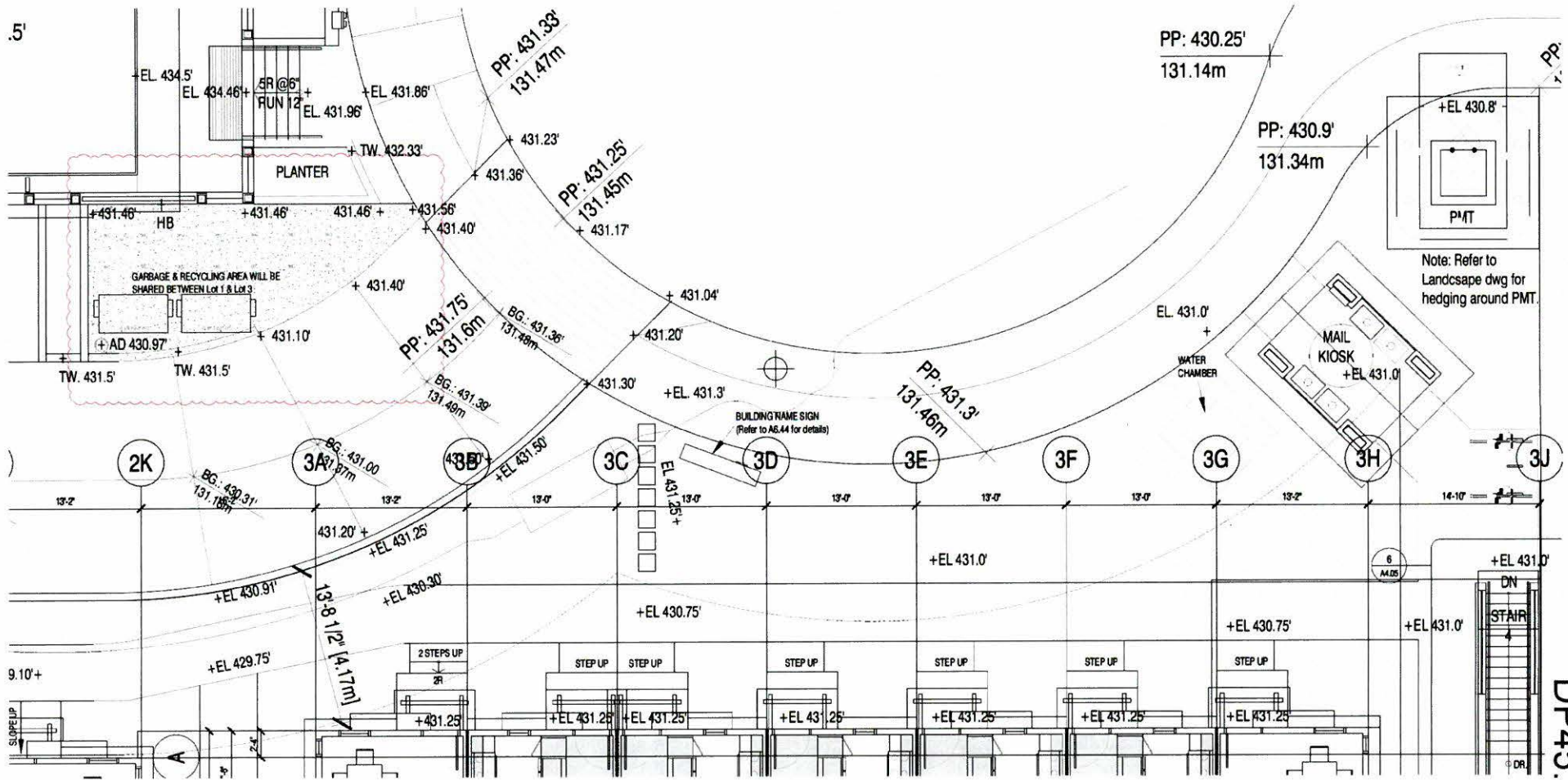


STREET SIDE VIEW



VIEW FROM BUILDING SIDE





Note: Refer to Landscape dwg for hedging around PMT.

1 Lot 3's Shared garbage staging area with Lot 1  
A6.45

**RWA**  
ARCHITECTURE  
355 Kingston  
Halifax NS  
Canada V8T 3J7  
1-804-736-8950  
info@rwa.ca  
www.rwa.ca

Mosaic Homes  
300-2600 Shear Street  
Halifax NS, Canada  
**MOSAIC**

NO.	DESCRIPTION	DATE	BY	REVISION	DATE	BY	REV. PLAN
1	ISSUED FOR PERMIT	2022-05-31	MM				
2	ISSUED FOR CONSTRUCTION	2022-05-31	MM				
3	ISSUED FOR CONSTRUCTION	2022-05-31	MM				

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Lynn Lot 3

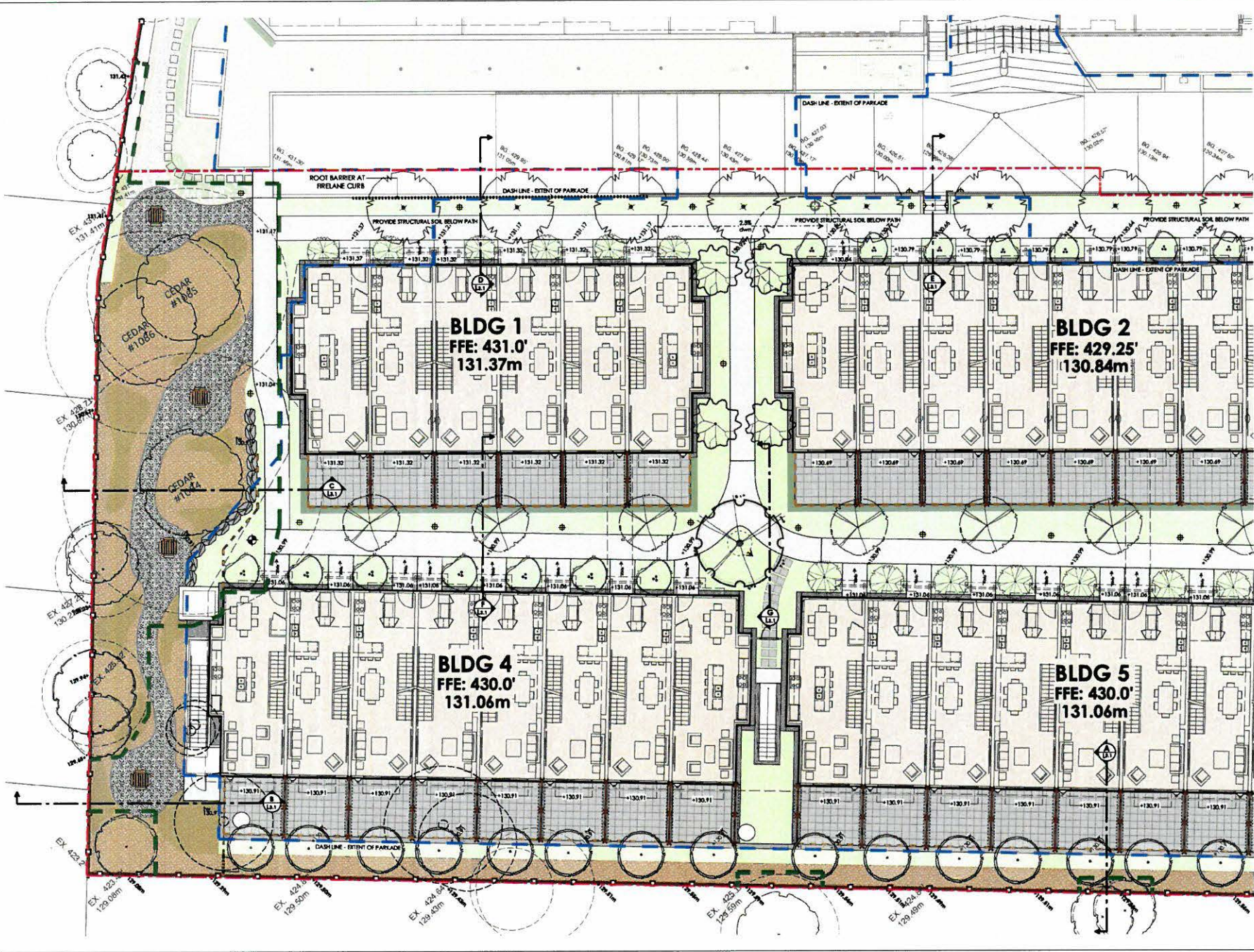
2022-05-31  
GARBAGE STAGING DIAG  
SHARED WITH LOT 1  
A6.45

DP45.21 - 25  
ISSUE FOR DP RESUBMISSION-2 2022-05-31  
2017









13	MAY 27-23	ISSUED FOR DP
12	MAY 10-22	ISSUED FOR DRAFT-8P
11	MAY 1-22	RE-ISSUED FOR DP
10	FEB 25-22	ISSUED FOR PRE-DRAFT
9	SEPT 30-21	ISSUED FOR COORDINATION
8	JUL 15-21	ISSUED FOR DP-#2-1
7	JAN 24-21	ISSUED FOR DP-#2
6	MAR 23-21	ISSUED FOR COORDINATION
5	AUG 14-18	ISSUED FOR PRICING
4	APR 19-18	RE-ISSUED FOR DP
3	MAR 21-18	ISSUED FOR COORDINATION
2	SEPT 29-17	ISSUED FOR DP-#2
1	AUG 5-17	ISSUED FOR DP-#2
NO.		DATE

Revisions:  
 Duran Design Ltd  
 102 - 1837 West 8th Avenue  
 Vancouver BC V6J 1H6  
 T 604 684 4811  
 F 604 684 0577  
 www.ddp.ca

**MOSAIC**  
 500-2609 Granville Street  
 Vancouver, B.C.  
 VBH-313

Project:  
**EMERY PLACE - PHASE 3**  
 DISTRICT OF NORTH VANCOUVER

Drawn by: AG  
 Checked by: RK  
 Date: SEP 17 - 2017  
 Scale: 1/8"=1'-0"

