

# AGENDA

## *REGULAR MEETING OF COUNCIL*

**Monday, September 19, 2016**

**7:00 p.m.**

**Council Chamber, Municipal Hall**

**355 West Queens Road,**

**North Vancouver, BC**

**Council Members:**

Mayor Richard Walton

Councillor Roger Bassam

Councillor Mathew Bond

Councillor Jim Hanson

Councillor Robin Hicks

Councillor Doug MacKay-Dunn

Councillor Lisa Muri



NORTH VANCOUVER  
DISTRICT

[www.dnv.org](http://www.dnv.org)

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## REGULAR MEETING OF COUNCIL

**7:00 p.m.**  
**Monday, September 19, 2016**  
**Council Chamber, Municipal Hall,**  
**355 West Queens Road, North Vancouver**

## AGENDA

### BROADCAST OF MEETING

- Live broadcast on Shaw channel 4
- Re-broadcast on Shaw channel 4 at 9:00 a.m. Saturday
- Online at [www.dnv.org](http://www.dnv.org)

### CLOSED PUBLIC HEARING ITEMS NOT AVAILABLE FOR DISCUSSION

- Bylaw 8142 – Rezoning Employment Zone – Lynn Creek Light Industrial
- Bylaw 8187 – Heritage Revitalization Agreement – 114 West Windsor Road
- Bylaw 8188 – Heritage Designation – 114 West Windsor Road

### 1. ADOPTION OF THE AGENDA

#### 1.1. September 19, 2016 Regular Meeting Agenda

*Recommendation:*

THAT the agenda for the September 19, 2016 Regular Meeting of Council for the District of North Vancouver be adopted as circulated, including the addition of any items listed in the agenda addendum.

### 2. PUBLIC INPUT

(limit of three minutes per speaker to a maximum of thirty minutes total)

### 3. PROCLAMATIONS

- 3.1. International Day of Older Persons – September 19, 2016** **p. 9**
- 3.2. North Shore Keep Well Society Week – September 19, 2016** **p. 11**

### 4. RECOGNITIONS

- 4.1. Award of Honour**
- Dan Ellis

### 5. DELEGATIONS

**6. ADOPTION OF MINUTES**

**6.1. September 13, 2016 Public Hearing**

**p. 15-20**

*Recommendation:*

THAT the minutes of the September 13, 2016 Public Hearing are received.

**7. RELEASE OF CLOSED MEETING DECISIONS**

**8. COUNCIL WORKSHOP REPORT**

**9. REPORTS FROM COUNCIL OR STAFF**

With the consent of Council, any member may request an item be added to the Consent Agenda to be approved without debate.

If a member of the public signs up to speak to an item, it shall be excluded from the Consent Agenda.

*Recommendation:*

THAT items \_\_\_\_\_ be included in the Consent Agenda and be approved without debate.

**9.1. Bylaws 8187 and 8188: 114 West Windsor Road – Green Gables**

**p. 23-128**

File No. 08.3060.20/032.16

*Recommendation:*

THAT “Heritage Revitalization Authorization Agreement Bylaw 8187 – Green Gables” be given SECOND and THIRD Readings;

AND THAT “Heritage Designation Bylaw 8188, 2016 (114 West Windsor Road – Green Gables)” be given SECOND Reading, as amended;

AND THAT “Heritage Designation Bylaw 8188, 2016 (114 West Windsor Road – Green Gables)” be given THIRD Reading.

**9.2. Development Variance Permit 39.16 – 2133 Floralynn Crescent**

**p. 129-142**

File No. 08.3060.20/039.16

*Recommendation:*

THAT Development Variance Permit 39.16, to allow for the construction of a coach house at 2133 Floralynn Crescent, is ISSUED.

**9.3. Summary of Delbrook Lands Deliberative Dialogue from June 2016**

**p. 143-234**

File No. 13.6680.20/005.000

*Recommendation:*

THAT

1. The *Delbrook Lands Community Dialogue, Final Report* prepared by Simon Fraser University’s Centre for Dialogue be received for information; and,



2. Staff report back in late fall with:
  - a. An analysis of the participants' recommendations based on the alignment with District policies;
  - b. Financial implications of the participants' recommendations; and,
  - c. Next steps and timelines.

**9.4. Funding Recommendations for the Community Action Housing Committee**

**p. 235-238**

File No. 05.1930/Grants and Sponsorships/2016

*Recommendation:*

THAT staff be directed to work with the North Shore Community Resource Society's Community Housing Action Committee Chair to develop and finalize a work plan for the committee for 2017;

AND THAT Council provide core funding of \$10,000 each year for three years to North Shore Community Resource Society for the Community Housing Action Committee;

AND THAT after three years, ongoing funding for the Community Housing Action Committee be reassessed.

**9.5. Highway Road Closure – Lynn Term East Discussion**

File No. 09.3900.20/000.000

Materials to be circulated via agenda addendum.

**10. REPORTS**

**10.1. Mayor**

**10.2. Chief Administrative Officer**

**10.3. Councillors**

**10.4. Metro Vancouver Committee Appointees**

**10.4.1. Housing Committee – Councillor MacKay-Dunn**

**10.4.2. Regional Parks Committee – Councillor Muri**

**10.4.3. Utilities Committee – Councillor Hicks**

**10.4.4. Zero Waste Committee – Councillor Bassam**

**10.4.5. Mayors Council – TransLink – Mayor Walton**

**11. ANY OTHER BUSINESS**

## **12. ADJOURNMENT**

*Recommendation:*

THAT the September 19, 2016 Regular Meeting of Council for the District of North Vancouver be adjourned.

## PROCLAMATIONS

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## PROCLAMATION

### “International Day of Older Persons”

October 1, 2016

- WHEREAS:** The General Assembly of the United Nations adopted resolution 46/91 on December 16, 1991 which laid out the UN Principles for Older Persons; and
- WHEREAS:** The resolution included 18 principles which promote Independence, Participation, Care, Self Fulfilment and Dignity; and
- WHEREAS:** The UN encourages Governments to incorporate these principles into their national programmes whenever possible which Canada has recognized in 2010 by recognizing October 1<sup>st</sup> as National Seniors Day; and
- WHEREAS:** We recognize and appreciate the contribution that older persons make to their communities; and
- WHEREAS:** We recognize that individuals are reaching an advanced age in greater numbers and in better health than ever before and scientific research is disproving many stereotypes about inevitable and irreversible declines with age.
- NOW THEREFORE:** I, Richard Walton, Mayor of the District of North Vancouver, do hereby proclaim October 1, 2016 as “International Day of Older Persons” in the District of North Vancouver.

Richard Walton  
MAYOR

Dated at North Vancouver, BC  
This 19th day of September 2016

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## PROCLAMATION

### “North Shore Keep Well Society Week” (September 19 – 23, 2016)

- WHEREAS:** Since 1987, the North Shore Keep Well Society has been instrumental in keeping seniors out of hospitals and living healthier and independent lives longer; and
- WHEREAS:** Today, more than 500 seniors aged 60 – 97 attend weekly Keep Well classes at seven sites, from Deep Cove to Gleneagles to exercise in order to increase strength, balance and stamina, have blood pressure checks, hand and foot massage, health and nutrition information, social interaction; and
- WHEREAS:** Many seniors are still at risk of isolation and could benefit greatly from the North Shore Keep Well Society as it is widely acknowledged that physical and mental fitness contribute significantly to continuing good health and that people who have friends and support in the community stay healthier and live longer.
- NOW THEREFORE I,** Richard Walton, Mayor of the District of North Vancouver, do hereby proclaim **September 19 – 23, 2016** as “**North Shore Keep Well Society Week**” in the District of North Vancouver.

Richard Walton  
MAYOR

Dated at North Vancouver, BC  
This 19<sup>th</sup> day of September 2016

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## MINUTES

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## DISTRICT OF NORTH VANCOUVER PUBLIC HEARING

REPORT of the Public Hearing held in the Council Chambers of the Municipal Hall, 355 West Queens Road, North Vancouver, B.C. on Tuesday, September 13, 2016 commencing at 7:00 p.m.

**Present:** Mayor R. Walton  
Councillor R. Bassam  
Councillor J. Hanson  
Councillor R. Hicks  
Councillor D. MacKay-Dunn  
Councillor L. Muri (7:02 pm)

**Absent:** Councillor M. Bond

**Staff:** Ms. J. Paton, Manager – Development Planning  
Ms. L. Brick, Deputy Municipal Clerk  
Ms. K. Larsen, Planner  
Ms. S. Vukelic, Confidential Council Clerk

### **Heritage Revitalization Authorization Agreement Bylaw 8187 – Green Gables**

*Purpose of Bylaw:*

Bylaw 8187 authorizes entry into a Heritage Revitalization Agreement which will secure the permanent protection of Green Gables and permit subdivision into four lots.

### **Heritage Designation Bylaw 8188, 2016 (114 West Windsor Road – Green Gables)**

*Purpose of Bylaw:*

Bylaw 8188 proposes to designate Green Gables as a protected heritage property.

#### **1. OPENING BY THE MAYOR**

Mayor Walton welcomed everyone and advised that the purpose of the Public Hearing was to receive input from the community and staff on the proposed bylaws as outlined in the Notice of Public Hearing.

In Mayor Walton's preamble he addressed the following:

- All persons who believe that their interest in property is affected by the proposed bylaws will be afforded a reasonable opportunity to be heard and to present written submissions;
- Use of the established speakers list. At the end of the speakers list, the Chair may call on speakers from the audience;
- Speakers will have five minutes to address Council for a first time. Begin your remarks to Council by stating your name and address;
- After everyone who wishes to speak has spoken once, speakers will then be allowed one additional five minute presentation;

- Any additional presentations will only be allowed at the discretion of the Chair;
- All members of the audience are asked to refrain from applause or other expressions of emotion. Council wishes to hear everyone's views in an open and impartial forum;
- Council is here to listen to the public, not to debate the merits of the bylaw;
- At the conclusion of the public input Council may request further information from staff which may or may not require an extension of the hearing, or Council may close the hearing after which Council should not receive further new information from the public; and,
- Everyone at the Hearing will be provided an opportunity to speak. If necessary, the Hearing will continue on a second night.

Councillor MURI arrived at this point in the proceedings.

Ms. Linda Brick, Deputy Municipal Clerk stated that:

- The binder containing documents and submissions related to this bylaw is available on the side table to be viewed; and,
- The Public Hearing is being streamed live over the internet and recorded in accordance with the *Freedom of Information and Protection of Privacy Act*.

## **2. INTRODUCTION OF BYLAW BY CLERK**

Ms. Linda Brick, Deputy Municipal Clerk, introduced the proposed bylaws stating that Bylaw 8187 authorizes entry into a Heritage Revitalization Agreement which will secure the permanent protection of Green Gables and permit subdivision into four lots. She further advised that Bylaw 8188 proposes to designate Green Gables as a protected heritage property.

## **3. PRESENTATION BY STAFF**

Ms. Kathleen Larsen, Planner, provided an overview of the proposal elaborating on the Clerk's introduction:

- The Green Gables House is a Colonial Revival style house constructed in 1915 and is on the District's Heritage Register;
- The distinctive profile of the house includes tall chimneys, jerkin-headed roofs, bell cast detailing of the porches and iconic columns marking the front entry;
- The original owner was a Scottish-born printer named Robert Gibson;
- A Heritage Revitalization Agreement (HRA) is a formal voluntary agreement negotiated between the municipality and the owners of a heritage property requiring approval from Council. Through this type of an agreement, Part 15 – Heritage Conservation of the *Local Government Act* establishes a number of ways a municipality can protect its heritage resources using a variety of temporary and permanent protection measures including the Heritage Revitalization Agreements such as proposed for Green Gables;
- The primary objective of an HRA and an accompanying Designation Bylaw is to legally protect a heritage building;
- The current application includes two existing lots that are located in the Upper Lonsdale area and are designated as Detached Residential in the Official

- Community Plan and are zoned Residential Single-Family Norwood Queens (RSNQ);
- Green Gables, the heritage house to be protected under the proposed bylaws, straddles the centre lot line of the two properties;
  - The west lot is 66 ft. in width and 8,179 sq. ft. in area while the east lot is slightly larger at 69.7 ft. in width and 8631 sq. ft. in area;
  - Under the RSNQ zoning, each lot would allow for the construction of two new single-family houses ranging from 3,200 sq. ft. to 3300 sq. ft. plus a basement area;
  - The subject site is located in Small Lot Infill Area 10, which could allow for the subdivision of the property into four 10 m. wide lots similar to other properties to the west along the 100 Block of West Windsor Road;
  - As an alternative to the subdivision of the property into four 10 m. lots and demolition of the heritage house, the HRA proposes a four lot subdivision that would retain the heritage house and move it to Lot 4 where it would receive maximum exposure;
  - Access to Lots 1 and 2 would be from two separate driveways on West Windsor Road;
  - Access to Lots 3 and 4 would have a shared driveway from West Windsor Road;
  - The proposed subdivision will not include:
    - Access to the rear laneway to the north of the property;
    - Any removal or disruption of trees in the laneway; nor,
    - Allowance of secondary suites in any of the dwellings on the properties.
  - Houses on Lots 1 and 2 will continue with the small lot pattern to the west along West Windsor Road and be subject to a covenant for a unique house design and house three will have reduced front and rear setbacks with the landscape buffer to provide separation and privacy from Lot 4;
  - The design of the Lot 3 house will be reviewed by the General Manager of Planning to ensure compatibility with the heritage house prior to subdivision;
  - Green Gables will be moved to the proposed Lot 4 and will require reduced front and rear setbacks as well as exceeding the permitted floorspace permitted on the lot by 653 sq. ft. and the permitted house height by 2.2 ft.;
  - Lots 1, 2 and 3 will comply with the house sizes permitted under the RSNQ zoning requirements;
  - The revised site plan proposes three driveways placed to allow more on-street parking;
  - The on-street parking will be allowed for anyone parking in the neighbourhood, in addition the applicant has also amended the site plan to allow for three parking stalls on Lots 3 and 4 although no secondary suites are proposed nor permitted;
  - A neighbourhood meeting was held on July 13, 2016 and questions were addressed regarding the impact of on-street parking from the development and the retention of trees on the property;
  - Residents' concerns were reviewed and District staff have advised that an existing "No Parking" area in front of 111 West Windsor Road can be amended to allow at least one additional on-street parking space;
  - In response to questions about tree retention at the meeting, the applicant has submitted a landscape plan developed in consultation with neighbours;
  - A final landscape plan will be submitted prior to subdivision;
  - The proposed HRA to allow for subdivision of the property into four lots will achieve the heritage designation and legal protection for "Green Gables"; and,

- To ensure the on-going maintenance of the designated Green Gables, a Statement of Significance and Conservation and Maintenance Plan has been prepared and submitted by a qualified Heritage Consultant.