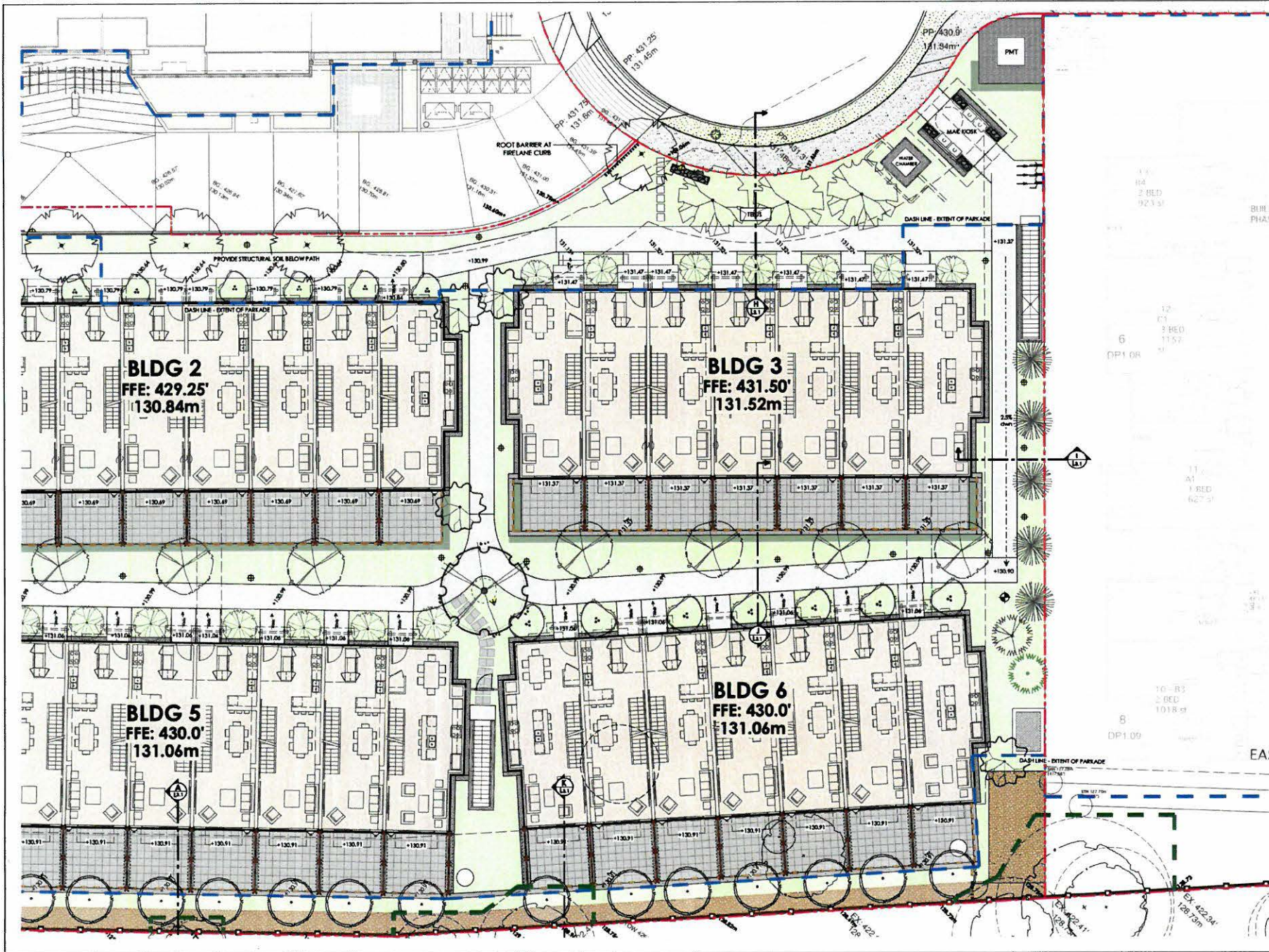
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**PHASE 3:  
 MATERIALS &  
 GRADING PLAN**

Project No.:  
**16113 - PH3**  
 Sheet No.:

L1.1

**DP45.21 - 27**





Revisions:	no.	date	description
	13	MAY 27-22	RE-ISSUED FOR DP
	12	MAY 10-22	ISSUED FOR RP DRAFT
	11	MAY 1-22	RE-ISSUED FOR DP
	10	FEB 25-22	ISSUED FOR RP DRAFT
	9	SEPT 20-21	ISSUED FOR COORDINATION
	8	AA 15-21	ISSUED FOR DP-RZ1
	7	JAN 24-21	ISSUED FOR DP-RZ
	6	MAR 23-21	ISSUED FOR COORDINATION
	5	AUG 14-18	ISSUED FOR PRICING
	4	APR 19-18	RE-ISSUED FOR DP
	3	MAR 21-18	ISSUED FOR COORDINATION
	2	SEPT 29-17	ISSUED FOR DP-RZ
	1	AUG 3-17	ISSUED FOR DP-RZ

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Project:  
**EMERY PLACE - PHASE 3**  
 DISTRICT OF NORTH VANCOUVER

Drawn by: AG  
 Checked by: JK  
 Date: SEP 27 - 2011  
 Scale: 1/8"=1'-0"

Drawing title:  
**PHASE 3:  
 MATERIALS &  
 GRADING PLAN**

Project No.:  
**16113 - PH3**

Sheet No.:  
**L1.2**

**DP45.21 - 28**





- 13 MAY 27-22 BS-BUILD FOR DP
- 12 MAY 10-22 RE-ISSUED FOR DRAFT-SP
- 11 MAY 1-22 RE-ISSUED FOR DP
- 10 FEB 25-22 ISSUED FOR BIDDING
- 9 SEPT 30-21 ISSUED FOR COORDINATION
- 8 JUL 15-21 ISSUED FOR DP-R2-R1
- 7 JUN 24-21 ISSUED FOR DP-R2
- 6 MAR 23-21 ISSUED FOR COORDINATION
- 5 AUG 14-18 ISSUED FOR PRICING
- 4 APR 19-18 RE-ISSUED FOR DP
- 3 MAR 21-18 ISSUED FOR COORDINATION
- 2 SEPT 29-17 ISSUED FOR DP-R2
- 1 AUG 3-17 ISSUED FOR DP-R2

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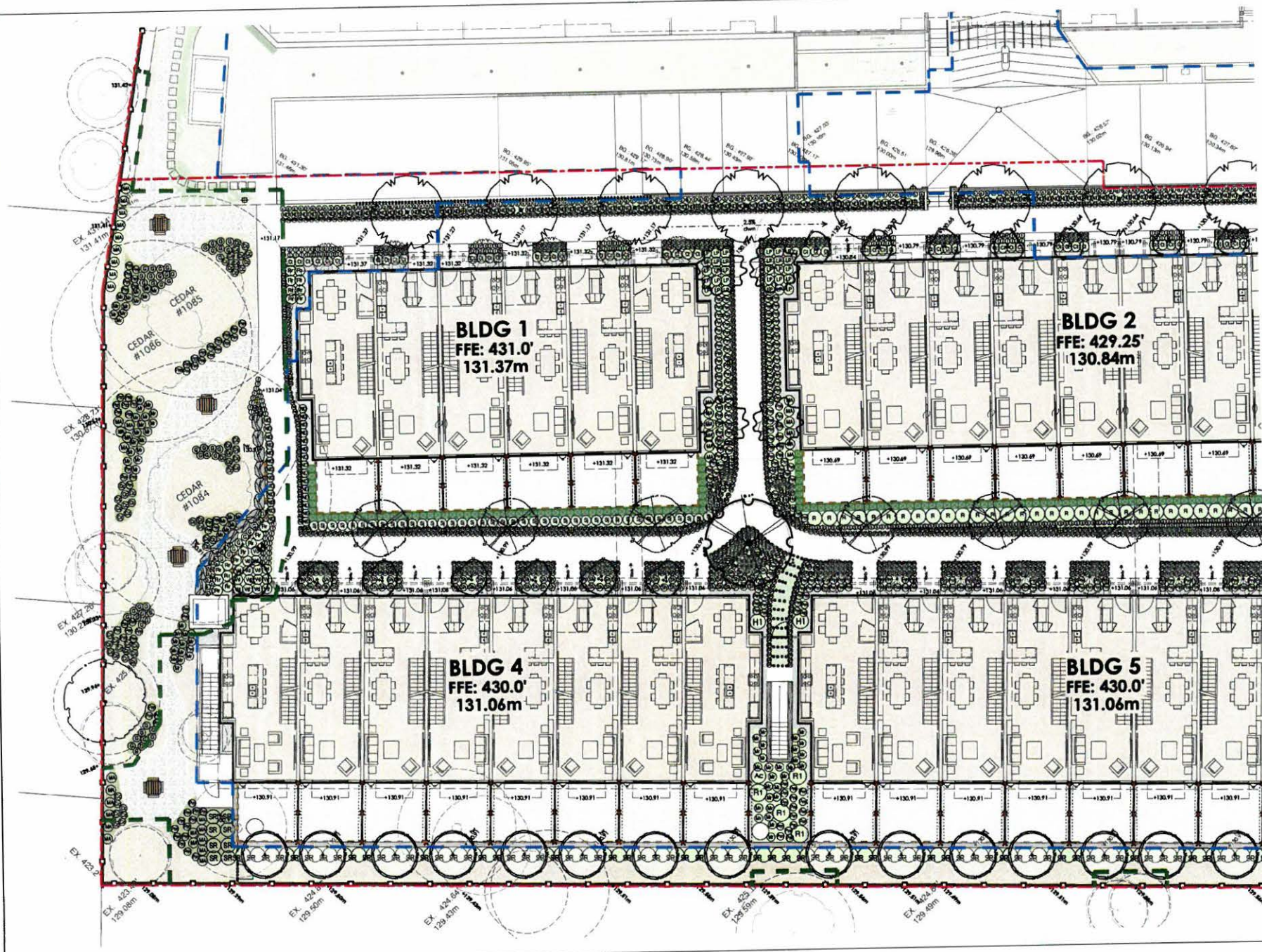
Project:  
**EMERY PLACE - PHASE 3**  
 DISTRICT OF NORTH VANCOUVER

Drawing title:  
**PHASE 3  
 PLANTING PLAN**

Project No.:  
**16113 - PH3**

Sheet No.:  
**L2.1**

DP45.21 - 29



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 CEDAR #1086

EX-428.75  
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 CEDAR #1084

EX-422.26  
 130.26m  
 EX-426  
 129.84m

EX-423.2  
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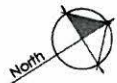
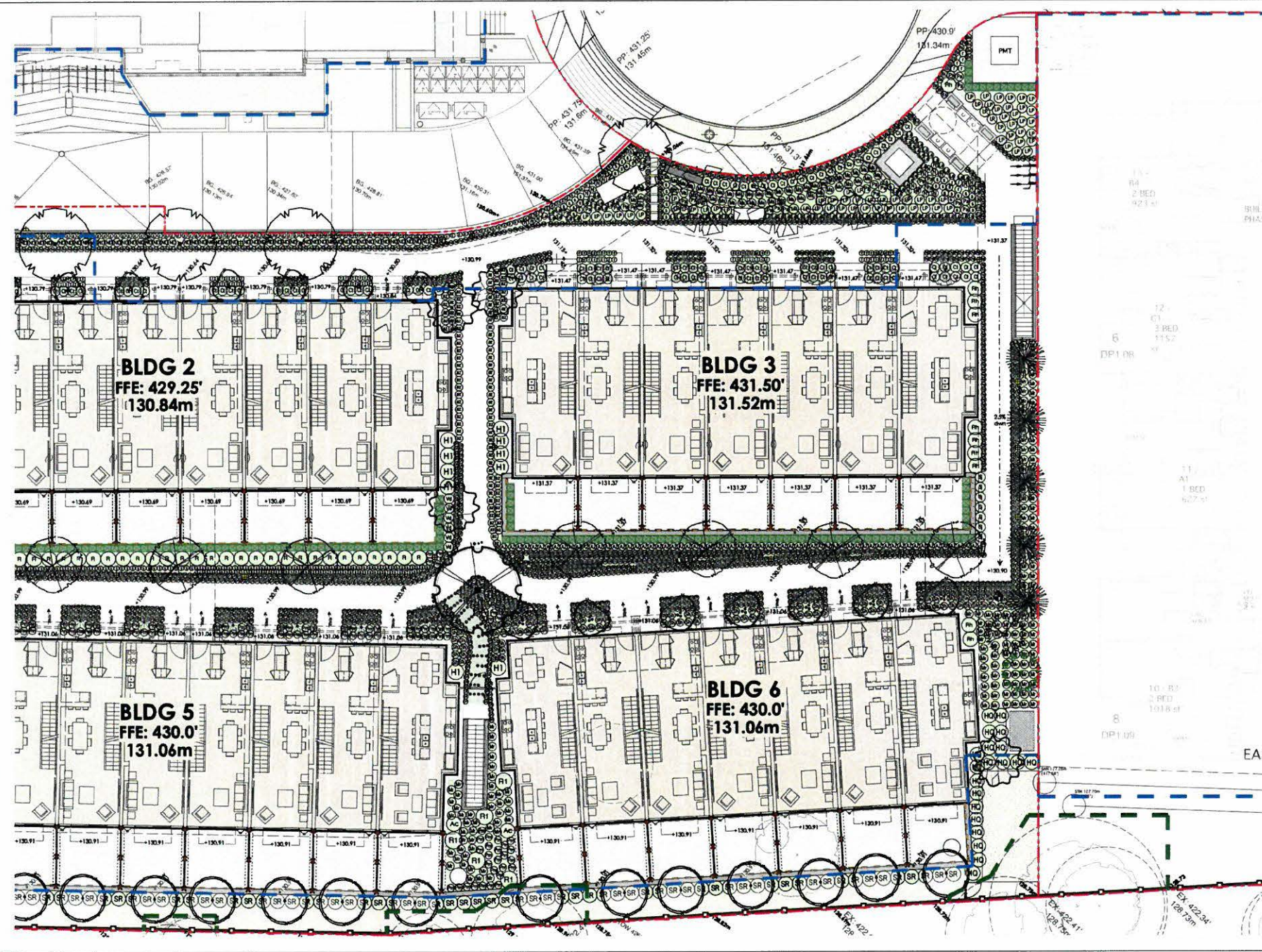
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**BLDG 2**  
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 130.84m

**BLDG 4**  
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 131.06m

**BLDG 5**  
 FFE: 430.0'  
 131.06m





Rev.	Date	Description
13	MAY 27-22	RE-ISSUED FOR DP
12	MAY 10-22	ISSUED FOR RP DRAFT
11	MAY 1-22	RE-ISSUED FOR DP
10	FEB 26-22	ISSUED FOR RP DRAFT
9	SEPT 30-21	ISSUED FOR COORDINATION
8	JUL 15-21	ISSUED FOR DP-RZ-1
7	JAN 24-21	ISSUED FOR DP-RZ
6	MAR 23-21	ISSUED FOR COORDINATION
5	AUG 14-18	ISSUED FOR PRICING
4	APR 19-18	RE-ISSUED FOR DP
3	MAR 21-18	ISSUED FOR COORDINATION
2	SEPT 29-17	ISSUED FOR DP-RZ
1	AUG 3-17	ISSUED FOR DP-RZ

Revisions:


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Project:  
**EMERY PLACE - PHASE 3**  
 DISTRICT OF NORTH VANCOUVER

Drawn by: AG  
 Checked by: PK  
 Date: SEP 27 - 2017  
 Scale: 1/8"=1'-0"

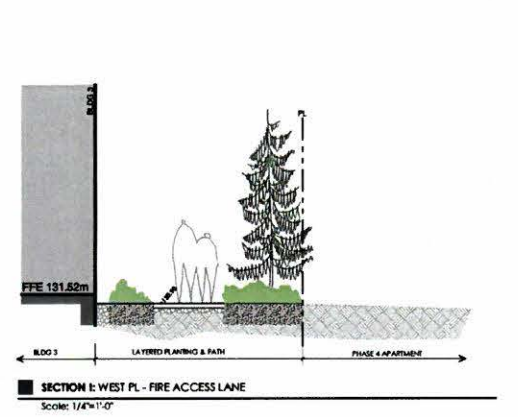
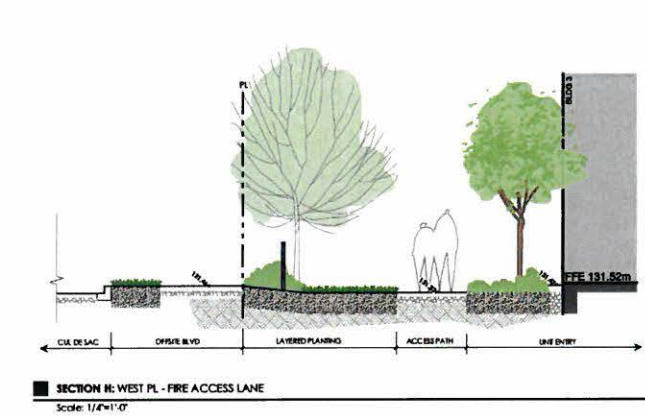
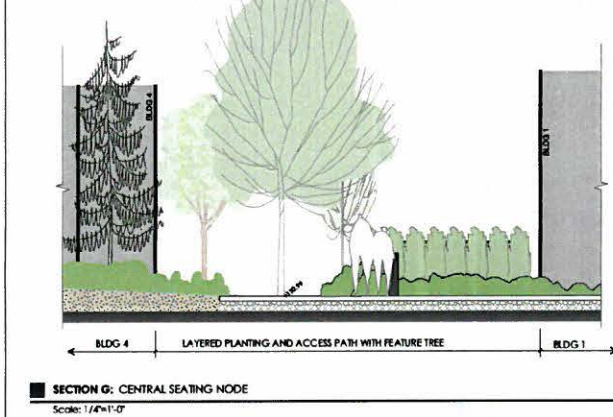
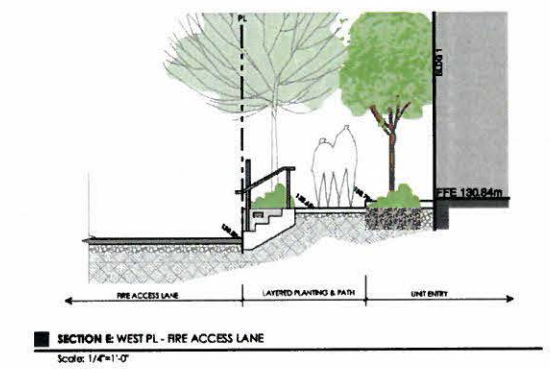
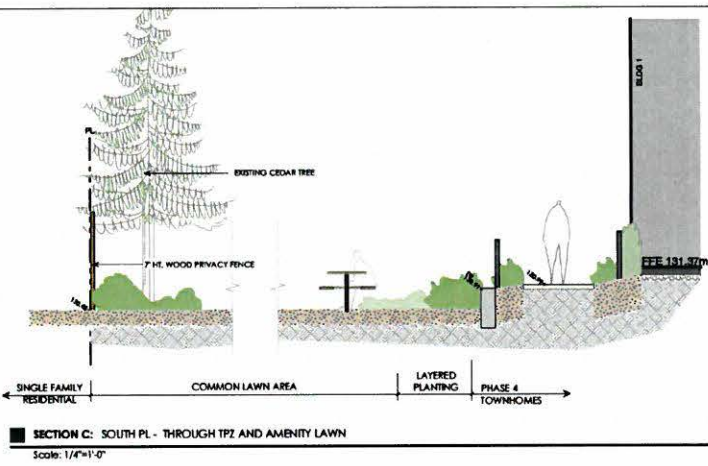
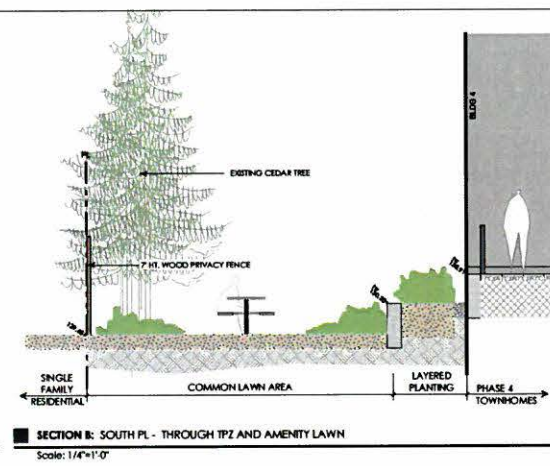
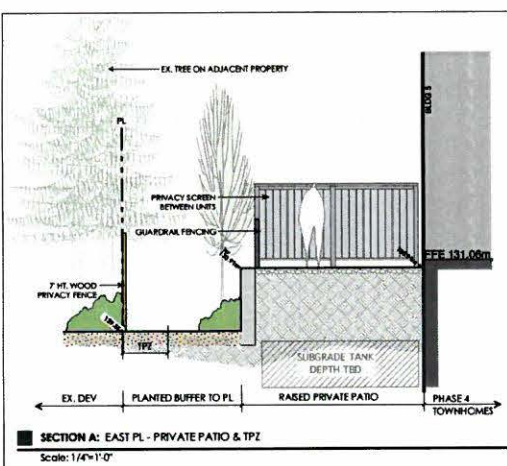
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**PHASE 3:**  
**PLANTING PLAN**

Project No.:  
**16113 - PH3**

Sheet No.:  
**L2.2**

**DP4.5.21 - 30**





10	MAY 20-20	RE-DESIGNED FOR DP
12	MAY 10-22	ISSUED FOR RP DRAFT
11	MAY 1-22	RE-DESIGNED FOR DP
9	FEB 25-22	ISSUED FOR RP DRAFT
8	SEPT 24-21	ISSUED FOR COORDINATION
6	JUL 15-21	ISSUED FOR DP/RE #1
7	JUN 24-21	ISSUED FOR DP/RE
4	MAR 23-21	ISSUED FOR COORDINATION
5	AUG 14-18	ISSUED FOR PRELIM
4	APR 23-18	RE-DESIGNED FOR DP
3	MAR 21-18	ISSUED FOR COORDINATION
2	SEPT 28-17	RE-DESIGNED FOR RP/DP
1	SEPT 11-17	ISSUED FOR RP/DP

no. | date | item

Revisions:

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Project:  
**EMERY PLACE - PHASE 3**  
DISTRICT OF NORTH VANCOUVER

Drawn by: AG  
Checked by: PK  
Date: Sept 29 2017  
Scale: AS SHOWN

Drawing Site:  
**PHASE 3:  
LANDSCAPE SEC**

Project No:  
**16113 - PH3**  
Sheet No.:

**L3.1**

**DP45.21 - 31**









## BASIC AND ENHANCED ACCESSIBLE DESIGN FEATURES

## Attachment 1

### Building Access and Main Entrances

	Item	Basic (B) Accessible Design Features	Enhanced (E) Accessible Design Features	Applicability of Accessible Design to Ground-Oriented Multi-Family	Purpose/ Intent	Compliance (Y/N)
1-B	Unobstructed access to main building entrances	<p>An accessible path of travel is to be provided:</p> <ul style="list-style-type: none"> <li>from the street and private parking area to at least one main entrance</li> <li>from the main entrance to all suite entry doors (unless prohibited by the terrain or unusual site conditions)</li> <li>from the main entrance to the elevator</li> <li>from the main entrance to each common amenity area (e.g. recreational, storage and laundry facilities, mailbox areas, garbage/ recycling areas)</li> </ul>		<p><b>Yes</b> – The accessible path applies to the building main entrance, if units are accessed via a corridor or passageway, and/or to a unit entrance <u>of those identified ground floor level entrance ground-oriented m/fs</u> that can be easily accessed without the use of stairs.</p>	To enable a person using a stroller, cane, walker, wheelchair, or trolley to readily access a building	<b>YES</b>
2-B	Accessible path of travel	<p>The accessible path of travel is to be:</p> <ul style="list-style-type: none"> <li>continuous with no steps</li> <li>have a permanent, firm, non-slip finish</li> <li>an uninterrupted clear width of 152cm (5ft)</li> <li>a gradient not more than 1:20</li> <li>a different/distinctive texture to adjacent paved surfaces</li> <li>be free of obstructions lower than 196cm (77in)</li> <li>be designed as a ramp where gradient exceeds 1:20 (5%) (excludes vehicular underground parking ramp)</li> <li>have no grating openings that will allow the passage of a sphere more than 13mm (0.5in) in diameter.</li> </ul>		<p><b>Yes</b> – The accessible path to unit entrance <u>applies to those identified ground floor level entrance ground-oriented m/fs</u> that can be easily accessed without the use of stairs.</p>	To enable a person using a stroller, cane, walker, wheelchair, or trolley to readily access a building	<b>YES</b>
3-B/E	Lighting,  weather protection,  intercom,  address numbering	<p>Building entrances in accessible paths of travel are to:</p> <ul style="list-style-type: none"> <li>provide weather protection with a min. 152cm x152cm (60in x 60in) canopy over the main entrance and door-phone.</li> <li>have an intercom system installed with user functions located no more than 1375mm (54in) above paved area.</li> <li>have good lighting outside &amp; inside building entrance - 100 lux</li> <li>have mailbox units installed no more than 1375 mm (54 in) above the finished paved area.</li> <li>have address numbering that is glare free, approx. 60 in above finished floor, highly contrasting (color) and sized as follows depending on distance from the street: At 0-15 m from road, numbering are to be 10cm (4 in). At 15-20 m numbering are to be 15cm (6 in) and at &gt;20m from road, numbering are to be 20cm (8 in).</li> </ul>		<p><b>Yes</b> – Basic accessible design applies <u>to identified ground-oriented m/f unit</u> entrances and main building entrance if included in the project design. May have door- bell instead of intercom system.</p>	Provide shelter to any person while unlocking the front door, and easy entry to assist the frail, or persons with stroller, trolley, wheelchair, and visually impaired	<b>YES</b> <i>(at mail kiosk)</i>

	and mailbox					
<b>4-B</b>	Entrance door assembly and operation	<p>Door assemblies in the accessible path of travel are to:</p> <ul style="list-style-type: none"> <li>• provide a clear opening width of no less than 850mm (34in) if there is only 1 door leaf</li> <li>• have the active leaf providing a clear opening of no less than 850 mm (34in) (in a doorway with multiple leaves)</li> <li>• have power-operated doors, functioning for passage in both directions</li> <li>• be operable by devices that do not require tight grasping or twisting</li> <li>• have a push plate or latch releasing device.</li> </ul>		<b>Yes</b> – Applies to <u>identified ground-oriented m/f unit</u> entrances and main building entrance if included in the project design.	To permit easier entry by a person in wheelchair, stroller, trolley (for moving furniture into/out of building).	<b>N/A</b>

**Building Access and Main Entrances – Continued**

<b>5-B</b>	Entry door clearance	<ul style="list-style-type: none"> <li>• Doorways in accessible paths of travel are to have a clear and level area on either side of the door.</li> <li>• Doorway thresholds in accessible paths of travel are to be no more than 13 mm (0.5in) above the floor and bevelled.</li> <li>• The entry foyer shall have a non-slip surface.</li> </ul>		<b>Yes</b> – Applies to <u>identified ground-oriented m/f unit</u> entrances and main building entrance if included in the project design.	To permit easier entry by person in wheelchair, stroller, trolley (for moving furniture etc).	<b>N/A</b>
<b>6-B</b>	Tactile warning strip on stairs	<ul style="list-style-type: none"> <li>• Provide tactile warning strips at the top of stairways, on all emergency stairs, and at landings intercepted by other paths of travel.</li> </ul>		<b>Yes</b>	To assist visually impaired with way-finding	<b>YES</b>
<b>7-B</b>	Colour contrast	<ul style="list-style-type: none"> <li>• Provide contrasting colours on signs, address numbers, corridor walls and unit entries.</li> </ul>		<b>Yes</b>	To assist visually impaired with way-finding	<b>YES</b>

**Corridors and Circulation**

<b>8-B</b>	Corridor and passageway width	<p>Corridors and passageways providing access to unit entrances and common facilities should:</p> <ul style="list-style-type: none"> <li>• be no less than 1220mm (48in) in width and</li> </ul>			Permit mobility of those with walkers and wheelchairs,	<b>YES</b> ( <i>exterior common area walkways</i> )
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		<ul style="list-style-type: none"> <li>provide a clear area no less than 1500mm x 1500mm (60 in) adjacent to the elevator entrance at intervals no more than 10m (30ft).</li> </ul> <p>Corridor doors installed in series are to be separated by a space no less than 1220mm (48 in) plus the width of any door swinging into the separating space.</p> <p>See also 4-B and 5-B above for door assembly and clearance in accessible paths of travel.</p>		Yes – Applies to <u>identified ground-oriented m/f unit</u> corridors and passageways, if included in the project design.	strollers, trolleys for moving furniture etc.	<b>N/A</b> (no common corridor)
<b>9-E</b>	Access to upper levels – Applies to <b>identified ground-oriented m/f units only</b>		Explore opportunities to facilitate future adaptation for a personal elevator or stair lift.	Yes – Applies to <u>identified ground-oriented m/f units only</u> .	To facilitate access by a person in a wheelchair to upper floors in a town house unit	<b>NO</b>

Item	Basic (B) Accessible Design Features	Enhanced (E) Accessible Design Features	Applicability to Ground-Oriented Multi-Family	Purpose/ Intent	Compliance (Y/N)
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**Residential Unit – Entry Door**

<b>10-B</b>	Unit entry door assembly	<p>Unit entry doors should:</p> <ul style="list-style-type: none"> <li>have a clear opening width of no less than 850mm (34in)</li> <li>be operable by devices, such as lever door handles, that do not require tight grasping or twisting of the wrist</li> <li>operate when a force of not more than 22 N is applied at the handle, push plate or latch releasing device</li> <li>Where the threshold is not flush with the floor, the difference in level is to be not more than 13 mm and shall be bevelled.</li> </ul>		Yes – Also refer to item 4 and 5 above.	To permit easier entry by a person in wheelchair, walker or with a stroller or trolley into the unit.	<b>YES</b> (no accessible threshold)
<b>11-B</b>	Unit entry door clearance	<p>Door assemblies for unit entry are to have a clear and level area*:</p> <ul style="list-style-type: none"> <li>when the door swing is away from this area, not less than 1220 mm (48 in) long by a width equal to the door assembly width plus not less than 300 mm (12 in) of clear space beside the latching jamb of the door</li> <li>when the door swing is toward this area, not less than 1500 mm (60 in) long by a width equal to the door assembly width plus not less than 600 mm (24 in) clear space beside the latching jamb of the door</li> </ul>		Yes – Also refer to item 4 and 5 above.	To permit easier entry by a person in wheelchair, walker or with a stroller or trolley into the unit.	<b>NO</b>

	* Alternative solutions (such as power door installation) will be considered for potential equivalency.				
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**Residential Unit – Bathroom**

<b>12-B</b>	Bathroom entry door assembly	At least one bathroom is to: <ul style="list-style-type: none"> <li>provide a clear opening width of no less than 800mm (32in)</li> <li>be operable by devices, such as lever door handles, that do not require tight grasping or twisting of the wrist</li> </ul> Where the threshold is not flush with the floor, the difference in level is to be 13mm (0.5in) in height or less and bevelled.		<b>Yes</b> – Applies to at least one bathroom on the ground floor level of <u>the identified ground-oriented m/f units</u> .	To enable a person in a wheelchair to gain access to and from the bathroom	<b>YES</b> (L2 bathroom)
<b>13-B</b>	Bathroom door clearance	Door assemblies for the above bathroom shall: <ul style="list-style-type: none"> <li>open away from (or outside) the bathroom area</li> <li>have a clear and level area of*: not less than 1220 mm (48 in) long by a width equal to the door assembly width plus not less than 300 mm (12 in) clear space beside the latching jamb of the door. *Except where a pocket door is provided as an alternative to a swing door. The space under the sink (see 24-E) may be used towards meeting clearance requirements.</li> </ul>		<b>Yes</b> – Applies to at least one bathroom on the ground floor level of <u>the identified ground-oriented m/f units</u> .	To enable a person in a wheelchair to gain access to and from the bathroom	<b>NO</b>
<b>14-E</b>	Pocket doors		<ul style="list-style-type: none"> <li>A minimum of one bathroom is to provide a pocket door.</li> <li>Doors providing access are to have heavy duty hardware and D-shaped handles.</li> </ul>	<b>Yes</b> – Applies to at least one bathroom on the ground floor level of <u>the identified ground-oriented m/f units</u> .	To facilitate wheelchair access to small bathroom spaces	<b>NO</b>