#### **4. PRESENTATION BY APPLICANT**

##### **Mr. Ryan Deakin, 800 Block, East 3<sup>rd</sup> Street:**

- Noted the extensive community consultation that has taken place and that he has worked with the community to address their concerns regarding the landscaping and parking concerns;
- Advised family's eagerness to restore the Green Gables house and move into the neighbourhood;
- Thanked Council for their time and consideration; and,
- Advised that the inside of the house is in better condition than the outside in response to a question regarding relocation of the house.

#### **5. REPRESENTATIONS FROM THE PUBLIC**

##### **5.1. Ms. Margo Hurren, 400 Block East Keith Road: IN FAVOUR**

- Advised that she is related to the owner of the subject property;
- Expressed concerned regarding the safety of the heritage house and the garbage being left on the lot; and,
- Asked that Council consider expediting the process by giving the Bylaws second and third reading together.

##### **5.2. Mr. Donato D'amici, 300 Block East Windsor Road: IN FAVOUR**

- Spoke in favour of the preservation of heritage homes and the establishment of Heritage Revitalization Agreements (HRA's).

##### **5.3. Mr. Aslaam Allodina, 100 Block West Windsor Road: IN FAVOUR**

- Spoke in Support of the proposed development and the benefits of HRA's; and,
- Requested that Lots 1 and 2 have a unique design covenant to ensure they do not mirror each other and look aesthetically different from the heritage house; and,
- Indicated his support for the tree retention plan submitted by the applicant.

Staff advised that the Approving Officer follows Best Practice Guidelines and that it is standard to require a unique design covenant for all subdivisions. It was noted that it is standard for the applicant and staff to engage and work with neighbours throughout a subdivision process.

##### **5.4. Ms. Jennifer Clay, 700 Block East 8th Street: IN FAVOUR**

- Spoke on behalf of the North Shore Heritage Society in support of the proposed development;
- Noted the unique features on the heritage house; and,
- Expressed appreciation for the early public consultation that was held regarding the application.

**5.5. Ms. Leanne Sexton, 100 Block West Windsor Road: IN FAVOUR**

- Spoke in support of the proposed application;
- Commented on the notification process and requested that the HRA notification range be expanded to include a whole subject block;
- Expressed concerns regarding traffic management during construction; and,
- Queried the state of the application if the heritage house is damaged in the move.

In response to a question from Council, staff advised that a condition of the agreement would be that the heritage house would have to be moved prior to subdivision approval; however, the subject property currently is zoned for a four lot subdivision subject to the Approving Officer's approval.

Staff advised that construction management is part of the building permit and construction process.

It was also noted that the District Inspectors monitor construction sites for conflicts in regards to concerns with traffic.

**5.6. Mr. Rodney Brickle, 200 Block West Windsor Road: IN FAVOUR**

- Spoke in support of the application;
- Requested the notification range be expanded for new developments; and,
- Expressed concern with the state of the heritage house after the relocation process.

**5.7. Mr. Bill Hudson, 100 Block West St. James Road: IN FAVOUR**

- Expressed gratitude for the extensive public consultation put forth by the applicant; and,
- Spoke in support of the proposed development.

**5.8. Mr. Alec Caluck, 100 Block West Windsor Road: IN FAVOUR**

- Spoke in support of the proposed development; and,
- Requested that staff reconsider optimizing the parking situation on the south side of West Windsor Road.

**6. QUESTIONS FROM COUNCIL**

Staff advised that a jerk headed cross gable refers to the way the top of the shape of the roof sits at the front of the house.

Council queried the condition of the heritage house and whether it could be moved. The applicant advised that the inside of the house is in better condition than the outside and that the move is a short distance which will minimize any negative impact.

Staff advised that the Heritage Conservation Plan will provide guidelines for any re-building concerns.

Staff confirmed that SLIA designation came into effect in the 1980's. It is common for many homes in the District to straddle two lot lines. The zoning was adopted in the 1990's and sub division patterns, on a broad based scale were considered when



establishing neighbourhood zoning regulations for SLIA's. It was noted that the application is located in a SLIA and that there are three designated SLIA's in the RSNQ zone.

**7. COUNCIL RESOLUTION**

**MOVED by Councillor BASSAM**

**SECONDED by Councillor MURI**

THAT the September 13, 2016 Public Hearing be closed;

AND THAT "Heritage Revitalization Authorization Agreement Bylaw 8187 – Green Gables" and "Heritage Designation Bylaw 8188, 2016 (114 West Windsor Road – Green Gables)" be returned to Council for further consideration.

**CARRIED**  
(7:47 p.m.)

**CERTIFIED CORRECT:**



Confidential Council Clerk




## REPORTS

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AGENDA INFORMATION	
<input checked="" type="checkbox"/> Regular Meeting	Date: <u>Sept 19, 2016</u>
<input type="checkbox"/> Other:	Date: _____

  
 Dept.  
Manager

  
 GM/  
Director

  
 CAO

## The District of North Vancouver REPORT TO COUNCIL

September 14, 2016  
File: 08.3060.20/032.16

**AUTHOR:** Kathleen Larsen, Community Planner

**SUBJECT:** Bylaws 8187 and 8188: 114 West Windsor Road – Green Gables

### RECOMMENDATION:

THAT “Heritage Revitalization Authorization Agreement Bylaw 8187 – Green Gables” be given SECOND and THIRD Readings; and

THAT “Heritage Designation Bylaw 8188, 2016 (114 West Windsor Road – Green Gables)” be given SECOND Reading, as amended; and

THAT “Heritage Designation Bylaw 8188, 2016 (114 West Windsor Road – Green Gables)” be given THIRD Reading.

### REASON FOR REPORT:

To amend Heritage Designation Bylaw 8188 as it was presented for First Reading. The proposed amendments will add a legal description and attachments to the Bylaw.

### BACKGROUND:

Heritage Designation Bylaw 8188 for 114 West Windsor Road (Green Gables) was given First Reading on July 26, 2016. After First Reading it was identified that the legal description describing the property on which the heritage house is proposed to be moved needed to be added to the Bylaw.

In addition Bylaw 8188 needs to be amended by adding both a final site plan and elevations of the retained heritage structure as an attachment titled “Retained Structure”.

**CONCLUSION:**

It is recommended that Bylaw 8187 be given Second and Third readings to allow the Heritage Revitalization Agreement to proceed for further Council consideration and Bylaw 8188 be amended in order to add the required legal description and attachments and also given Second and Third readings.

**OPTIONS:**

1. THAT "Heritage Revitalization Authorization Agreement Bylaw 8187, 2016 – Green Gables" be given SECOND and THIRD Readings; and  
  
THAT "Heritage Designation Bylaw 8188, 2016 (114 West Windsor Road – Green Gables)" be given SECOND Reading, as amended; and  
  
THAT "Heritage Designation Bylaw 8188, 2016 (114 West Windsor Road – Green Gables)" be given THIRD Reading.
2. THAT no further readings of "Heritage Revitalization Authorization Agreement Bylaw 8187, 2016 – Green Gables" or "Heritage Designation Bylaw 8188 (114 West Windsor Road – Green Gables)" be given, thereby defeating the Heritage Revitalization Agreement proposal.

*KLarsen*

Kathleen Larsen  
Community Planner

**Attachments:**

- Heritage Revitalization Authorization Agreement Bylaw 8187, 2016 – Green Gables
- Heritage Designation Bylaw 8188, 2016 (114 West Windsor Road – Green Gables), as amended
- Public Hearing Minutes – September 13, 2016
- Staff Report – dated July 14, 2016

REVIEWED WITH:		
<input type="checkbox"/> Sustainable Community Dev. _____	<input type="checkbox"/> Clerk's Office _____	External Agencies:
<input type="checkbox"/> Development Services _____	<input type="checkbox"/> Communications _____	<input type="checkbox"/> Library Board _____
<input type="checkbox"/> Utilities _____	<input type="checkbox"/> Finance _____	<input type="checkbox"/> NS Health _____
<input type="checkbox"/> Engineering Operations _____	<input type="checkbox"/> Fire Services _____	<input type="checkbox"/> RCMP _____
<input type="checkbox"/> Parks _____	<input type="checkbox"/> ITS _____	<input type="checkbox"/> NVRC _____
<input type="checkbox"/> Environment _____	<input type="checkbox"/> Solicitor _____	<input type="checkbox"/> Museum & Arch. _____
<input type="checkbox"/> Facilities _____	<input type="checkbox"/> GIS _____	<input type="checkbox"/> Other: _____
<input type="checkbox"/> Human Resources _____	<input type="checkbox"/> Real Estate _____	

## **The Corporation of the District of North Vancouver**

### **Bylaw 8187**

A bylaw to enter into a heritage revitalization agreement pursuant to section 610 of the *Local Government Act* (RSBC 1996, c.323)

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The Council for the Corporation of the District of North Vancouver enacts as follows:

#### **Citation**

1. This bylaw may be cited as **"Heritage Revitalization Authorization Agreement Bylaw 8187 – Green Gables"**.

#### **Heritage Revitalization Agreement**

2. The Council of the District of North Vancouver is authorized to enter into a Heritage Revitalization Agreement substantially in the form of the agreement attached to this Bylaw (the "Heritage Revitalization Agreement") with the owner of the property and building located at 114 West Windsor Road and legally described as PID: 013-298-453, Lot G of the North ½ of Lot F Blocks 4 to 13 District Lot 2026 Plan 2954 and PID: 011-115-858, Lot A of the North ½ of Lot F Blocks 4 to 13 District Lot 2026 Plan 5611.

#### **Execution of Agreement**

3. The Mayor and Municipal Clerk are authorized on behalf of the Council to sign the Heritage Revitalization Agreement substantially in the form attached as Schedule A and titled "Heritage Revitalization Agreement – Green Gables" and forming part of this Bylaw.

#### **Delegation**

4. Wherever in the Heritage Revitalization Agreement a heritage alteration permit is required, the discretion to approve, refuse or issue such permit is delegated by the District to the General Manager - Planning, Properties & Bylaws (the "GM") and:
  - (a) such exercise of discretion relating to the issuance of the heritage alteration permit shall be made by the GM acting reasonably in accordance with sound municipal heritage and conservation practice;
  - (b) such exercise of discretion, including any terms and conditions imposed, shall be consistent with the *Local Government Act*, and with the intent of preserving the heritage character and heritage value of Green Gables and its setting; and
  - (c) the GM may refer any exercise of discretion to the District of North Vancouver Community Heritage Committee for advice.

**READ** a first time the 26<sup>th</sup> day of July, 2016.

**PUBLIC HEARING** held the 13<sup>th</sup> day of September, 2016.

**READ** a second time the \_\_\_\_ day of \_\_\_\_\_, 2016.

**READ** a third time the \_\_\_\_ day of \_\_\_\_\_, 2016.

Certified a true copy of “Heritage Revitalization Authorization Agreement Bylaw 8187 – Green Gables” as at Third Reading

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Municipal Clerk

**APPROVED** by the Ministry of Transportation and Infrastructure on

**ADOPTED** the \_\_\_\_ day of \_\_\_\_\_, 2016.

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Mayor

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Municipal Clerk

Certified a true copy

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Municipal Clerk

**HERITAGE REVITALIZATION AGREEMENT**

**GREEN GABLES**

This Agreement made the \_\_\_\_ day of \_\_\_\_\_, 2016,

BETWEEN:

(the "Owner")

AND:

**THE CORPORATION OF THE DISTRICT OF NORTH VANCOUVER**, 355 West  
Queens Road, North Vancouver, BC V7N 4N5

(the "District")

WHEREAS:

- A. The Owner is the registered Owner in fee simple of the following lands and premises at 114 West Windsor Road in the District of North Vancouver, British Columbia and legally described as:
- PID: 013-298-453, Lot G of the North ½ of Lot F Blocks 4 to 13 District Lot 2026 Plan 2954 and
- PID: 011-115-858, Lot A of the North ½ of Lot F Blocks 4 to 13 District Lot 2026 Plan 5611
- (together, the "Lands");
- B. The District and the Owner consider that these Lands, including the house ("Green Gables") and the landscaping, have heritage value which should be protected and preserved;
- C. Section 610 of the *Local Government Act* authorizes a local government to enter into a Heritage Revitalization Agreement with the owner of heritage property allowing variations of, and supplements to, the provisions of a zoning bylaw, subdivision bylaw, development permit and heritage alteration permit;
- D. For the purpose of conserving the heritage value of Green Gables, the Owner and the District have agreed to enter into this Agreement setting out the terms and conditions of continuing protection for the heritage character and heritage value of this heritage building;

- E. The heritage character of Green Gables which both the Owner and the District desire to conserve and which constitute the heritage value of the Lands have been described by text and photographs attached as Schedule "A" to this Agreement;

In consideration of the mutual promises of the parties and for other good and valuable consideration (the receipt and sufficiency of which is acknowledged), the Owner and the District covenant and agree pursuant to Section 966 of the *Local Government Act* as follows:

#### Interpretation

1. In this Agreement:

- (a) "Approving Officer" means the approving officer for the District appointed under the *Land Title Act*;
- (b) "Chief Building Official" means the District's chief building official or his or her designate;
- (c) "GM" means the District's General Manager - Planning, Properties & Bylaws;
- (d) "Report" means the Conservation Plan prepared by Donald Luxton and Associates Inc. dated \_\_\_\_\_, 2016 a copy of which is attached hereto as Schedule "A";
- (e) "Green Gables" has the meaning given to it in Recital B; and
- (f) "Lots" means Lots 1 to 4 as shown on the plan attached as Schedule "B" and "Lot" means any one of them;
- (g) "Natural Grade" has the meaning given to it in the Zoning Bylaw;
- (h) "Protected Trees" has the meaning given to it in section 5(g);
- (i) "Zoning *Bylaw*" means the District of North Vancouver Zoning Bylaw No. 3210, 1965 as amended, consolidated, re-enacted or replaced from time to time.

#### Heritage Revitalization

- 2. The parties agree that the Lands have heritage value, deserving of protection and conservation and the Owner specifically agrees to maintain, preserve and protect the heritage character of Green Gables in accordance with this Agreement.
- 3. The Owner covenants and agrees that the Lands may not be subdivided, used or developed except as specifically set out in this Agreement.
- 4. The parties agree that notwithstanding the provisions of District bylaw requirements related to the zoning applicable to the Lands, the Lands may be used and developed in the following manner:
  - (a) the Lands may be subdivided to create the Lots as shown on the draft subdivision plan attached hereto as Schedule "B" (the "Proposed Subdivision");



- (b) Green Gables may be relocated on Lot 4 strictly in accordance with the site plan attached as Schedule "C" and with the plans and specifications attached as schedule "D"; and
- (c) a house may be construct on Lot 3 within the building envelope outlined on the site plan attached as Schedule "C"

all in accordance with the terms, limitations and conditions of this Agreement.

5. The Owner covenants and agrees that:

- (a) Green Gables after said relocation must not exceed a total Floor Area of 2596 square feet or a height of 30 feet 2 inches above the Natural Grade;
- (b) no detached garages or other accessory buildings or structures are permitted on any of the Lots.
- (c) no house may be construct on Lot 1 or Lot 2 unless the house strictly complies with the RSNQ zoning designation under the Zoning Bylaw and with the design drawings approved by the GM in accordance with the section 219 covenant required pursuant to subsection 8(e) herein;
- (d) no house may be construct on Lot 3 unless the house strictly complies with all requirements under the RSNQ zoning designation in the Zoning Bylaw (except to the extent set out in subsection 4(c) herein), and with the design drawings approved by the GM in accordance with the section 219 covenant required pursuant to subsection 8(e) herein;
- (e) the houses on Lots 1, 2 and 3 will meet or exceed EnerGuide 80 said requirements to be secured with a section 219 covenant in form and content acceptable to the municipal solicitor with said covenant to be fully registered at the Land Title Office against the titles to Lots 1, 2 and 3 in favour of the District in priority to all financial charges;
- (f) to install and maintain landscaping and permeable driveways on the Lots in accordance with the landscape and driveway plan to be prepared by the Owner's landscape architect and approved by the District under subsection 10(b) herein, and
- (g) to retain and protect all of the trees identified on the plan attached as Schedule "E" (the "Protected Trees").

6. None of the Lots may be separately sold or otherwise transferred until after Green Gables has been relocated to Lot 4 in compliance with this Agreement and to the satisfaction of the GM. After Green Gables has been relocated to Lot 4 in compliance with this Agreement to the satisfaction of the GM, Lot 1 and Lot 2 may be separately sold, but Lot 3 and Lot 4 may not be separately sold or otherwise transferred until after occupancy permits have been issued by the District for houses on both Lots and until landscaping and the permeable driveway required pursuant to section 5(e) have been installed to the District's satisfaction.

7. The Owner further covenants and agrees that Lot 3 will not be used or developed and no building permit will be applied for, or is required to be issued by the District, in respect of any improvement on Lot 3 unless and until an occupancy permit has been issued by the District for Green Gables on Lot 4.
8. The Owner expressly acknowledges and agrees that it is a condition of entering into this Agreement that prior to the Approving Officer's approval of the Proposed Subdivision, the Owner's solicitor will have provided to the District his or her written professional undertaking to deposit the Proposed Subdivision plan only as an all or nothing package with any charges required by the Approving Officer, including without limitation:
  - (a) the section 219 covenant referred to in section 5(e), which must be registered against title to Lots 1, 2 and 3;
  - (b) a separate section 219 covenant and rent charge against title to Lot 4 to secure the Owner's maintenance obligations in relation to Green Gables, and requiring that the landscaping and driveway improvements required pursuant to subsection 5(f) must be retained and maintained in perpetuity in accordance with the terms and conditions set out in said of such covenant, which said covenant must be registered in favour of the District in priority to all financial charges covenant;
  - (c) a section 219 covenant stipulating that there must not be any secondary suite (including in the form of a coach house) constructed, installed, used or occupied on any of the Lots, which said covenant must be registered against each of the Lots in favour of the District in priority to all financial charges;
  - (d) a section 219 tree preservation covenant for the protection and preservation of the Protected Trees, which said covenant must be registered against Lots 1, 2 and 3 in favour of the District in priority to all financial charges; and
  - (e) a section 219 design approval covenant which said must be registered against Lots 1, 2 and 3 in favour of the District in priority to all financial charges.

All said covenants must be in a form acceptable to the Municipal Solicitor.

9. Without limiting any other provision herein, the Owner agrees that:
  - (a) all driveway paving on the Lots must be of permeable construction; and
  - (b) the exterior cladding and colour scheme for all improvements on the Lots must complement the heritage character of Green Gables, must comply with all applicable requirements set out in the report attached as Schedule A, and must be approved by the GM in advance, with future colour changes to be similarly approved.
10. The Owner further covenants and agrees that Lot 1, Lot 2 and Lot 3 will not be used or developed and no building permit will be applied for, or is required to be issued by the District, in respect of any improvement on Lot 1, Lot 2 or Lot 3 unless and until the Owner has:

- (a) prepared and submitted to the District a maintenance plan acceptable to the GM for future maintenance of Green Gables; and
  - (b) delivered to the District a detailed landscape and driveway plan and boulevard planting plan for the Lots, prepared by a professional landscape architect retained by the Owner, which said plans must create a setting to complement the heritage character of Green Gables to the satisfaction of the GM in his or her sole discretion (the "Landscaping and Site Plan").
- 11. Notwithstanding any other term of this Agreement, prior to commencing any development work on the Lots (including removal of any trees), the Owner must obtain all necessary permits and approvals from the District.
- 12. The Owner agrees to maintain Green Gables to such a standard which, in the opinion of the GM, retains the heritage character and heritage value of the building and site.
- 13. The Owner specifically acknowledges and agrees that any alterations and improvements to the exterior of Green Gables will require a heritage alteration permit issued by the District.
- 14. The parties agree that the exterior of Green Gables shall be designated as protected heritage property pursuant to section 611 of the *Local Government Act*.

#### Heritage Alteration Permits

- 15. In accordance with the terms and conditions of this Agreement, the Owner shall not alter in any way the exterior of Green Gables except as permitted by a Heritage Alteration Permit issued by the District.

#### Construction and Maintenance of Works

- 16. Wherever in this Agreement the Owner is issued a heritage alteration permit to restore, rehabilitate, replicate, repair, replace, maintain or in any way alter improvements on, or features of Green Gables, or to construct or maintain other works to protect or conserve such improvements or features, all such work shall be done at the Owner's sole expense strictly in accordance with the heritage alteration permit and all plans and specifications forming part thereof and shall be diligently and continuously maintained in good repair and efficient operating condition by the Owner at the Owner's sole expense in accordance with good engineering, design, heritage and conservation practice.

#### Damage or Destruction

- 17. Subject to section 18, in the event that Green Gables is damaged, the parties agree that the Owner must repair the building, in which event the Owner shall forthwith commence the repair work and complete the same within one year of the date of damage.
- 18. In the event that Green Gables is accidentally damaged or destroyed to the extent of 75% or more of its value above its foundations, as determined by the Chief Building Official, the terms of this Agreement which relate to Green Gables shall cease to be of any effect and thereafter all use and occupation of Lands shall be in accordance with the District Zoning Bylaw No. 3210, as amended, and in accordance with all other bylaws or

regulations of the District or any other laws of any other authority having jurisdiction; provided that as a limitation on said use the maximum floor area for any replacement house on Lot 1 shall not exceed 223.2 m<sup>2</sup>.

#### Breach

19. In the event that the Owner is in breach of a material term of this Agreement, the District may give the Owner notice in writing of the breach and the Owner shall ensure it does nothing to further the breach and shall remedy the breach within 30 days of receipt of the notice.

#### Amendment

20. The parties acknowledge and agree that this Agreement may only be amended by one of the following means:
- (a) by bylaw with the consent of the parties provided that a public hearing shall be held if an amendment would permit a change to use or density of use on the Lands; or
  - (b) by Heritage Alteration Permit issued pursuant to section 972 of the *Local Government Act*.

#### Representations

21. It is mutually understood and agreed that the District has made no representations, covenants, warranties, promises or agreements, express or implied, other than those contained in this Agreement.

#### Statutory Functions

22. Except as expressly varied or supplemented herein, this Agreement shall not prejudice or affect the rights and powers of the District in the exercise of its statutory functions and responsibilities, including, but not limited to, the *Local Government Act* and its rights and powers under any enactments, bylaws, order or regulations, all of which, except as expressly varied or supplemented herein, are applicable to the Property.

#### No Liability to District

23. In no case shall the District be liable or responsible in any way for:
- (a) any personal injury, death or consequential damage of any nature whatever, however caused, that may be suffered or sustained by the Owner or by any other person who may be on the Lands; or
  - (b) any loss or damage of any nature whatever, however caused to the Lands or any improvements or personal property thereon belonging to the Owner or to any other person;

arising directly or indirectly from, or in any way related to, the entering into of this Agreement, compliance with the conditions, restrictions and requirements in this

Agreement, the Proposed Subdivision, wrongful or negligent failure or omission to comply with the conditions, restrictions and requirements herein, or from the enforcement or non-enforcement of any restrictions or requirements herein or with any other term condition or provision of this Agreement.

#### Indemnity

24. The Owner shall at all times indemnify and save harmless the District of and from all loss and damage, and all actions, claims, costs, demands, expenses, fines, liabilities and suites of any nature whatsoever by whomsoever brought for which the District shall or may become liable, incur or suffer by reason of existence and effect whether direct or indirect of the restrictions or requirements herein, or breach or non-performance by the Owner of any covenant, term or provision hereof, or by reason of any work or action of the Owner in performance of its obligations hereunder, or by reason of any wrongful act or omission, default or negligence of the Owner.

#### Damages

25. The Owner covenants and agrees that the measure of damages for any breach of the restrictions or requirements of this Agreement shall include, but shall not be limited to, the actual cost and expense of all administration, labour, materials, equipment, services and work required for all remedial acts necessary to fully restore, rehabilitate, replace or maintain the building, structure, improvement on or feature of the Lands having *heritage value* to be protected, conserved, preserved or kept in its natural state. The nature and extent of any breach of the said restrictions and requirements, and the nature and extent of any restoration, rehabilitation, replacement, maintenance or remedial work or action of any nature required to remedy such breach shall be determined by the District in its sole discretion.

#### Specific Performance

26. The Owner agrees that the District is entitled to obtain an order for specific performance of this Agreement and a prohibitory or mandatory injunction in respect of any breach by the Owner of this Agreement. The Owner agrees that this is reasonable given the public interest in preserving the heritage value and character of the Green Gables.

#### No Waiver

27. No restrictions, requirements or other provisions in this Agreement shall be deemed to have been waived by the District unless a written waiver authorized by resolution of the Council and signed by an officer of the District has first been obtained, and without limiting the generality of the foregoing, no condoning, excusing or overlooking by the District on previous occasions of any default nor any previous written waiver shall be taken to operate as a waiver by the District of any subsequent default or in any way to defeat or affect the rights of remedies the District.