**Residential Unit – Bathroom Continued**

<b>15-B</b>	Bathroom space	At least one bathroom is to have enough floor space to be 'minimally accessible' per the following: <ul style="list-style-type: none"> <li>A clear dimension from the front edge of the toilet to the facing wall is to be a min. of 800mm (32in).</li> <li>Space from the front edge of the bathtub to the centre of the toilet is to be a min. 508mm (20in).</li> </ul> Clear floor area in front of the sink/lavatory is to be a minimum of 760mm (30in) wide by 1220mm (48in) deep centred on the sink/lavatory.		<b>Yes</b> – Applies to at least one bathroom on the ground floor level of <u>the identified ground-oriented m/f units</u> .	To enable a person in a wheelchair to use the toilet	<b>NO</b>
<b>16-B</b>	Bathroom flooring	<ul style="list-style-type: none"> <li>Slip resistant flooring – material as recommended by the applicant's architect.</li> </ul>		<b>Yes</b> – Applies to at least one bathroom of <u>the identified ground-oriented m/f units</u> .	To reduce risk of slipping	<b>YES</b>
<b>17-B</b>	Bathroom wall reinforcement	Reinforcement provided in wall assemblies adjacent to a toilet* and bathtub or shower are to accommodate the future installation of vertical, horizontal or diagonal grab			To permit installation of grab bars	<b>YES</b>



		bars or towel bars and such reinforcement should provide sufficient support to the bars so they can resist a vertical or horizontal load of not less than 1.3 kiloNewtons (kN). *In at least one bathroom, the toilet is to be located next to a reinforced wall for future grab bar installation.		<b>Yes</b> – Applies to at least one bathroom on the ground floor level <u>of the identified ground-oriented m/f units.</u>		<b>YES</b> (L2 bathroom)
<b>18-B</b>	Adjustable height shower	At least one bathroom can accommodate an adjustable height shower head or hand held shower head on adjustable bracket.		<b>Yes</b> – Applies to at least one ground floor level bathroom <u>of the identified ground-oriented m/f units.</u>	To enable sit down bathing	<b>YES</b> (L2 bathroom)
<b>19-E</b>	Pressure and temperature control valves		<ul style="list-style-type: none"> <li>Pressure balanced tub and shower valves should minimize risk of scalding (maximum water temperature of approximately 49° C is suggested).</li> </ul>	<b>Yes</b> – Applies to at least one bathroom on the ground floor level <u>of the identified ground-oriented m/f units.</u>	To prevent scalding	<b>YES</b> (L2 bathroom)
<b>20-E</b> <b>(S)</b>	Tub control valve position		<ul style="list-style-type: none"> <li>Tub control valve is to be provided at the outer edge of tub with spout in middle.</li> </ul>	<b>N/A</b>	To permit filling tub without bending or reaching	<b>N/A</b>
<b>21-B</b>	Bathroom Faucet levers	At least one bathroom is to have lever faucet handles that do not require tight grasping or twisting.				<b>YES</b>
<b>22-E</b> <b>(S)</b>	Accessible shower		<ul style="list-style-type: none"> <li>A min. of one bathroom is to be adaptable to facilitate future installation of a wheelchair accessible shower.</li> </ul>	<b>N/A</b>	To enable installation of a future wheel-in shower	<b>N/A</b>
<b>23-E</b>	Space under sink		<ul style="list-style-type: none"> <li>A min. of one bathroom is to provide space under sink no less than 81 cm (32 in) wide. This space can also be achieved by providing a removable vanity cabinet.</li> </ul>	<b>N/A</b>	To allow a wheelchair to slide under the sink	<b>N/A</b>

**(S)** = Applies only enhanced accessible design units in senior's buildings and units in other buildings that are intended specifically for people with disabilities.

**Residential Unit – Bedroom**

24-E	Space next to bed		<ul style="list-style-type: none"> <li>• A min. of one bedroom to provide no less than 152cm (60 in) of manoeuvring space between closet &amp; double bed.</li> </ul>	Yes – Applies to at least 1 bedroom on the ground floor level of <u>identified ground-oriented m/f units</u>	To enable a person in a wheelchair to access the bed	<b>NO</b>
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**Residential Unit – Kitchen**

25-E	Turning radius		Provide 152cm (60 in) turning radius in the kitchen (centre islands may not work).	Yes – Applies to the kitchen of <u>identified ground-oriented m/f units</u>	To enable sufficient space for wheelchair movements	<b>NO</b>
26-B	Kitchen flooring	<ul style="list-style-type: none"> <li>• Slip resistant flooring – material as recommended by the applicant's architect.</li> </ul>		Yes – Applies to the kitchen of <u>identified ground-oriented m/f units</u>	To reduce risk of slipping	<b>NO</b>
27-B	Adjustable shelves	<ul style="list-style-type: none"> <li>• Kitchen cabinets are to include adjustable shelves</li> </ul>		Yes – Applies to the kitchen of <u>identified ground-oriented m/f units</u>	Ergonomic, easier to reach shelves	<b>YES</b>
28-E (S)	Cupboards – Lowest Shelf		<ul style="list-style-type: none"> <li>• Design cupboards above countertops so that the lowest shelf is no more than 137cm (54 in) above the finished floor.</li> </ul>	Yes – Applies to the kitchen of <u>identified ground-oriented m/f units</u>	To enable easy reach by a person with frailties and/or in a wheelchair	<b>N/A</b>
29-E	Cabinet Handles		<ul style="list-style-type: none"> <li>• Provide D-shaped cabinet handles for all kitchen cupboards that are intended to be accessible.</li> </ul>	Yes – Applies to the kitchen of <u>identified ground-oriented m/f units</u>	Permit use by persons with disabilities and/ or frailties	<b>YES</b>
30-B	Faucet handles	<ul style="list-style-type: none"> <li>• All kitchen faucets within units and common amenity areas are to be operable by devices (e.g. "lever" handles) that do not require tight grasping or twisting.</li> </ul>		Yes – Applies to the kitchen of <u>identified ground-oriented m/f units</u>	Ergonomic and easier to use by a person with mobility impairments or frailties	<b>YES</b>
31-E	Future modification (appliances)		<ul style="list-style-type: none"> <li>• Provide sufficient space for future installation of cook top, wall oven and side-by-side fridge/freezer or bottom mounted freezer.</li> </ul>	Yes – Applies to the kitchen of <u>identified ground-oriented m/f units</u>	To facilitate future use of appliances by a person in a wheelchair	<b>NO</b>
32-E	Sink adjacent to stove		<ul style="list-style-type: none"> <li>• Kitchen to be designed so that the range and sink are adjacent or can have a continuous counter space between them.</li> </ul>	Yes – Applies to the kitchen of <u>identified ground-oriented m/f units</u>	To enable a person in a wheelchair to move heavy pots between sink & stove	<b>YES</b>



<b>33-E</b> <b>(S)</b>	Countertop & sink height		<ul style="list-style-type: none"> <li>Facilitate future ability to remove the sink cabinet and lower the countertop height.</li> <li>Ensure that the kitchen taps are reachable by a person in a wheelchair.</li> </ul>	<b>Yes</b> – Applies to the kitchen of <u>identified ground-oriented m/f units</u>	To enable full use of the sink by a person in a wheelchair	<b>N/A</b>
<b>34-E</b> <b>(S)</b>	Workspace area		<ul style="list-style-type: none"> <li>Provide an adjustable height workspace min. 81cm (32 in) between sink and stove.</li> </ul>	<b>Yes</b> – Applies to the kitchen of <u>identified ground-oriented m/f units</u>	To enable a person in a wheelchair to prepare meals	<b>N/A</b>

**(S)** = Applies only enhanced accessible design units in senior's buildings and units in other buildings that are intended specifically for people with disabilities.

#### Residential Unit – Electrical

<b>35-E</b>	Kitchen - electrical outlet		<ul style="list-style-type: none"> <li>Ensure ready and safe access to at least one electrical outlet units.</li> </ul>	<b>Yes</b> – Applies to the kitchen of <u>identified ground-oriented m/f units</u>	To enable a person in a wheelchair to reach plugs for kettle, toaster etc.	<b>YES</b>
<b>36-B</b>	Rocker switches	<ul style="list-style-type: none"> <li>All switch types shall be operable with a closed fist (such as rocker switches)</li> </ul>		<b>Yes</b> – Applies to <u>identified ground-oriented m/f units</u>	Ergonomic design	<b>YES</b>
<b>37-B</b>	Telephone jacks	<ul style="list-style-type: none"> <li>Include a telephone jack in at least one bedroom</li> <li>Telephone jacks are to be approx. 200 mm or less from an electrical outlet.</li> </ul>		<b>Yes</b> – Applies to <u>identified ground-oriented m/f units</u>	To enable telephone use from bed	<b>YES</b>
<b>38-B</b>	Bedroom – 3-way switch	<ul style="list-style-type: none"> <li>Three way switched <del>outlet</del> near bed and doorway light fixture</li> </ul>		<b>Yes</b> – Applies to <u>identified ground-oriented m/f units</u>	Allows a person in bed to control lights and/or fan.	<b>YES</b> <i>(light fixture)</i>
<b>39-E</b>	Electrical switches and outlets		<ul style="list-style-type: none"> <li>Controls for the operation of building services or safety devices, including electrical switches, thermostats and intercom switches are to be accessible to a person in a wheelchair, operable with one hand, and be located between 900 mm (35 in) and 1200 mm (47 in) above the floor.</li> <li>Electrical, telephone, cable and data outlets for occupant use are to be located between 455 mm (18 in) and 1200 mm (47 in) above the floor.</li> </ul>	<b>Yes</b> – Applies to <u>identified ground-oriented m/f units</u>	To allow wheelchair users to easily reach	<b>YES</b>
<b>40-B</b>	Visual alarm-installation	<ul style="list-style-type: none"> <li>Install visual alarm system in all common areas of the building. Wiring for a visual alarm is to be tied into the fire alarm system.</li> </ul>		<b>Yes</b>	To alert a person with hearing disabilities of an emergency	<b>YES</b>

<b>41-E</b>	Visual alarm - wiring		<ul style="list-style-type: none"> <li>• Install wiring for visual alarm system in living room and at least one bedroom. Wiring to be connected to the building's fire alarm system.</li> </ul>	<b>Yes</b> – Applies to <u>identified ground-oriented m/f units</u>	To enable future installation of a warning alarm for hearing impaired	<b>YES</b>
<b>42-E (S)</b>	Visual alarm- installation		<ul style="list-style-type: none"> <li>• Connection for visual alarm signals to be installed in each suite of a building intended for seniors and be appropriately labelled.</li> <li>• Visual alarm signals are required for suites intended for use by people with a hearing impairment.</li> <li>• A visual alarm system is to be installed in the living room and the accessible bedroom. Wiring for a visual alarm is to be tied into the fire alarm system. When visual signals are required a Strobe light must be installed beside every smoke Alarm. Strobe must have the word "smoke" visible on the lens.</li> </ul>		Strobe or other device for the hearing impaired	<b>N/A</b>

(S) = Applies only enhanced accessible design units in senior's buildings and units in other buildings that are intended specifically for people with disabilities.