#### Compliance with Laws

28. Despite any provision of this Agreement, the Owner shall comply with all laws, including bylaws of the District and all regulations and orders of any authority having jurisdiction, and to the extent only that such laws, regulations and orders are mandatory and

necessarily require the breach of any restriction or positive obligation herein to be observed or performed by the Owner, or less than strict compliance with the terms hereof, then the Owner upon sixty days' written notice to the District shall be excused from complying with such restrictions or performing such obligation and such restriction or obligation shall be suspended but only to the extent and for the time that such mandatory law, regulation or order is inconsistent with compliance with the said restrictions or obligations.

#### Agreement's Relevance to Subdivision Approval

29. The Owner agrees that the Approving Officer is, with respect to any preliminary or final application for approval of the Proposed Subdivision, entitled (but not required) to consider whether the Proposed Subdivision complies with the applicable requirements under this Agreement or whether the requirements of this Agreement have been complied with and to reject the application if any of those requirements have not, in the opinion of the Approving Officer, been complied with. Nothing in this Agreement commits the Approving Officer to approve any Proposed Subdivision plan.

#### Rights are Permissive Only

30. The rights given to the District by this Agreement are permissive only and nothing in this Agreement imposes any legal duty of any kind on the District to the Owner or anyone else, and nothing in this Agreement obliges the District to enforce this Agreement, to perform any act or to incur any expense in respect of this Agreement.

#### Notice Binding

31. The Owner will file against the Lands notice in the Land Title Office in accordance with section 610 of the *Local Government Act* and upon registration of such notice, this Agreement and any amendment to it shall be binding on all persons who acquire an interest in the Lands or any part thereof.

#### Notice

32. Any notice to be given hereunder shall be in writing and may be either delivered personally or sent by prepaid registered mail and if so mailed shall be deemed to have been given five (5) days following the date upon which it was mailed. The address of the parties for the purpose of notice shall be as follows:

To the District:

District of North Vancouver  
355 West Queens Road  
North Vancouver, BC V7N 4N5

Attention: Municipal Clerk

If to the Owner:

Any party hereto may at any time give notice in writing to the other of any change of address and after the third day of the giving of such notice the address therein specified shall be the address of such part for the giving of notices.

#### Inspection

33. Without limiting the District's power of inspection conferred by statute and in addition thereto, the District shall be entitled at all reasonable times and from time to time to enter onto the Lands for the purpose of ensuring that the Owner is fully observing and performing all of the restrictions and requirements in this Agreement to be observed and performed by the Owner.

#### Severance

34. If any part of this Agreement is for any reason held to be invalid by a court of competent jurisdiction, the invalid portion is to be severed from the rest of this Agreement and the decision that it is invalid does not affect the validity of the remainder of this Agreement.

#### Headings

35. The headings in this Agreement are inserted for convenience only and shall not affect the construction of this Agreement or any provision hereof.

#### Successors Bound

36. All restrictions, rights and liabilities herein imposed upon or given to the respective parties shall extend to and be binding upon their respective heirs, executors, administrators, successors and assigns. When the Owner is more than one party they shall be bound jointly and severally by the terms, covenants and agreements herein on the part of the Owner.
37. The District will file a notice in the Land Title Office in accordance with section 966 of the *Local Government Act* and upon registration of such notice, this Agreement and any amendment to it shall be binding on all persons who acquire an interest in the land affected by this Agreement.

#### Other Documents

38. The Owner agrees at the request of the District to execute and deliver or cause to be executed and delivered all such further agreements, documents and instruments and to do and perform or cause to be done and performed all acts and things as may be required in the opinion of the District to give full effect to this Agreement.

*The remainder of this page is intentionally left blank*

No Partnership or Agency

39. The parties agree that nothing contained in this Agreement creates a partnership, joint venture or agency relationship between the parties.

The Owner and the District have executed this Agreement as of the date first above written.

Signed, Sealed and )  
Delivered by \_\_\_\_\_ )  
in the presence of: )

\_\_\_\_\_ )  
Name )  
\_\_\_\_\_ )  
Address )  
\_\_\_\_\_ )  
\_\_\_\_\_ )  
Occupation )

Signed by the duly authorized )  
signatories of The )  
Corporation of the District of )  
North Vancouver: )

\_\_\_\_\_ )  
Richard Walton, Mayor )  
\_\_\_\_\_ )  
James Gordon, Clerk )



**Schedule "A"**  
**Conservation Plan**



# GREEN GABLES

114 WEST WINDSOR ROAD, DISTRICT OF NORTH VANCOUVER, BC

## CONSERVATION PLAN

AUGUST 2016

**DONALD LUXTON**  
AND ASSOCIATES INC 

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## 1.0 INTRODUCTION

**HISTORIC NAME:** Green Gables  
**CURRENT ADDRESS:** 114 West Windsor Road  
**ORIGINAL RESIDENTS:** Robert Gibson  
**ARCHITECT:** James C. Mackenzie  
**CONSTRUCTION DATE:** 1915

Green Gables is a well-preserved heritage resource located within the District of North Vancouver. In September 2015 Donald Luxton & Associates was retained to conduct a heritage inspection for the historic house on the property.

The proposed conservation strategy for Green Gables involves the preservation of its exterior features and character-defining elements while relocating the historic house to the south, within the property lines, to allow for an infill addition at the rear of the property.

This Conservation Plan is based on Parks Canada's Standards & Guidelines for the Conservation of Historic Places in Canada. It outlines the preservation, restoration, and rehabilitation that will occur as part of the proposed development.

## 2.0 HISTORIC CONTEXT

### HISTORIC CONTEXT: DISTRICT OF NORTH VANCOUVER

The District of North Vancouver was incorporated in 1891 and originally included all three separate municipalities of the North Shore. The City of North Vancouver, comprising the urban core close to Burrard Inlet, officially formed in 1907, while West Vancouver seceded from the District in 1912. In the midst of these administrative transitions, the North Shore was booming with development, due to the economic expansion occurring throughout the Lower Mainland during the Edwardian era. Suburban residential areas, including those in North Vancouver, developed into bedroom communities for employees of the thriving industries and commercial enterprises of the early twentieth century.

Connected by ferry service, and later bridges, to Downtown Vancouver, the District of North Vancouver became a preferred address for those seeking a quiet residential life, away from the polluting effects of industries closer to the shore. The Upper Lonsdale neighbourhood, located just north of the boundary between the City and District of North Vancouver, was developing as a high-quality suburb in the early 1910s, as the Lonsdale Avenue streetcar gradually reached the area; the streetcar made it to Windsor Road in 1912. The construction of the Gibson Residence in 1915 was made possible by this ready access to the remainder of the Lower Mainland.

This beautifully detailed and stately home was built for the Gibson family; Robert Gibson was a printer with the News-Advertiser. The ornate Ionic and Doric columns associate the house with the Colonial Revival. A distinctive profile is provided by the tall chimneys, the hip-on-gable ('jerkin') roofs, and the bellcast detailing of the porches. By 1935 the house had been acquired by the Butterworth family, who maintained stables on the property. Janet Gibson, daughter of the first owners, moved next door to 108 West Windsor Road at that time.

### ORIGINAL ARCHITECT: JAMES CLARK MACKENZIE (1877-1941)

*From: Building the West: The Early Architects of British Columbia*

James C. Mackenzie was born on November 6, 1877 in West Kilbride, Ayrshire, Scotland. He was educated at Ardrossan Academy, Ayr Academy and Glasgow High School, and in 1897, started a five-year apprenticeship in Alexander Nisbet Paterson's office, Glasgow. Paterson, described as a "fastidious, comfortably off, and retiring architect, whose best work is too little known," had studied at the At  lier Pascal, and later worked for Aston Webb. After Mackenzie completed his services with Paterson, he went to Italy in 1902 for four months, and then practised in Dumfries for two years. Seeking new opportunities, James followed his older brother, William, to Prince Rupert, where one of their aunts lived. By 1908 he moved to Vancouver, where he entered the office of fellow Scot, William Bow. Mackenzie commenced his own practice in 1909, and worked mostly on residential projects in the Shaughnessy Heights subdivision. He also received the commission for the new West Vancouver Municipal Hall. The Vancouver Daily Province, June 1, 1912, reported "the contract was awarded this week for the municipal hall... It has been designed to conform to the general style of suburban architecture. The whole building will be heated by hot air." In 1912 Mackenzie married Amy Crabtree, an English probationary nurse, and the following year he designed an elegant Craftsman-inspired home in the North Lonsdale area of North Vancouver for his new family, which included three children by 1917. From 1913-15 he worked in partnership with A.



## HISTORIC CONTEXT



*Lonsdale Avenue with streetcar service that stretched up the hill toward the District of North Vancouver, circa 1908, (CVA Out P1221)*



*Detail: Upper Lonsdale from Caribrook Park, looking south, 1916, (CVA PAN N173)*

## HISTORIC CONTEXT

Scott Ker. Their largest commission was a grand home in Shaughnessy Heights for Frank L. Buckley, Iowa, on Osler Avenue, 1913-14. As work dried up during the First World War, Mackenzie moved his office to his home. Although times were lean, he designed at least one large residence, for Robert Gibson in the North Lonsdale area, 1915, and published an extensive catalogue of house plans, of which his own house was No. 514. After the war he was associated with the Architects Small House Service Bureau (B.C.), which offered a large selection of home plans for thirty dollars each. Mackenzie was also known as a designer of teapots depicting Haida designs, which were made in Japan and were very popular there. By 1920 Mackenzie had gone into partnership with William Bow, whose daughter remembers Mackenzie's wife as a large, imposing woman, who would drop their three children off at the office when she wanted to go shopping, creating endless disruption. The partnership terminated in 1923, and Mackenzie again practised on his own. He died on May 21, 1941 at age sixty-three.

## GREEN GABLES

*From the 1993 District of North Vancouver Heritage Inventory:*

This beautifully detailed and stately home was built for the Gibson family; Robert Gibson was a printer with the News-Advertiser. The ornate Ionic columns and large porch on the eastern side associate the house with the Colonial Revival. A distinctive profile is provided by the tall chimneys, the hip-on-gable ('jerkin') roofs, and the bellcast detailing of the porches. By 1935 the house had been acquired by the Butterworth family, who maintained stables on the property. Janet Gibson, daughter of the first owners, moved next door to 108 West Windsor Road at that time.





## 3.0 STATEMENT OF SIGNIFICANCE

### GREEN GABLES, 114 WEST WINDSOR ROAD, DISTRICT OF NORTH VANCOUVER, BC

#### Description of Historic Place

Green Gables is a grand, one and one-half storey plus basement, wood-frame house, located at 114 West Windsor Road in the Upper Lonsdale neighbourhood of the District of North Vancouver. It displays features of the Colonial Revival style, and is distinguished by its jerkin-headed roofline, porches with bellcast roofs and Ionic and Doric porch columns.

#### Heritage Value of Historic Place

Constructed in 1915, Green Gables is valued for its connection with the early twentieth-century growth and development of North Vancouver, and for its sophisticated architecture as designed by James Clark Mackenzie.

Green Gables represents the intense, speculative development that occurred across the Lower Mainland during the Edwardian-era boom period. After regular ferry service was established in 1903 and North Vancouver was incorporated in 1907, the area experienced a period of unprecedented growth and prosperity. This construction boom accelerated until a general financial depression in 1913 halted this ambitious suburban development. Green Gables was constructed at the twilight of the construction boom and was originally owned by Robert Gibson, a printer with the News-Advertiser. This grand house demonstrates the social, cultural, and aesthetic values of successful local businessmen and women of the early twentieth century, including the appreciation of architectural elegance, impressive interior spaces, leisure and recreation, and scenic views.

The ornate classical columns and detailing associate the house with the Colonial Revival style, reflecting the widespread acceptance of neoclassicism in the early twentieth century. A distinctive profile is provided by the tall chimneys, the jerkin-headed roofs, and the bellcast detailing of the porches. It

is a superior example of the work of local architect, James Clark Mackenzie, who lived in Upper Lonsdale, and designed many of the grand homes in the area. Green Gables is also unusual for its date of wartime construction, and was built at a time when domestic construction was generally curtailed.

#### Character-Defining Elements

The character-defining elements of Green Gables include its:

- location along West Windsor Road in the Upper Lonsdale neighbourhood of North Vancouver;
- continuous residential use since 1915;
- residential form, scale and massing as expressed by its one and one-half storey plus basement height; jerkin-headed cross-gabled roof structure with returned eaves; shed roof dormers; and swept porch roofs;
- wood frame and masonry construction, featuring original wood lapped siding and detailing, and granite foundation with soldier coursed brick facing along the foundation on the front façade;
- Colonial Revival style architecture, featuring: second-storey overhang of the west, side-gabled wing; wood moulding and dentil coursing across all elevations; wood window boxes on the front façade with solid scroll-cut brackets; fixed shutters on the front façade; square wood pilaster mullions dividing the tripartite window assembly on the west side of the front façade, with wooden keystone detail in the lintel; column-facing at each corner of the shed roof dormer of the front façade; projecting wood sills across all elevations; vented louvres; projecting front entryway, set close to grade, comprised of original ornate wood columns with Ionic capitals, detailed scroll-cut wood brackets, and tongue-and-groove wood soffit; and partially enclosed side porch on the east elevation, comprised of simple wood columns with Doric capitals, wood porch beams, and tongue-and-groove wood soffit and decking;



## STATEMENT OF SIGNIFICANCE

- variety of original wood window assemblies, including single, bipartite and tripartite 6-over-1 true-divided double-hung windows with wood horns; a tripartite 6-over-1 with 10-over-1 centre unit true-divided double-hung window with ornamented wood mullions with wood horns; fixed true-divided multi-lite windows; multi-partite true-divided multi-lite casement windows; and fixed leaded glass windows;
- original exterior wood doors, including front door with inset panels and mail slot; wide side entry door on the east elevation with inset panel and true-divided multi-lite window, flanked by twin true-divided multi-lite sidelites with wood bases and inset panels to match the door; and rear double-door assembly with large multi-lite fields of true-divided glass; and
- one external chimney, which intersects the roofline, and two internal brick chimneys of notable height; and
- overall layout of interior spaces, with an open, L-shaped central staircase with wood balustrade, curving banister, bullnosed starting step with spiraled banister around the starting newel post, and panelled window bench on landing; hardwood floors, woodwork, fireplaces and stained glass panels.



GREEN GABLES: 114 WEST WINDSOR ROAD, DISTRICT OF NORTH VANCOUVER, BC  
CONSERVATION PLAN | AUGUST 2016

## 4.0 CONSERVATION GUIDELINES

### 4.1 STANDARDS & GUIDELINES

Green Gables is a significant historical resource in the District of North Vancouver. The Parks Canada's *Standards & Guidelines for the Conservation of Historic Places in Canada* is the source used to assess the appropriate level of conservation and intervention. Under the *Standards & Guidelines*, the work proposed for Green Gables includes aspects of preservation, rehabilitation and restoration.

**Preservation:** *the action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of a historic place or of an individual component, while protecting its heritage value.*

**Restoration:** *the action or process of accurately revealing, recovering or representing the state of a historic place or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.*

**Rehabilitation:** *the action or process of making possible a continuing or compatible contemporary use of a historic place or an individual component, through repair, alterations, and/or additions, while protecting its heritage value.*

Interventions to Green Gables should be based upon the Standards outlined in the *Standards & Guidelines*, which are conservation principles of best practice. The following **General Standards** should be followed when carrying out any work to an historic property.

### STANDARDS

#### Standards relating to all Conservation Projects

1. Conserve the heritage value of a historic place. Do not remove, replace, or substantially alter its intact or repairable character-defining elements. Do not move a part of a historic place if its current location is a character-defining element.
2. Conserve changes to a historic place, which over time, have become character-defining elements in their own right.
3. Conserve heritage value by adopting an approach calling for minimal intervention.
4. Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties or by combining features of the same property that never coexisted.
5. Find a use for a historic place that requires minimal or no change to its character defining elements.
6. Protect and, if necessary, stabilize a historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbance of archaeological resources, take mitigation measures to limit damage and loss of information.
7. Evaluate the existing condition of character-defining element to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.
8. Maintain character-defining elements on an ongoing basis. Repair character-defining element by reinforcing the materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.

## CONSERVATION GUIDELINES

9. Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable upon close inspection. Document any intervention for future reference.

### **Additional Standards relating to Rehabilitation**

10. Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.
11. Conserve the heritage value and character-defining elements when creating any new additions to a historic place and any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
12. Create any new additions or related new construction so that the essential form and integrity of a historic place will not be impaired if the new work is removed in the future.

### **Additional Standards relating to Restoration**

13. Repair rather than replace character-defining elements from the restoration period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.
14. Replace missing features from the restoration period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.

## 4.2 CONSERVATION REFERENCES

The proposed work entails the preservation, restoration, and rehabilitation of the exterior of Green Gables. The following conservation resources should be referred to:

*Standards and Guidelines for the Conservation of Historic Places in Canada*, Parks Canada, 2010.  
<http://www.historicplaces.ca/en/pages/standards-normes/document.aspx>

### **National Park Service, Technical Preservation Services. Preservation Briefs:**

*Preservation Brief 4: Roofing for Historic Buildings.*  
<http://www.nps.gov/tps/how-to-preserve/briefs/4-roofing.htm>

*Preservation Brief 6: Dangers of Abrasive Cleaning to Historic Buildings.*  
<http://www.nps.gov/tps/how-to-preserve/briefs/6-dangers-abrasive-cleaning.htm>

*Preservation Brief 9: The Repair of Historic Wooden Windows.*  
<http://www.nps.gov/tps/how-to-preserve/briefs/9-wooden-windows.htm>

*Preservation Brief 10: Exterior Paint Problems on Historic Woodwork.*  
<http://www.nps.gov/tps/how-to-preserve/briefs/10-paint-problems.htm>

*Preservation Brief 14: New Exterior Additions to Historic Buildings: Preservation Concerns.*  
<http://www.nps.gov/tps/how-to-preserve/briefs/14-exterior-additions.htm>

*Preservation Brief 24: Heating, Ventilating, and Cooling Historic Buildings: Problems and Recommended Approaches.*  
<http://www.nps.gov/tps/how-to-preserve/briefs/24-heat-vent-cool.htm>



GREEN GABLES: 114 WEST WINDSOR ROAD, DISTRICT OF NORTH VANCOUVER, BC  
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*Preservation Brief 37: Appropriate Methods of Reducing Lead-Paint Hazards in Historic Housing.*  
<http://www.nps.gov/tps/how-to-preserve/briefs/37-lead-paint-hazards.htm>

*Preservation Brief 39: Holding the Line: Controlling Unwanted Moisture in Historic Buildings.*  
<http://www.nps.gov/tps/how-to-preserve/briefs/39-control-unwanted-moisture.htm>

*Preservation Brief 41: The Seismic Retrofit of Historic Buildings: Keeping Preservation in the Forefront*  
<http://www.nps.gov/tps/how-to-preserve/briefs/41-seismic-retrofit.htm>

*Preservation Brief 45: Preserving Historic Wooden Porches.*  
<http://www.nps.gov/tps/how-to-preserve/briefs/45-wooden-porches.htm>

*Preservation Brief 47: Maintaining the Exterior of Small and Medium Size Historic Buildings.*  
<http://www.nps.gov/tps/how-to-preserve/briefs/47-maintaining-exterior.htm>

#### 4.3 GENERAL CONSERVATION STRATEGY

The primary intent is to preserve the existing historic structure, while undertaking a rehabilitation that will upgrade its structure and services to increase its functionality for residential use. As part of the scope of work, character-defining elements should be preserved, while missing or deteriorated elements should be restored.

All new visible construction will be considered a modern addition to the historic structure. The *Standards & Guidelines* list recommendations for new additions to historic places. The proposed design scheme should follow these principles:

- Designing a new addition in a manner that draws a clear distinction between what is historic and what is new.
- Design for the new work may be contemporary or may reference design motifs from the historic place. In either case, it should be compatible in terms of mass, materials, relationship of solids to voids, and colour, yet be distinguishable from the historic place.
- The new additions should be physically and visually compatible with, subordinate to and distinguishable from the preserved historic façade.

An addition should be subordinate to the historic place. This is best understood to mean that the addition must not detract from the historic place or impair its heritage value. Subordination is not a question of size; a small, ill-conceived addition could adversely affect an historic place more than a large, well-designed addition.

Additions or new construction should be visually compatible with, yet distinguishable from, the historic place. To accomplish this, an appropriate balance must be struck between mere imitation of the existing form and pointed contrast, thus complementing the historic place in a manner that respects its heritage value.

## CONSERVATION GUIDELINES

### Relocation of Historic Building

The relocation of an historic building on an existing lot is the least intrusive relocation approach with regards to loss of historic context and invasive work to the structure. The following **Relocation Guidelines** should be implemented for the relocation of Green Gables:

- A relocation plan should be prepared prior to relocation that ensures that the least destructive method of relocation will be used.
- Alterations to the historic structure proposed to further the relocation process should be evaluated in accordance with the Conservation Plan and reviewed by the Heritage Consultant. This can involve removal of later additions that are not enhancing the heritage value and historic appearance of the heritage house.
- Only an experienced and qualified contractor shall undertake the physical relocation of the historic structure.
- Preserve historic fabric of the exterior elevations including the wood-frame structure with stucco siding, wood sash windows and jerkin-headed roof structure as much as possible. Preserve brick chimney and projecting vent in situ and relocate with the main structure if possible. Alternatively reconstruct chimney with salvaged bricks to match historic appearance, if unable to relocate with the historic building due to structural reasons.
- Appropriate foundation materials shall be used at the new site, which can include reinforced concrete foundations and floor slab. The final relative location to grade should match the original as closely as possible, taking into account applicable codes.
- Provide utility installations for electricity, communication and other service connections underground if possible. All installations located above ground should be incorporated harmoniously into the design concept for the relocated structure.

## 4.4 SUSTAINABILITY STRATEGY

Heritage conservation and sustainable development can go hand in hand with the mutual effort of all stakeholders. In a practical context, the conservation and re-use of historic and existing structures contributes to environmental sustainability by reducing solid waste disposal, saving embodied energy, and conserving historic materials that are often less consumptive of energy than many new replacement materials.

In 2016, the Federal Provincial Territorial Ministers of Culture & Heritage in Canada (FPTMCHC) published a document entitled, *Building Resilience: Practical Guidelines for the Retrofit and Rehabilitation of Buildings in Canada* that is “intended to establish a common pan-Canadian ‘how-to’ approach for practitioners, professionals, building owners, and operators alike.”

The following is an excerpt from the introduction of the document:

*[Building Resilience] is intended to serve as a “sustainable building toolkit” that will enhance understanding of the environmental benefits of heritage conservation and of the strong interrelationship between natural and built heritage conservation. Intended as a useful set of best practices, the guidelines in **Building Resilience** can be applied to existing and traditionally constructed buildings as well as formally recognized heritage places.*

*These guidelines are primarily aimed at assisting designers, owners, and builders in providing existing buildings with increased levels of sustainability while protecting character-defining elements and, thus, their heritage value. The guidelines are also intended for a broader audience of architects, building developers, owners,*



*custodians and managers, contractors, crafts and trades people, energy advisers and sustainability specialists, engineers, heritage professionals, and officials responsible for built heritage and the existing built environment at all jurisdictional levels.*

**Building Resilience** is not meant to provide case-specific advice. It is intended to provide guidance with some measure of flexibility, acknowledging the difficulty of evaluating the impact of every scenario and the realities of projects where buildings may contain inherently sustainable elements but limited or no heritage value. All interventions must be evaluated based on their unique context, on a case-by-case basis, by experts equipped with the necessary knowledge and experience to ensure a balanced consideration of heritage value and sustainable rehabilitation measures.

**Resilience** can be read as a stand-alone document, but it may also further illustrate and build on the sustainability considerations in the *Standards and Guidelines for the Conservation of Historic Places in Canada*.

#### 4.5 ALTERNATE COMPLIANCE

As a listed building on the Municipal Heritage Register, Green Gables may be eligible for heritage variances that will enable a higher degree of heritage conservation and retention of original material, including considerations available under the following municipal legislation:

##### 4.5.1 BRITISH COLUMBIA BUILDING CODE

Building Code upgrading ensures life safety and long-term protection for historic resources. It is important to consider heritage buildings on a case-by-case basis, as the blanket application of Code requirements do not recognize the individual requirements and inherent strengths of each building. Over the past few years, a number of equivalencies have been developed and adopted in the British Columbia Building Code that enable more sensitive and appropriate heritage building upgrades. For example, the use of sprinklers in a heritage structure helps to satisfy fire separation and exiting requirements. Table A-1.1.1.1., found in Appendix A of the Code, outlines the "Alternative Compliance Methods for Heritage Buildings."

Given that Code compliance is such a significant factor in the conservation of heritage buildings, the most important consideration is to provide viable economic methods of achieving building upgrades. In addition to the equivalencies offered under the current Code, the City can also accept the report of a Building Code Engineer as to acceptable levels of code performance.

##### 4.5.2 ENERGY EFFICIENCY ACT

The provincial Energy Efficiency Act (Energy Efficiency Standards Regulation) was amended in 2009 to exempt buildings protected through heritage designation or listed on a community heritage register from compliance with the regulations. Energy Efficiency standards therefore do not apply to windows, glazing products, door slabs or products



## CONSERVATION GUIDELINES

installed in heritage buildings. This means that exemptions can be allowed to energy upgrading measures that would destroy heritage character-defining elements such as original windows and doors.

These provisions do not preclude that heritage buildings must be made more energy efficient, but they do allow a more sensitive approach of alternate compliance to individual situations and a higher degree of retained integrity. Increased energy performance can be provided through non-intrusive methods of alternate compliance, such as improved insulation and mechanical systems. Please refer to the Standards & Guidelines for the Conservation of Historic Places in Canada for further detail about "Energy Efficiency Considerations."

### 4.5.3 HOMEOWNER PROTECTION ACT

The Homeowner Protection Act was implemented in 1998 as a means to strengthen consumer protection for the purchase of new homes. The act was passed following a commission of enquiry into the leaky condo crisis, and was intended on protecting homeowners by ensuring home warranty insurance was provided on new construction, covering two years on labour and materials, five years on the building envelope and 10 years on the structure of the home. As the Act was intended to regulate new construction, considerations were not taken of buildings that have remained in sound condition for a many number of years that already far exceeded what the HPA requires for a warranty on a new home. The act did not take into consideration the protection of heritage projects, and consequently resulted in the loss of significant heritage fabric through the requirement of new windows and rainscreen wall assemblies on residential heritage rehabilitation projects. An example being the requirement to remove original wooden siding

that has successfully protected the building for 100 years, and replace it with a rainscreen assembly that is only warrantied for five years. Not only was valuable heritage fabric lost, but new materials will likely not last nearly as long as the original.