**Residential Unit – Laundry**

<b>43-E (S)</b>	Laundry facilities		Provide front loading side-by-side washer/dryer in the unit or in the accessible common area with 122 cm (48 in) for manoeuvring space in front of washer/dryer.	<b>Yes</b> – If laundry facilities are located on the accessible ground floor	To facilitate use by a person in a wheelchair	<b>N/A</b>
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**Residential Unit – Windows, Patios and Balconies**

<b>44-E</b>	Balconies and patios – threshold		<p>Decks, balconies or patios provided for use by occupants of a dwelling unit are to</p> <ul style="list-style-type: none"> <li>• be accessible to persons using wheelchairs by a design that does not compromise the water resistance of the building envelope.</li> <li>• have a minimum 86 cm ( 34 in) clear opening door width.</li> <li>• be no less than 152 cm (60 in) deep from the outside face of the exterior wall to the inside edge of the balcony, deck or patio.</li> </ul>	<b>Yes</b> – Applies to ground floor patio	To enable balcony use by a person in a wheelchair, and also to provide temporary refuge in case of building fire	<b>NO</b>
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<b>45-E</b>	Window openings and window sill height		<ul style="list-style-type: none"> <li>• Windows are to have an opening mechanism no more than 117 cm (46 in) above the floor and be operable by devices (such as "levers") that do not require tight grasping or twisting.</li> <li>• Window sills are to be located no more than 76 cm (30 in) above the floor.</li> </ul>	<b>Yes</b> – Applies to ground floor level of identified ground-oriented m/f units	To enable operation and use by a person in a wheelchair	<b>NO</b>
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**(S)** = Applies only enhanced accessible design units in senior's buildings and units in other buildings that are intended specifically for people with disabilities.

# MOSAIC

June 17, 2022

**BY EMAIL:NordinE@dnv.org**

Emel Nordin  
District of North Vancouver  
355 West Queens Road  
North Vancouver, BC, V7N 4N5

**RE: DPA Energy and Water Conservation and Greenhouse Gas Emission Reduction**  
(Lynn Lot 3) 2320 Emery Court, District of North Vancouver, BC

Dear Emel,

The purpose of this document is to outline the measures that will be used on the above-mentioned project to fulfil the DPA guidelines as per the District of North Vancouver's Energy and Water Conservation and Greenhouse Gas Emission Reduction Development Permit Area. The proposal is designed to meet Part 9 residential Step Code 3 standards with a low carbon energy system (GHGI < 3 kg CO<sub>2</sub>/m<sup>2</sup>) for heating and domestic hot water.

Mosaic homes is committed to the following measures to reduce these new building's impact on the environment:

- **Energy Conservation**
  - The building envelope will be optimized in terms of construction and glazing percentages to maximize energy savings and occupant comfort.
  - The windows will be specified with thermally broken frames and high-performance glazing.
  - The lighting design will specify LED fixtures to reduce energy consumption and excessive internal heating gains.
  - Energy Recovery Ventilators (ERV) will be specified to efficiently temper exterior air and circulate it throughout the homes.
  - Energy Star rated Fridges, Dishwashers and Laundry Centres will be specified to reduce energy consumption.
- **Water Efficiency**
  - Low flow plumbing fixtures will be specified to reduce homes domestic water use.
  - Energy Star rated washing machines and dishwashers will be specified to reduce domestic water use.
- **Stormwater Management**
  - A stormwater detention facility is incorporated into the design to limit flow discharge rates.
  - Soft landscaping to allow for infiltration.
- **Materials and Resources**
  - Durable materials will be specified throughout.
  - Local products will be given preference.
  - Construction waste will be managed with a goal to divert it from the landfill.
- **Landscape**
  - An efficient irrigation system will be installed which will include head-to-head coverage, and rain sensors.
  - Significant portion of planting will have native species
  - No invasive species will be planted.
- **Indoor Environmental Quality**
  - Low VOC interior finishes will be specified.



# MOSAIC

- Operable windows will be specified in all living spaces that have an adjacent exterior wall for natural ventilation.
- Energy Recovery Ventilators (ERV) also filter the exterior and interior air.
- EV Vehicle and Bike Outlets
  - Energized outlets capable of providing Level 2 charging (240 Volt) or higher for electric vehicles, with a minimum of 69 Level 2 energized outlets in the underground parkade.
  - Energized outlets capable of providing Level 1 charging (120 Volt) or higher for electric bicycles, for Class 1 secured residential bicycle parking spaces.

Please do not hesitate to contact us if you have any questions or concerns. We can be reached at 604-685-3888.

Sincerely,  
MOSAIC LYNN TOWNHOMES LP, by its GP  
MOSAIC LYNN TOWNHOMES HOLDINGS LTD.



Chris Lee  
VP Development  
Mosaic Homes  
604.685.3888

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## 2320 Emery Court Development Permit Application

### Virtual Public Information Meeting Summary Report

**Event Date:** December 3 to December 17, 2021  
**Website:** DNV.org/public-meeting  
**Attendance:** 88 visitors to the web page  
**Comments:** 4 responses with comments and questions received.

**Meeting Purpose:**

- 1) To present development proposal materials to neighbours
- 2) To provide an opportunity for the public to ask questions about the proposal
- 3) To provide an opportunity for neighbours to comment on the proposal

**Notification:**

In accordance with District of North Vancouver policies:

Invitation Brochures

Approximately 295 notification flyers were delivered within a 100m radius of the site. Appendix A includes a copy of this package and a map of the distribution area.

Newspaper Ad

A newspaper ad was placed in the North Shore News on Wednesday, December 1, 2021 and Wednesday, December 8, 2021. A copy of the ads is included in Appendix A: Notification.

Signs

Two bidirectional signs were installed adjacent to the site – one on Emery Place at the site entrance and a second at the southwest corner of Mountain Highway and Emery Court.

**Attendance:**

88 visitors accessed the virtual PIM web page. The video presentation was viewed 23 times.

The following District staff and project team members supported the virtual public information meeting:

District of North Vancouver:

- Emel Nordin, Development Planner

Applicant:

- Chris Lee, Mosaic Homes

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**Overview:**

The meeting was held in a virtual Public Information Meeting format. Meeting participants could view a video presentation and browse display boards prepared by the project team on the virtual meeting web page. Participants were also provided the opportunity to submit questions and comments to the project team and Development Planner through the virtual meeting web page for a two-week period from December 3 to December 17, 2021.

**Comment Summary:**

Participants were invited to submit comments until December 17, 2021. Four responses were received which included a variety of comments and questions on the application.

Summary of comments and questions with responses from the applicant:

**Response 1:**

**Comment:** Overall these townhouses are a great addition to the neighbourhood, particularly for (older) Lynn Valley residents like me who would like to downsize to a more manageable property but are not ready for condo living. It would have been nice to see more ground-oriented family-size residential options in this development.

*(As this was not a question or particular concern, a response was not provided to this part of the comment.)*

**Question:** Is the townhouse phase its own strata corporation or is it part of a larger strata including the condominiums in phase 2 and 4?

**Applicant response:** *This information will be available once the disclosure statement is finalized.*

**Question:** What energy efficiency and climate change considerations are incorporated into these townhouses?

**Applicant response:** *This development is designed to meet the new energy step code 3 for part 9 residential buildings using a low carbon energy system. The town home's robust building envelope is designed with glazing percentages optimized to maximize energy savings and occupant comfort. The windows will be specified with thermally broken frames and high-performance glazing. The lighting design uses LED fixtures to reduce energy consumption and excessive internal heating gains. Energy recovery ventilators (ERV) are used to efficiently temper fresh air and circulate it throughout the homes. Energy Star rated fridges, dishwashers and laundry centers are used to reduce energy consumption. Low flow plumbing fixtures, energy star rated dishwashers and washing machines are used to reduce homes domestic water use. These are some of the features that are being specified to fulfil the DNV's Energy and Water Conservation and Greenhouse Gas Emission Reduction Development Permit Area requirements.*

**Question:** Is heat and hot water (and air conditioning?) powered by electricity or gas?



**Applicant response:** *The building systems use electricity as hydro electricity is a low carbon energy source.*

**Question:** Is air conditioning included?

**Applicant response:** *No, air conditioning is not being offered. Thermal comfort requirements are addressed in the energy step code.*

**Question:** Are solar panels for the roofs being offered as an option to buyers?

**Applicant response:** *No, these townhomes are not solar ready.*

**Question:** Will the power costs for each unit be individually metered or is the cost shared via strata fees?

**Applicant response:** *This information will be available once the disclosure statement is finalized.*

**Question:** Are shared community garden plots part of this development?

**Applicant response:** *No, community garden plots are not part of our shared community amenities, but each townhome has an outdoor patio area that is large enough for raised planters.*

**Question:** What is the anticipated completion date for the townhouse construction?

**Applicant response:** *This information will be available once the disclosure statement is finalized. If you would like our sales team to reach out to you prior to the sales launch, please send your contact information to [lynntownhomes@mosaichomes.com](mailto:lynntownhomes@mosaichomes.com).*

**Response 2:**

**Comment:** In a commitment to replacing "like for like" housing that was originally on the property before the rezoning, it would be nice to have purpose built rental townhomes rather than apartments on site. I do appreciate the family sized townhomes particularly four bedrooms. They are much needed for this family oriented neighbourhood.

**Applicant response:** *The first phase of this this development (lot 1) is a purpose built 84-unit rental building with a mix of 1-to-4-bedroom homes to accommodate all individuals and families at different stages of life. A total of 23 of these homes are family sized with 3- and 4-bedroom homes. There is also a housing agreement registered on title that prevents future rental restrictions on this property which would allow future townhouse owners to rent their unit.*

**Question:** I would like to know if drainage issues have been fully resolved for the proposed area for these townhomes. In 2019 after the previous development was demolished there was substantial flooding that affected the neighbouring property of Yorkwood.

**Applicant response:** *Over the past two years we have made substantial improvements to the civil infrastructure in this area to improve the drainage coming from the park and rainfall events. At the same time, there have been challenges managing historically high rainfall events over the past few months and adapting the erosion and sediment control (ESC) system to keep pace. We are confident in the performance of this site's ESC system and the strategy for this development's storm detention system.*

**Question:** Has Mosaic given further consideration to the Public Art to be erected as part of the rezoning?

**Applicant response:** *As outlined in the zoning for this property, a portion of the CACs may be used towards public art. At this time, a public art contribution has not been finalized, however, Mosaic continues to work with the District on this matter.*

**Response 3 (received via email):**

**Comment/Question:** Enquiry on your proposed townhomes at Emery. Are all townhomes the same size? I have one major concern - it pertains to the Main. Fees. As a senior I'm concerned about high main. fees and would like them to be reasonable.