Amendments to the Homeowner Protection Act Regulation made in 2010 allow for exemptions for heritage sites from the need to fully conform to the BC Building Code under certain conditions, thus removing some of the barriers to compliance that previously conflicted with heritage conservation standards and guidelines. The changes comprised:

1. an amendment to the Homeowner Protection Act Regulation, BC Reg. 29/99 that allows a warranty provider, in the case of a commercial to residential conversion, to exclude components of the building that have heritage value from the requirement for a warranty, and clarification of the definition of 'substantial reconstruction.' The latter clarification explains that 75% of a home must be reconstructed for it to be considered a 'new home' under the Homeowner Protection Act, thus enabling single-family dwelling to multi-family and strata conversions with a maximum of 75% reconstruction to be exempt from home warranty insurance. The definition of a heritage building is consistent with that under the Energy Efficiency Act.
- 2.

Green Gables falls into the second category, as the proposed project involves retaining a high degree of the original structure and less than 75% of the house will be reconstructed. Consequently, this project is not considered a substantial reconstruction as per the amended definition in the Homeowners Protection Act, and will be exempt from the requirement of a warranty. This amendment will enable a higher degree of retention and preservation of original fenestration, siding and woodwork.



#### 4.6 SITE PROTECTION & STABILIZATION

It is the responsibility of the owner to ensure the heritage resource is protected from damage at all times. At any time that the building is left vacant, it should be secured against unauthorized access or damage through the use of appropriate fencing and security measures. Additional measures to be taken include:

- Are smoke and fire detectors in working order?
- Are wall openings boarded up and exterior doors securely fastened once the building is vacant?
- Have the following been removed from the interior: trash, hazardous materials such as inflammable liquids, poisons, and paints and canned goods that could freeze and burst?

The façade should be protected from movement and other damage at all times during demolition, excavation and construction work. Install monitoring devices to document and assess cracks and possible settlement of the masonry façade.





## 5.0 CONSERVATION RECOMMENDATIONS

An initial condition review of Green Gables was carried out during a site visit in September 2015. The recommendations for the preservation and rehabilitation of the historic façades are based on the site review, material samples and archival documents that provide valuable information about the original appearance of the historic building.

The following chapter describes the materials, physical condition and recommended conservation strategy for Green Gables based on Parks Canada *Standards & Guidelines for the Conservation of Historic Places in Canada*.

### 5.1 SITE

Green Gables sits across two mid-block lots at 114 West Windsor Road in the District of North Vancouver. Several mature trees and plantings obscuring views of the house on all sides. All heritage resources within the site should be protected from damage or destruction at all times. Reference **Section 4.6: Site Protection** for further information.

#### **Conservation Strategy: Relocation**

- Relocate the heritage house to the south, within the property lines.
- Retain the main frontage on West Windsor Road.

### 5.2 FORM, SCALE & MASSING

The overall form, scale and massing of the two-storey house has not been significantly altered. At some point in time the northern portion of the porch on the east elevation was enclosed.

#### **Conservation Strategy: Preservation**

- Preserve the overall form, scale and massing of the building.

### 5.3 FOUNDATIONS

The existing foundation was not reviewed in detail, but it was noted that it consists of granite stone foundation, with red brick masonry units laid in soldier course directly above the stone foundation as it transitions to the exterior wood siding.

The existing foundation will be rehabilitated as part of the façade retention, including necessary seismic reinforcements. Careful attention should be executed to ensure the exterior walls above grade, particularly the front façade, are not damaged during rehabilitation work.

#### **Conservation Strategy: Reconstruction**

- New foundation is proposed after the relocation of the heritage house to the south, within property lines.
- Concrete is a suitable material for new construction.
- Foundations should be reviewed by a Structural Engineer. Once condition is assessed, conservation recommendations can be finalized.
- To ensure the prolonged preservation of the new foundations, all landscaping should be separated from the foundations at grade by a course of gravel or decorative stones, which help prevent splash back and assist drainage. New vegetation may assist in concealing the newly exposed foundations, if desired.



## CONSERVATION RECOMMENDATIONS



*Primary façade, Green Gables*



*Secondary basement entrance.*



*Southwest corner of Green Gables. Note brickwork below exterior wood siding along foundation wall.*



*Detail photo showing existing condition of foundation wall.*

## CONSERVATION RECOMMENDATIONS

### 5.4 EXTERIOR WOOD-FRAME WALLS

Green Gables is characterized by traditional wood-frame construction with dimensional lumber. Wood frame construction is one of the most affordable housing construction methods that utilized old growth lumber in the past. The framing type and condition could not be determined during the initial review. Further review is required to confirm that the existing conditions do not have structural implications.

Green Gables also features original wood lap siding. Overall, the wood lap siding is in good condition with minor evidence of deterioration in localized areas that may require minor repairs. The paint is peeling from the wood lap siding in multiple locations.

#### Conservation Strategy: Preservation

- Due to the integrity of wood frame structure, the exterior walls should be preserved through retention and in-situ repair work.
- Preserve the original wood-frame structure of the historic building.
- Preserve original siding on all elevations, if possible, and clean surface for repainting.
- Replace damaged siding to match existing in material, size, profile and thickness.
- Design structural or seismic upgrades so as to minimize the impact to the character-defining elements.
- Utilize Alternate Compliance Methods outlined in the VBBL for fire and spatial separations including installation of sprinklers where possible.



*Primary façade, Green Gables*



- Cleaning procedures should be undertaken with non-destructive methods. Areas with biological growth should be cleaned using a soft, natural bristle brush, without water, to remove dirt and other material. If a more intense cleaning is required, this can be accomplished with warm water, mild detergent (such as Simple Green®) and a soft bristle brush. High-pressure power washing, abrasive cleaning or sandblasting should not be allowed under any circumstances.

#### 5.4.1 OTHER WOOD ELEMENTS

The exterior walls of Green Gables feature a number of original wood elements that contribute to the historic character of the heritage property. This includes: wood moulding and dentil coursing across all elevations; wood window boxes on the front façade with solid scroll cut brackets; fixed shutters on the front façade; square wood pilaster mullions dividing the tripartite window assembly on the west side of the front façade, with wooden keystone detail in the lintel; column-facing at each corner of the shed roof dormer of the front façade; projecting wood sills across all elevations; and vented louvers.

Other than the window boxes, which are generally in poor condition, the original wood elements are in good condition, and should be preserved and repaired, as necessary.

#### Conservation Strategy: Restoration

- All exterior wood features should be assessed to determine their full condition.
- Preserve all original woodworking and detailing on the historic house.
- Replace in-kind missing or deteriorated parts of exterior woodwork where there are surviving original elements. New replica wooden elements should match in-kind the old in form and detailing.
- Paint exposed woodwork in historically appropriate colour.

### 5.5 FRONT PORTICO & PORCHES

#### 5.5.1 FRONT PORTICO

Green Gables features a hip-roof front portico that is characterized by original ornate wood columns with Romanesque Ionic capitals, detailed scroll cut wood brackets, and tongue-and-groove wood soffit.

The columns are generally in good condition, but are not attached to the brackets above. The scroll cut brackets were briefly reviewed visually and appear to be in good condition. The paint on the tongue-and-groove soffit is peeling, but the wood is in good condition.

#### Conservation Strategy: Preservation & Restoration

- Preserve the original hip-roof front portico in its existing configuration.
- Preserve the original wood detailing of the front portico, and repair as necessary.
- Replace in-kind missing or deteriorated parts to match existing condition. New replica should match in-kind the old in form and detailing, and should be constructed out of a visually and physically compatible material to the historic originals.
- Paint exposed woodwork in historically appropriate colour.





## CONSERVATION RECOMMENDATIONS



*Projecting front entryway*



*Existing condition of side porch*

### 5.5.2 SIDE PORCH

Green Gables features a partially-enclosed porch later addition on the east elevation. The side porch is characterized by: simple wood columns with Romanesque Doric capitals; wood porch beams; and tongue-and-groove wood soffit and decking.

At the time of the inspection, the porch columns have localized dry rot, particularly at the base. The northernmost column has been removed from its original location, but the item was found intact, with minor damages, and is stored on site.

The tongue-and-groove decking appears to be in poor condition, showing signs of deterioration in localized area. The soffit is slanting with the beams, but the material appears to be in good condition. The siding on the later enclosure of the north portion of the porch matches the dimensions of the original siding and has been meticulously aligned.

In general, the porch appears to be structurally unsound, and may need to be demolished and reconstructed to match original historic configuration. Further investigation is required to confirm that the existing conditions do not have structural implications.

#### **Conservation Strategy: Rehabilitation**

- Existing porch should be carefully documented prior to careful dismantling of the existing porch.
- Investigate condition of original wood elements. Salvage sound original wood elements that can be cleaned and reused for reconstruction of side porch as possible.
- Restore the side porch to match original detailing, using salvaged original wood elements, and repair as necessary.
- Replace in-kind missing or deteriorated parts to match existing condition. New replica wooden elements should match in-kind the old in form and detailing.
- Paint exposed woodwork in historically appropriate colour.



### 5.5.3 REAR PORCH

Green Gables features a porch at the rear elevation, and is characterized by: squared, tapered wood columns; wood beams; tongue-and-groove decking and soffit; and a low enclosed balustrade.

The columns appear to be in good condition, but the uneven settling of the porch caused the beams and balustrade to slant and detach from the exterior walls. The soffit also slants with the beams, but the material appears to be in good condition. The decking was covered at the time of the inspection and was not reviewed.

In general, the porch also appears to be structurally unsound, and further investigation is required to confirm that the existing conditions do not have structural implications. A new upper floor deck may be added at this location.

**Conservation Strategy: Demolition**



*Example of dry rot on side porch column base*



*Example of dry rot on side porch*



*Existing condition of rear porch*



## CONSERVATION RECOMMENDATIONS



Tripartite 6-over-1 with 10-over-1 centre unit true-divided double-hung window



6-over-1 true-divided double-hung windows

### 5.6 FENESTRATION

*Windows, doors and storefronts are among the most conspicuous feature of any building. In addition to their function — providing light, views, fresh air and access to the building — their arrangement and design is fundamental to the building's appearance and heritage value. Each element of fenestration is, in itself, a complex assembly whose function and operation must be considered as part of its conservation. — Standards & Guidelines for the Conservation of Historic Places in Canada.*

#### 5.6.1 WINDOWS

Green Gables features a variety of original wood windows with wood trim and sills, including single, paired and tripartite 6-over-1 true-divided double-hung windows with sash horns; a tripartite 6-over-1 with 10-over-1 centre unit true-divided double-hung window with ornamented wood mullions with sash horns; fixed true-divided multi-lite windows; multi-partite true-divided multi-lite casement windows; and fixed leaded glass windows. In general, the windows appear to be in good or reparable condition.

During the site review, it was noted that one of the windows had broken lights since the house was vacated. Green Gables is currently vacant and the structure should be temporarily closed up to protect it from the weather and to prohibit unauthorized access.

A comprehensive site protection plan should be developed in discussion between owner, contractor and/or architect. Plan may be reviewed by Heritage Consultant, if desired. Refer to **4.6 Site Protection & Stabilization** for further information.

#### Conservation Strategy: Rehabilitation

- Inspect for condition and complete inventory to determine extent of recommended repair or replacement.
- Retain existing window sashes; repair as required; install replacement matching sashes where missing or beyond repair.
- Preserve and repair as required, using in kind repair techniques where feasible.
- Overhaul, tighten/reinforce joints. Repair frame, trim and counterbalances.
- Each window should be made weather tight by re-puttying and weather-stripping as necessary.
- Retain historic glass, where possible. Where broken glass exists in historic wood-sash windows, the broken glass should be replaced.
- Window repairs should be undertaken by a contractor skilled in heritage restoration.
- Replacement glass to be single glazing, and visually and physically compatible with existing.
- The consultant can review window shop drawings and mock-ups for new windows.
- Prime and repaint as required in appropriate colour, based on colour schedule devised by Heritage Consultant.



*Fixed leaded glass windows*

#### 5.6.2 DOORS

Green Gables features original exterior wood doors, which include: front door with inset panels and mail slot; wide side entry door on the east elevation with inset panel and true-divided multi-light window, flanked by twin true-divided, multi-light sidelights with wood bases and inset panels to match the door; and rear double-door assembly with large, true-divided multi-lights. The original exterior wood doors are in good condition, and should be preserved and repaired as necessary.

#### Conservation Strategy: Preservation

- Retain the door openings in their original locations, and preserve and repair all original door.

#### 5.7 ROOF

Green Gables is characterized by a jerkinhead cross-gabled roof structure, with returned eaves, shed roof dormers, and swept porch roofs. In general, the roof structure appears to be in good condition, as reviewed from the ground. Further review is required to confirm that the existing conditions do not have structural implications.

The existing roof of Green Gables features replacement asphalt shingles, as well as later gutters and downspouts. In general, these elements are in poor condition, showing signs of visible deterioration, and should be replaced with appropriate materials that are sympathetic to the historic character of the heritage property.

#### Conservation Recommendation: Preservation and Rehabilitation

- Preserve the original roof structure of the historic house.
- If required, roofing membrane and cladding system may be rehabilitated. Cedar shingles are the preferred material, but Duroid shingles or Aged Cedar Enviroshingles™ are also acceptable.



## CONSERVATION RECOMMENDATIONS

- Retain the original wood elements. If required, repair or replace in-kind damaged or missing wood elements such as bargeboards, soffits, raftertails, and trim.
- Design and install adequate rainwater disposal system and ensure proper drainage from the site is maintained. Wood gutters with galvanized steel downspouts are recommended. Aluminum in appropriate colours is also acceptable. Paint or provide specification of drainage system elements according to colour schedule devised by Heritage Consultant.

### 5.7.1 BRICK CHIMNEY

Green Gables features three original brick chimneys with later concrete caps, and are rendered in later rough-cast stucco. Upon visual observation from the ground, it is noted that the stucco render is in poor condition, with notable signs of deterioration in the form of staining, biological growth, cracking, and peeling in localized areas, exposing some of the original red brick masonry units beneath. Further investigation of the brickwork underneath is required to determine if the existing conditions do not have structural implications.

#### Conservation Recommendation: Rehabilitation

- Preserve the chimney in its original configuration, if possible, and replace later concrete caps with historically appropriate chimney cap. Alternatively, reconstruct chimney with salvaged bricks to match historic appearance above the roofline, if unable to be retained in situ due to structural reasons.
- Existing chimney should be carefully documented prior to careful dismantling of the existing chimney.
- Remove unsympathetic stucco rendering.
- Investigate condition of brickwork. If required, brickwork may be repointed and cleaned using a natural bristle brush and mild rinse detergent.
- Cleaning, repair and repointing specifications to be reviewed by Heritage Consultant.



*Detail photos showing typical deteriorated condition of asphalt-shingled roof along gutter and eaves.*



*Typical existing condition of exterior brick chimney with later rough-cast stucco.*





## CONSERVATION RECOMMENDATIONS

### 5.8 EXTERIOR COLOUR SCHEDULE

Part of the restoration process is to finish the building in historically appropriate paint colours. The following preliminary colour scheme has been derived by the Heritage Consultant. The colours have been matched to Benjamin Moore's Historical True Colours Palette. Further on-site analysis is required for final colour confirmation once access is available.

Prior to final paint application, samples of these colours should be placed on the building to be viewed in natural light. Final colour selection can then be verified. Matching to any other paint company products should be verified by the Heritage Consultant.

#### **PRELIMINARY COLOUR TABLE: GREEN GABLES, 114 WEST WINDSOR ROAD, DISTRICT OF NORTH VANCOUVER, BC**

Element	Colour*	Code	Sample	Finish
Exterior walls & Trim, Soffits, Columns, & other wood elements	50% Oxford Ivory	VC-01		Semi-Gloss
Shutters & Window Sash	Vancouver Green	VC-20		Eggshell
Doors	Stained & Varnished Siko "Teak"	-		Semi-transparent
Decking	Edwardian Porch Grey	VC-26		Alkyd Enamel or Polyurethane
Chimney Bricks	Unpainted	-	-	-

\*Paint colours come from Benjamin Moore's *Historical Vancouver True Colours*

## 6.0 MAINTENANCE PLAN

A Maintenance Plan should be adopted by the property owner, who is responsible for the long-term protection of the heritage features of the Green Gables. The Maintenance Plan should include provisions for:

- Copies of the Maintenance Plan and this Conservation Report to be incorporated into the terms of reference for the management and maintenance contract for the building;
- Cyclical maintenance procedures to be adopted as outlined below;
- Record drawings and photos of the building to be kept by the management / maintenance contractor; and
- Records of all maintenance procedures to be kept by the owner.

A thorough maintenance plan will ensure the integrity of the Green Gables is preserved. If existing materials are regularly maintained and deterioration is significantly reduced or prevented, the integrity of materials and workmanship of the building will be protected. Proper maintenance is the most cost effective method of extending the life of a building, and preserving its character-defining elements. The survival of historic buildings in good condition is primarily due to regular upkeep and the preservation of historic materials.

### 6.1 MAINTENANCE GUIDELINES

A maintenance schedule should be formulated that adheres to the *Standards & Guidelines for the Conservation of Historic Places in Canada*. As defined by the *Standards & Guidelines*, maintenance is defined as:

*Routine, cyclical, non-destructive actions necessary to slow the deterioration of a historic place. It entails periodic inspection; routine, cyclical, non-destructive cleaning; minor repair and refinishing operations; replacement of damaged or deteriorated materials that are impractical to save.*

The assumption that newly renovated buildings become immune to deterioration and require less maintenance is a falsehood. Rather, newly renovated buildings require heightened vigilance to spot errors in construction where previous problems had not occurred, and where deterioration may gain a foothold.

Routine maintenance keeps water out of the building, which is the single most damaging element to a heritage building. Maintenance also prevents damage by sun, wind, snow, frost and all weather; prevents damage by insects and vermin; and aids in protecting all parts of the building against deterioration. The effort and expense expended on an aggressive maintenance will not only lead to a higher degree of preservation, but also over time potentially save large amount of money otherwise required for later repairs.

### 6.2 PERMITTING

Repair activities, such as simple in-kind repair of materials, or repainting in the same colour, should be exempt from requiring city permits. Other more intensive activities will require the issuance of a Heritage Alteration Permit.

### 6.3 ROUTINE, CYCLICAL AND NON-DESTRUCTIVE CLEANING

Following the *Standards & Guidelines for the Conservation of Historic Places in Canada*, be mindful of the principle that recommends "using the gentlest means possible". Any cleaning procedures should be undertaken on a routine basis and should be undertaken with non-destructive methods. Cleaning should be limited to the exterior material such as concrete and stucco wall surfaces and wood elements such as storefront frames. All of these elements are usually easily cleaned, simply with a soft, natural bristle brush, without water, to remove dirt and other material. If a more intensive



cleaning is required, this can be accomplished with warm water, mild detergent and a soft bristle brush. High-pressure washing, sandblasting or other abrasive cleaning should not be undertaken under any circumstances.

#### 6.4 REPAIRS AND REPLACEMENT OF DETERIORATED MATERIALS

Interventions such as repairs and replacements must conform to the *Standards & Guidelines for the Conservation of Historic Places in Canada*. The building's character-defining elements – characteristics of the building that contribute to its heritage value (and identified in the Statement of Significance) such as materials, form, configuration, etc. – must be conserved, referencing the following principles to guide interventions:

- An approach of minimal intervention must be adopted – where intervention is carried out it will be by the least intrusive and most gentle means possible.
- Repair rather than replace character-defining elements.
- Repair character-defining elements using recognized conservation methods.
- Replace 'in kind' extensively deteriorated or missing parts of character-defining elements.
- Make interventions physically and visually compatible with the historic place.

#### 6.5 INSPECTIONS

Inspections are a key element in the maintenance plan, and should be carried out by a qualified person or firm, preferably with experience in the assessment of heritage buildings. These inspections should be conducted on a regular and timely schedule. The inspection should address all aspects of the building including exterior, interior and site conditions. It makes good sense to inspect a building in wet weather, as well as in dry, in order to see how water runs off – or through – a building.

From this inspection, an inspection report should be compiled that will include notes, sketches and observations. It is helpful for the inspector to have copies of the building's elevation drawings on which to mark areas of concern such as cracks, staining and rot. These observations can then be included in the report. The report need not be overly complicated or formal, but must be thorough, clear and concise. Issues of concern, taken from the report should then be entered in a log book so that corrective action can be documented and tracked. Major issues of concern should be extracted from the report by the property manager.

An appropriate schedule for regular, periodic inspections would be twice a year, preferably during spring and fall. The spring inspection should be more rigorous since in spring moisture-related deterioration is most visible, and because needed work, such as painting, can be completed during the good weather in summer. The fall inspection should focus on seasonal issues such as weather-sealants, mechanical (heating) systems and drainage issues. Comprehensive inspections should occur at five-year periods, comparing records from previous inspections and the original work, particularly in monitoring structural movement and durability of utilities. Inspections should also occur after major storms.

#### 6.6 INFORMATION FILE

The building should have its own information file where an inspection report can be filed. This file should also contain the log book that itemizes problems and corrective action. Additionally, this file should contain building plans, building permits, heritage reports, photographs and other relevant documentation so that a complete understanding of the building and its evolution is readily available, which will aid in determining appropriate interventions when needed.



## MAINTENANCE PLAN

The file should also contain a list outlining the finishes and materials used, and information detailing where they are available (store, supplier). The building owner should keep on hand a stock of spare materials for minor repairs.

### 6.6.1 LOG BOOK

The maintenance log book is an important maintenance tool that should be kept to record all maintenance activities, recurring problems and building observations and will assist in the overall maintenance planning of the building. Routine maintenance work should be noted in the maintenance log to keep track of past and plan future activities. All items noted on the maintenance log should indicate the date, problem, type of repair, location and all other observations and information pertaining to each specific maintenance activity.

Each log should include the full list of recommended maintenance and inspection areas noted in this Maintenance Plan, to ensure a record of all activities is maintained. A full record of these activities will help in planning future repairs and provide valuable building information for all parties involved in the overall maintenance and operation of the building, and will provide essential information for long term programming and determining of future budgets. It will also serve as a reminder to amend the maintenance and inspection activities should new issues be discovered or previous recommendations prove inaccurate.

The log book will also indicate unexpectedly repeated repairs, which may help in solving more serious problems that may arise in the historic building. The log book is a living document that will require constant adding to, and should be kept in the information file along with other documentation noted in section **6.6 Information File**.

## 6.7 EXTERIOR MAINTENANCE

Water, in all its forms and sources (rain, snow, frost, rising ground water, leaking pipes, back-splash, etc.) is the single most damaging element to historic buildings.

The most common place for water to enter a building is through the roof. Keeping roofs repaired or renewed is the most cost-effective maintenance option. Evidence of a small interior leak should be viewed as a warning for a much larger and worrisome water damage problem elsewhere and should be fixed immediately.

### 6.7.1 INSPECTION CHECKLIST

The following checklist considers a wide range of potential problems specific to the Green Gables, such as water/moisture penetration, material deterioration and structural deterioration. This does not include interior inspections.

#### EXTERIOR INSPECTION

##### Site Inspection:

- ☐ Is the lot well drained? Is there pooling of water?
- ☐ Does water drain away from foundation?

##### Foundation

- ☐ Does pointing need repair?
- ☐ Is bedding mortar sound?
- ☐ Moisture: Is rising damp present?
- ☐ Is there back splashing from ground to structure?
- ☐ Is any moisture problem general or local?
- ☐ Is damp proof course present?
- ☐ Are there shrinkage cracks in the foundation?
- ☐ Are there movement cracks in the foundation?
- ☐ Is crack monitoring required?
- ☐ Is uneven foundation settlement evident?



- ☐ Are foundation crawl space vents clear and working?
- ☐ Do foundation openings (doors and windows) show: rust; rot; insect attack; paint failure; soil build-up;
- ☐ Deflection of lintels?

#### Wood Elements

- ☐ Are there moisture problems present? (Rising damp, rain penetration, condensation moisture from plants, water run-off from roof, sills, or ledges?)
- ☐ Is wood in direct contact with the ground?
- ☐ Is there insect attack present? Where and probable source?
- ☐ Is there fungal attack present? Where and probable source?
- ☐ Are there any other forms of biological attack? (Moss, birds, etc.) Where and probable source?
- ☐ Is any wood surface damaged from UV radiation? (bleached surface, loose surface fibres)
- ☐ Is any wood warped, cupped or twisted?
- ☐ Is any wood split? Are there loose knots?
- ☐ Are nails pulling loose or rusted?
- ☐ Is there any staining of wood elements? Source?

#### Condition of Exterior Painted Materials

- ☐ Paint shows: blistering, sagging or wrinkling, alligatoring, peeling. Cause?
- ☐ Paint has the following stains: rust, bleeding knots, mildew, etc. Cause?
- ☐ Paint cleanliness, especially at air vents?

#### Front Portico & Porches:

- ☐ Are steps safe? Handrails secure?
- ☐ Do any support columns show rot at their bases?
- ☐ Attachment – are porches, steps, etc. securely connected to the building?

#### Windows

- ☐ Is there glass cracked or missing?
- ☐ Are the seals of double glazed units effective?
- ☐ If the glazing is puttied has it gone brittle and cracked? Fallen out? Painted to shed water?
- ☐ If the glass is secured by beading, are the beads in good condition?
- ☐ Is there condensation or water damage to the paint?
- ☐ Are the sashes easy to operate? If hinged, do they swing freely?
- ☐ Is the frame free from distortion?
- ☐ Do sills show weathering or deterioration?
- ☐ Are drip mouldings/flushing above the windows properly shedding water?
- ☐ Is the caulking between the frame and the cladding in good condition?