I know when their is a pool and Gym involved the main. fee is higher. 75 yr. olds and up are not interested in swimming or lifting weights. Thank you

**Applicant response:** *Thanks for your e-mail. This development is a mix of 3- and 4-bedroom townhomes. The 3-bedroom homes vary in size from ~1,360sf to ~1,380sf and the 4-bedroom homes are ~1,520sf. All the townhomes are 4 levels (including the basement), so this may be different from what you are used to seeing in townhome layouts. It is still too early to forecast the monthly maintenance fees, but a portion of the fees will be allocated to the common amenity facilities including the pool and fitness centre. If you would like us to add you to our prospecting list, let me know.*

**Response 4:**

**Comment:** I'm concerned that there is no park established within this project. Kirkstone Park is already over run and population has increased dramatically in this area. The natural setting is compromised drastically. The increased population from Emery Place will compromise the park further.

**Applicant response:** *With the rezoning of the entire master plan development, we gave a portion of Lot 1 to the District to preserve mature trees and increase the size of Kirkstone Park. Within this area we will be adding trees and constructing a new trail that connects to Emery Court. The recently constructed multi-use pathway along Emery Place creates a safe and accessible access route to the park for the entire neighborhood. Within the development there will be outdoor and indoor amenity spaces for the Lynn development residents. The indoor amenity space (Clubhouse) is equipped with a pool, exercise room, multi-purpose room, large community living*



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*room and an outdoor seating area with barbeque facilities. Each of the developments including Lot 3 are designed with small outdoor gathering areas for the residents and there is a children's play area on lot 1 adjacent to Kirkstone Park that serves the entire Lynn development. These features improve the natural setting, make it accessible to all people in the community and give residents multiple options to enjoy their onsite amenities.*

**Conclusion:**

The purpose of this virtual public information meeting was to present to neighbours the details of the development permit application and multi-family residential development concept, and to provide them with an opportunity to ask clarifying questions and comment on the proposal. Approximately 295 invitations were distributed to the surrounding community, and 88 visitors accessed the virtual meeting web page. Two newspaper ads notified the community of the meeting, and two signs were posted on or near the property. Four responses were submitted.

The public could participate in this process in several ways:

- Viewing the video presentation
- Browsing the display boards
- Submitting written comments and questions to the project team and Development Planner

The meeting length and format was sufficient to provide all participants an opportunity to learn more and submit questions and make the comments they wished to provide within a two-week period. The applicant successfully notified and presented their proposal to the community, and neighbours had ample opportunity to express their views of the proposal.

Appendix A: Notification

Newspaper Advertisement: North Shore News

A18 | NEWS WEDNESDAY, DECEMBER 1, 2021
north shore news | nsnews.com


## Development Proposal

### PUBLIC INFO MEETING

**VIRTUAL Open House: December 3 - 17, 2021**  
 Visit: [DNV.org/public-meeting](https://dnv.org/public-meeting)

This is not a Public Hearing. District of North Vancouver Council will formally consider the proposal at a later date.

### PROPOSAL: 2320 Emery Crt



**46** townhomes

**74** parking spaces

**3** storeys

WE ARE HERE

PUBLIC INFO MEETING
COUNCIL MEETING
➔

MOSAIC

**Questions?**  
 Chris Lee, 604-685-3888  
[Lynntownhomes@mosalchomes.com](mailto:Lynntownhomes@mosalchomes.com)

**B.C. SUPREME COURT**

## Crown proceeding by direct indictment in Lynn Valley stabbing

**JANE SEYD**  
*jsyd@nsnews.com*

The Crown's case against the man accused of second-degree murder following a knife attack in Lynn Valley that left one woman dead will proceed by a direct indictment in B.C. Supreme Court.

Yannick Bandaogo, 28, also faces charges of five counts of attempted murder and one count of aggravated assault in relation to stabbings of seven people that occurred at the Lynn Valley Village library complex on March 27.

Crown prosecutor Jean-Benoit Deschamps indicated Thursday the case will move directly to B.C. Supreme Court in New Westminster, skipping a preliminary hearing stage in provincial court.

The prosecution can opt for direct indictment in certain circumstances, such as when a preliminary hearing might result in undue delay in the case or present logistical challenges because of the complexity of the case.

In the Lynn Valley case, the volume of evidence, number of potential witnesses and fact that most of the evidence will be

translated into French were all factors in the decision, said Deschamps outside of court.

On March 27 just before 1:40 p.m., the North Vancouver RCMP received a report of multiple victims of a stabbing at Lynn Valley Village. When officers arrived at the scene, they found multiple victims in and around the library complex, suffering from stab wounds. One woman later died of her injuries.

Homicide investigators said earlier they don't know what motivated the knife attack.


Bandaogo was charged with second-degree murder on March 28 and additional charges were sworn against him in September.

Bandaogo has been held in custody since his arrest on the day of the attack, making court appearances by video.

He has not yet entered a plea to any charges.

Bandaogo also faces a charge of assaulting a peace officer on May 6, while he was in custody at North Fraser Pre-Trial Centre.

Bandaogo's first appearance in B.C. Supreme Court in New Westminster – where all French language trials are heard – is scheduled for Dec. 2.



**VOLUNTEER DRIVERS NEEDED!**

For more information call 604-515-5400 or visit [volunteercancerdrivers.ca](https://volunteercancerdrivers.ca)

## Help save lives.

# CLOSE TO HOME.

Please join with us  
'extending a hand up, not a hand-out'



### Donate now

Online: [harvestproject.org](https://harvestproject.org)  
 Or, click on this QR code



By mail: 1073 Roosevelt Cr.  
 North Vancouver, V7P 1M4  
 By phone: 604.983.9488 X315





A42 | NEWS WEDNESDAY, DECEMBER 8, 2021

north shore news nsnews.com

## Development Proposal

### PUBLIC INFO MEETING

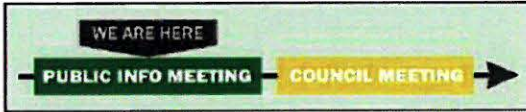
**VIRTUAL Open House: December 3 - 17, 2021**  
 Visit: [DNV.org/public-meeting](http://DNV.org/public-meeting)

This is not a Public Hearing. District of North Vancouver Council will formally consider the proposal at a later date.

### PROPOSAL: 2320 Emery Crt



**46** townhomes  
**74** parking spaces  
**3** storeys



**MOSAIC**

**Questions?**  
 Chris Lee, 604-685-3888  
[Lynntownhomes@mosaichomes.com](mailto:Lynntownhomes@mosaichomes.com)

## Academy would teach students the business of gaming

*Continued from page 4*  
 International esports event in Romania. It was the League of Legends World Championship. And the final of that match was streamed online and viewed

**“What a lot of people don’t know is that it is an enormous, enormous activity in terms of revenue.”**

JUSTIN WONG  
 Most high schools on the North Shore already have esports clubs, said Wong, which offer teens who might not take part in more traditional sports a chance to connect with other kids who have shared interests.

The gaming academy being proposed would take that to another level, said Wong, by teaching business and marketing to a group of 25 to 30 students, focusing that around the esports world of video gaming.

The academy is proposing partnering with local companies already involved in that world, including Volcanic Media Group, which has a record of developing educational esports programs, and

the Richmond-based Gaming Stadium, a company with a history of hosting esports tournaments.

Other partnerships with companies including Shaw, HyperX, Lenovo and Linus Media Group would help supply gaming laptops, peripherals, extra bandwidth and mentorship.

The goal isn’t to make kids better at playing video games, said Wong. “It’s teaching business through a gaming lens.”

Among the skills Wong said the academy expects to teach are how to engage in e-commerce, how to develop and promote a brand and create marketing strategies, how to develop a social media marketing campaign, and how to co-ordinate and promote online events.

A portion of the curriculum would also focus on the dangers of video gaming addiction, and the need to maintain balance, said Wong. “It’s a legitimate concern. All video game players have that challenge sometimes.”

Handsworth Secondary is being suggested as the home base for the gaming academy, which could potentially start in September of next year. The program is being proposed for students in grades 10-12, at a cost of \$1,750 per year.

Trustees of the North Vancouver Board of Education expect to formally consider the proposal in the new year.

*Christmas To Go*

Pick up or delivery, December 21th



### Turkey Package for 4

\$210

Turkey, brat, rolled with fresh herbs. Seasoned with garlic, roasted potatoes, fresh sprouts, fingerling potatoes, cranberry, roasted cauliflower and kohlrabi, turkey gravy, dressing.

### Seafood Platter

\$200

Roasted salmon, crab, prawns, prawns, scallops, smoked and breaded scallops, sautéed salmon, fresh sprouts, fingerling potatoes, cranberry, roasted cauliflower and kohlrabi, turkey gravy, dressing.

*Join us for a New Years Eve Party*

*Dec 31*

*RSVP by phone*

(604) 926-1523

[jjskitchen.ca](http://jjskitchen.ca)



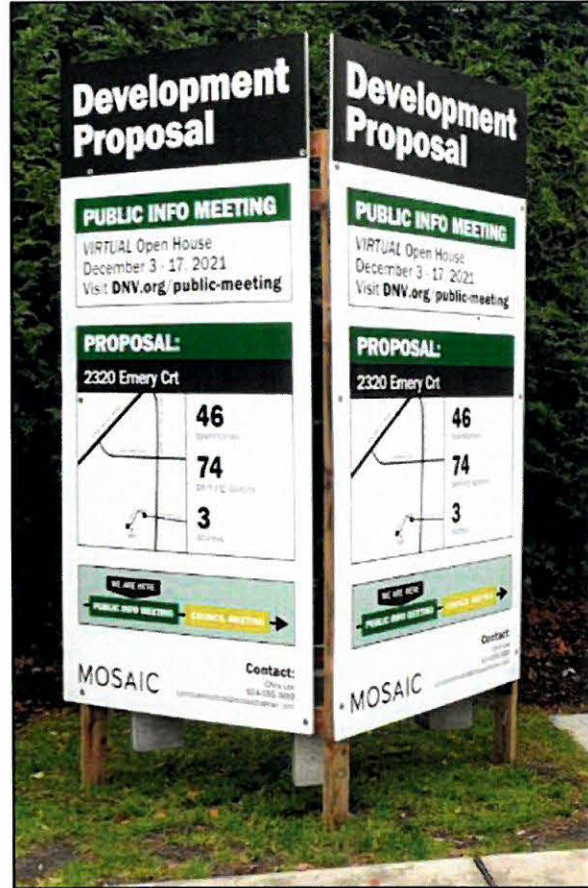
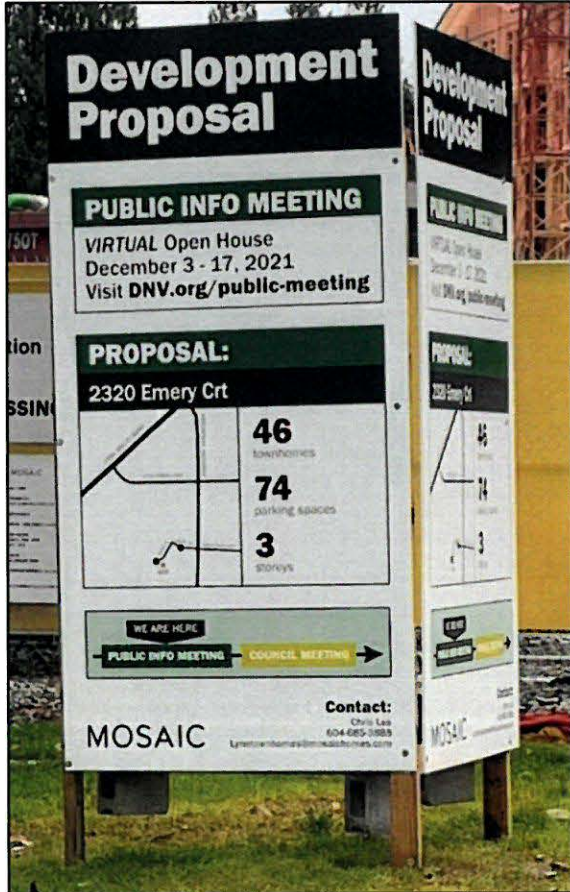
## Christmas Dinner Package

**5 % of Proceed will be donated to Red Cross for flood relief**

**Shop online before Dec 13th**



Notification Signs





Notification Flyer

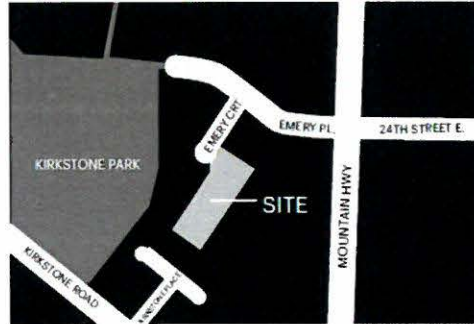
## Public Information Meeting Notification

November 19th, 2021

Dear Neighbour,

Mosaic is hosting a virtual Public Information Meeting and invites you to join us to learn more about Lynn Townhomes, part of Emery Village (approved by Council July 2018). This information package is being distributed to the owners and occupants within 100 meters of the proposed development site in accordance with District of North Vancouver policy. Lynn Townhomes is Phase 3 of the approved Emery Village development (Lynn Masterplan) and is located off the southeast corner of the newly constructed Emery Court.

In accordance with the Comprehensive Development Zoning CD115, this phase will provide 46 new 3-storey townhomes, with 74 parking stalls. The architectural style compliments the mountain village setting and the other buildings within Lynn Masterplan using similar colours, building materials, details, and design elements. The event will include opportunities for asking questions and providing comments.



### Event Details

Virtual Public Information Meeting

**Project:** 2320 Emery Court

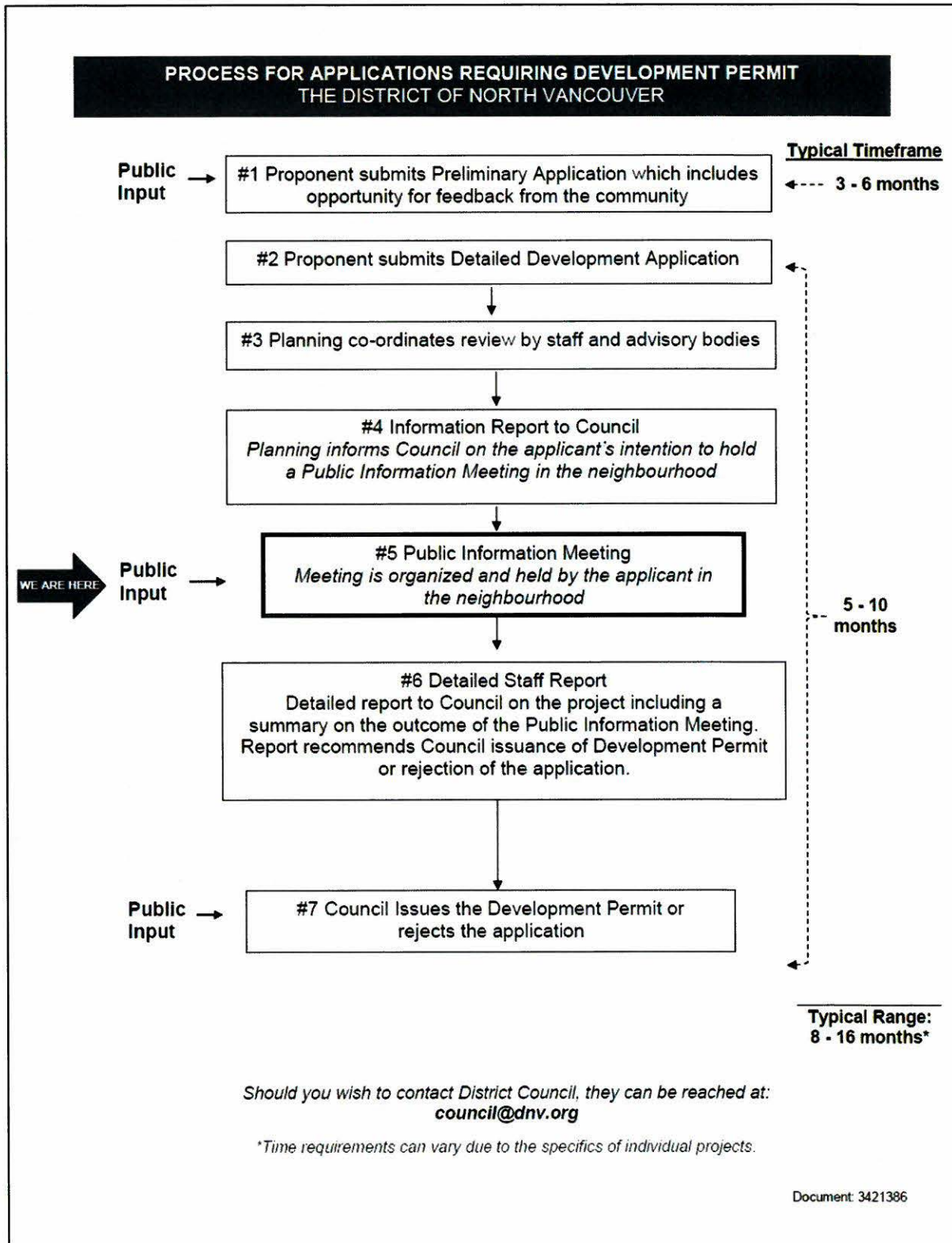
**Where:** [DNV.org/public-meeting](https://dnv.org/public-meeting)

**When:** December 3rd - 17th, 2021

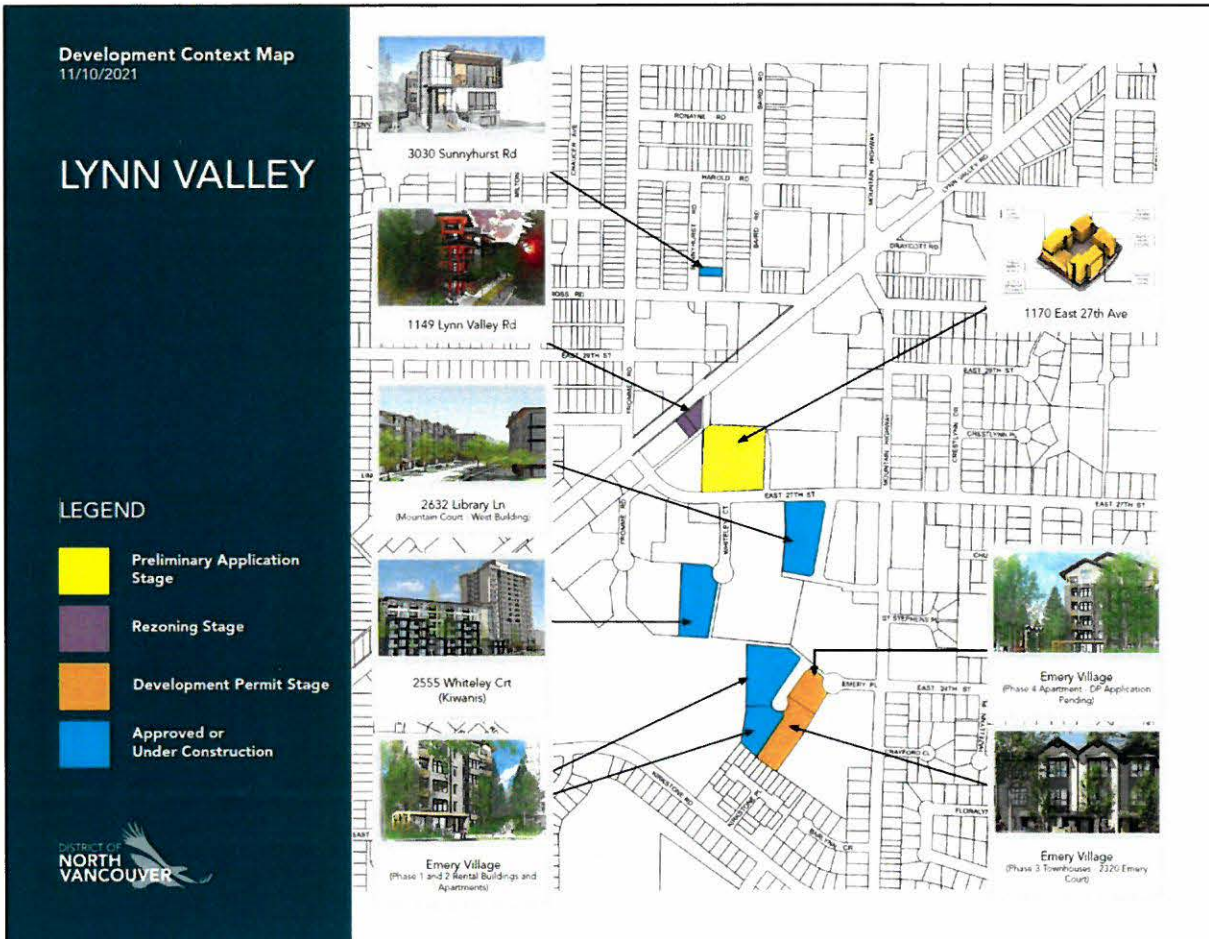
**Contact:** Chris Lee  
Mosaic Homes  
604.685.3888  
[lynn townhomes@mosaichomes.com](mailto:lynn townhomes@mosaichomes.com)

Emel Nordin  
District of North Vancouver  
604.990.2347  
[nordine@dnv.org](mailto:nordine@dnv.org)

# MOSAIC







Notification Area Map