#### Doors

- ☐ Do the doors create a good seal when closed?
- ☐ Do metal doors show signs of corrosion?
- ☐ Is metal door sprung from excessive heat?
- ☐ Are the hinges sprung? In need of lubrication?
- ☐ Do locks and latches work freely?
- ☐ If glazed, is the glass in good condition? Does the putty need repair?
- ☐ Are door frames wicking up water? Where? Why?
- ☐ Are door frames caulked at the cladding? Is the caulking in good condition?
- ☐ What is the condition of the sill?

#### Gutters and Downspouts

- ☐ Are downspouts leaking? Clogged? Are there holes or corrosion? (Water against structure)
- ☐ Are downspouts complete without any missing sections? Are they properly connected?
- ☐ Is the water being effectively carried away from the downspout by a drainage system?
- ☐ Do downspouts drain completely away?





## MAINTENANCE PLAN

### Roof

- ☐ Are there water blockage points?
- ☐ Is the leading edge of the roof wet?
- ☐ Is there evidence of biological attack? (Fungus, moss, birds, insects)
- ☐ Are wood shingles wind damaged or severely weathered? Are they cupped or split or lifting?
- ☐ Are the nails sound? Are there loose or missing shingles?
- ☐ Are flashings well seated?
- ☐ Are metal joints and seams sound?
- ☐ If there is a lightening protection system are the cables properly connected and grounded?
- ☐ Does the soffit show any signs of water damage? Insect or bird infestation?
- ☐ Is there rubbish buildup on the roof?
- ☐ Are there blisters or slits in the membrane?
- ☐ Are the drain pipes plugged or standing proud?
- ☐ Are flashings well positioned and sealed?
- ☐ Is water ponding present?

### INTERIOR INSPECTION

#### Basement

- ☐ Are there signs of moisture damage to the walls? Is masonry cracked, discoloured, spalling?
- ☐ Is wood cracked, peeling rotting? Does it appear wet when surroundings are dry?
- ☐ Are there signs of past flooding, or leaks from the floor above? Is the floor damp?
- ☐ Are walls even or buckling or cracked? Is the floor cracked or heaved?
- ☐ Are there signs of insect or rodent infestation?

### 6.7.2 MAINTENANCE PROGRAMME

#### INSPECTION CYCLE:

##### Daily

- Observations noted during cleaning (cracks; damp, dripping pipes; malfunctioning hardware; etc.) to be noted in log book or building file.

##### Semi-annually

- Semi-annual inspection and report with special focus on seasonal issues.
- Thorough cleaning of drainage system to cope with winter rains and summer storms
- Check condition of weather sealants (Fall).
- Clean the exterior using a soft bristle broom/brush.

##### Annually (Spring)

- Inspect concrete for cracks, deterioration.
- Inspect metal elements, especially in areas that may trap water.
- Inspect windows for paint and glazing compound failure, corrosion and wood decay and proper operation.
- Complete annual inspection and report.
- Clean out of all perimeter drains and rainwater systems.
- Touch up worn paint on the building's exterior.
- Check for plant, insect or animal infestation.
- Routine cleaning, as required.

##### Five-Year Cycle

- A full inspection report should be undertaken every five years comparing records from previous inspections and the original work, particularly monitoring structural movement and durability of utilities.
- Repaint windows every five to fifteen years.

##### Ten-Year Cycle

- Check condition of roof every ten years after last replacement.

##### Twenty-Year Cycle

- Confirm condition of roof and estimate effective lifespan. Replace when required.

##### Major Maintenance Work (as required)

- Thorough repainting, downspout and drain replacement; replacement of deteriorated building materials; etc.



## APPENDIX A: RESEARCH SUMMARY

**HISTORIC NAME:** Green Gables  
**CURRENT ADDRESS:** 114 West Windsor Road  
**ORIGINAL RESIDENTS:** Robert Gibson  
**ARCHITECT:** James C. Mackenzie  
**CONSTRUCTION DATE:** 1915

- Commonwealth Historic Resource Management Limited. *District of North Vancouver Heritage Inventory*. Rep. District of North Vancouver: Corporation of the District of North Vancouver, 1993. Print.
- Foundation Group Designs. *Heritage Inventory, the Corporation of the District of North Vancouver*. Rep. District of North Vancouver: Corporation of the District of North Vancouver, 1988. Print.





**Schedule “B”**  
**Draft Subdivision Plan**

**PROPOSED SUBDIVISION PLAN OF  
LOT A PLAN 5811 AND LOT G PLAN 2954  
BOTH OF THE NORTH 1/2 OF LOT F  
BLOCKS 4 TO 13  
DISTRICT LOT 2026  
GROUP 1 NEW WESTMINSTER DISTRICT**

PLAN EPP\_ \_ \_

BCGS 92G.035



ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF

THE INTENDED PLOT SIZE OF THIS PLAN IS 279mm IN WIDTH  
BY 432mm IN HEIGHT (B SIZE) WHEN PLOTTED AT A SCALE OF 1:500

INTEGRATED SURVEY AREA No. 16

(DISTRICT OF NORTH VANCOUVER)

NAD83 (CSRS) 4.0.0.BC.1.GVRD

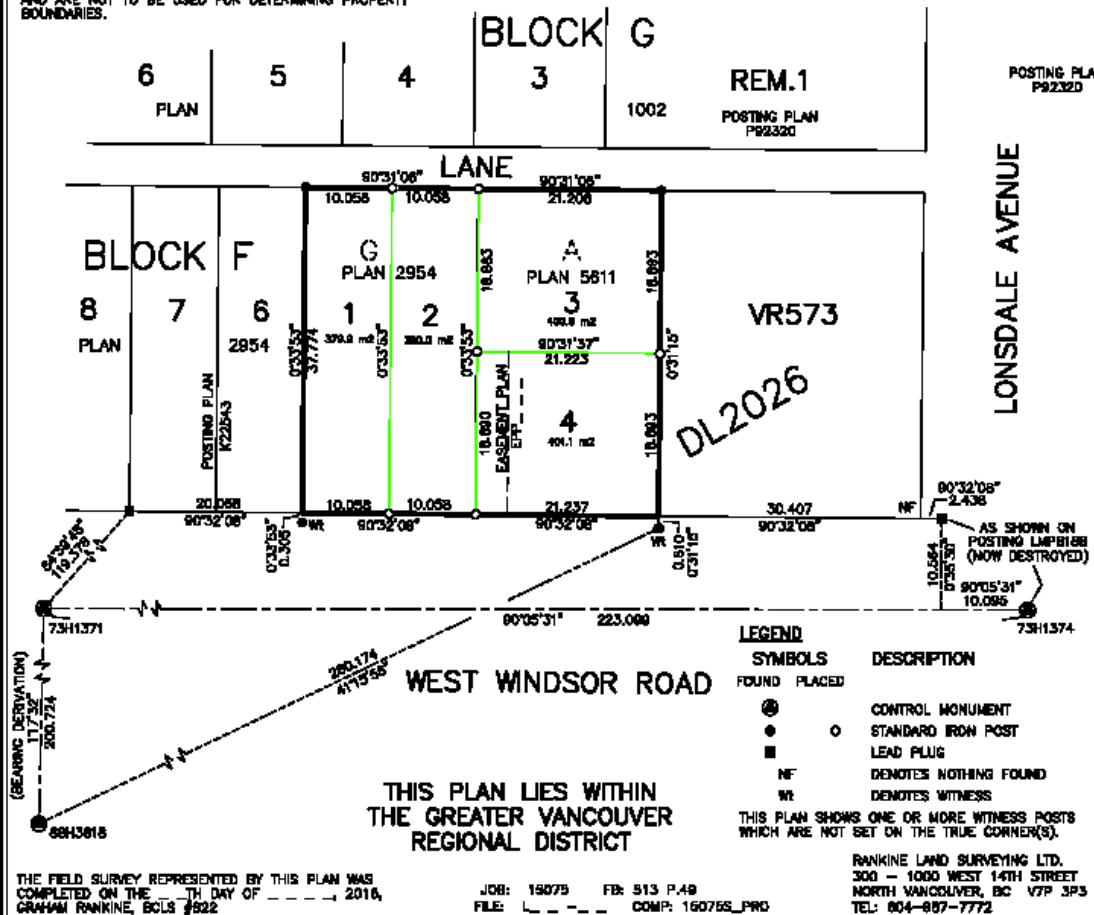
GRID BEARINGS ARE DERIVED FROM OBSERVATIONS  
BETWEEN GEODETIC CONTROL MONUMENTS 88H3818  
AND 73H1371

THE UTM COORDINATES AND ESTIMATED HORIZONTAL  
POSITIONAL ACCURACY ARE DERIVED FROM THE MASCOT  
PUBLISHED COORDINATES AND STANDARD DEVIATIONS FOR  
GEODETIC CONTROL MONUMENTS 88H3818 AND 73H1371

THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL DISTANCES UNLESS  
OTHERWISE SPECIFIED. TO COMPUTE GRID DISTANCES, MULTIPLY  
GROUND-LEVEL DISTANCES BY THE AVERAGE COMBINED FACTOR OF  
0.9985766 WHICH HAS BEEN DERIVED FROM GEODETIC CONTROL  
MONUMENTS 88H3818 AND 73H1371.

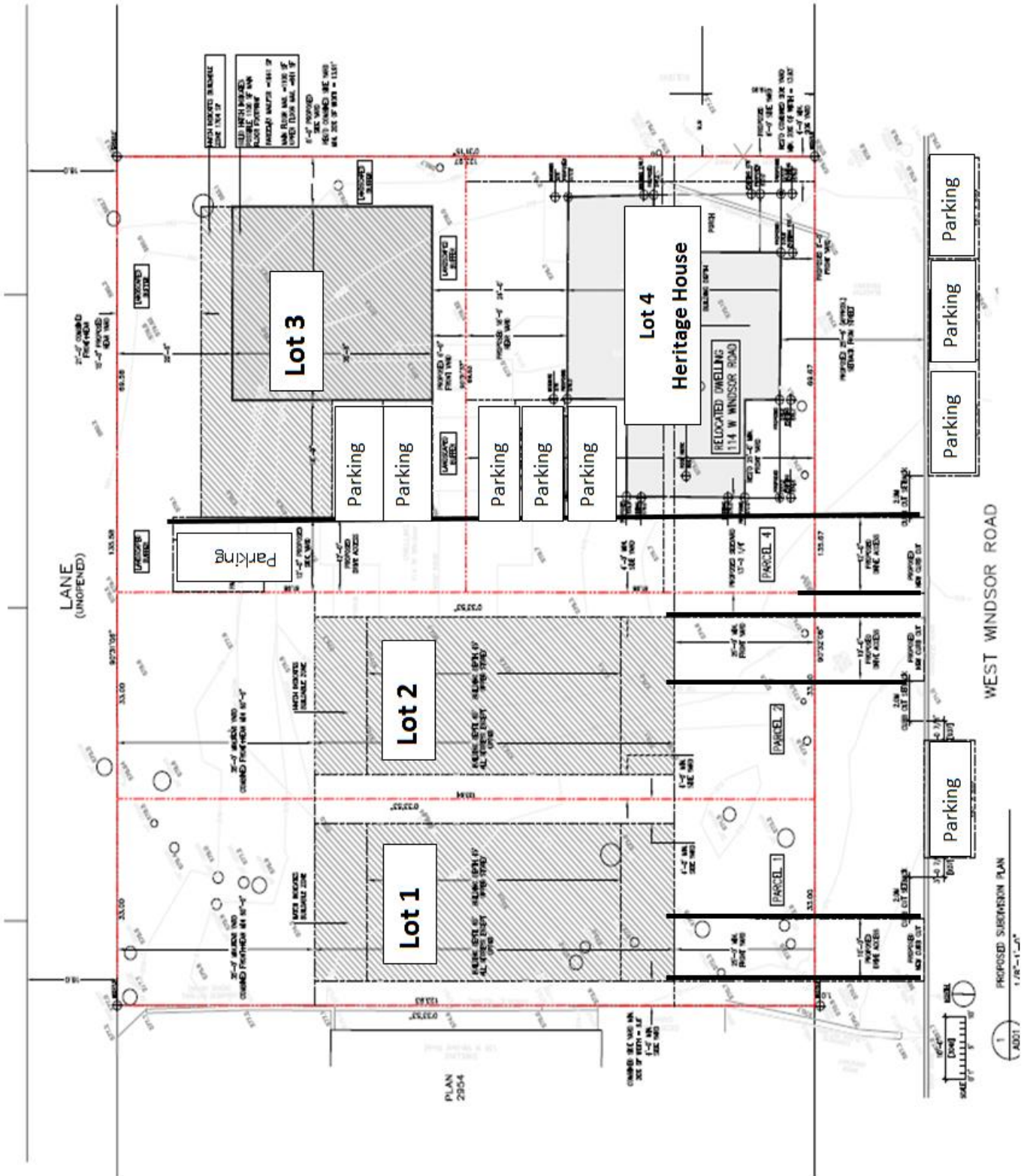
DATUM: NAD83(CSRS) 4.0.0.BC.1.GVRD, UTM ZONE 10 ESTIMATED HORIZONTAL POSITIONAL ACCURACY 0.014 METRES			
POINT	UTM N	UTM E	COMBINED FACTOR
73H1371	5485070.975	494550.488	0.9985774
88H3818	5484870.387	494485.941	0.9985787

NOTE: COORDINATES ARE FOR MAPPING PURPOSES ONLY  
AND ARE NOT TO BE USED FOR DETERMINING PROPERTY  
BOUNDARIES.

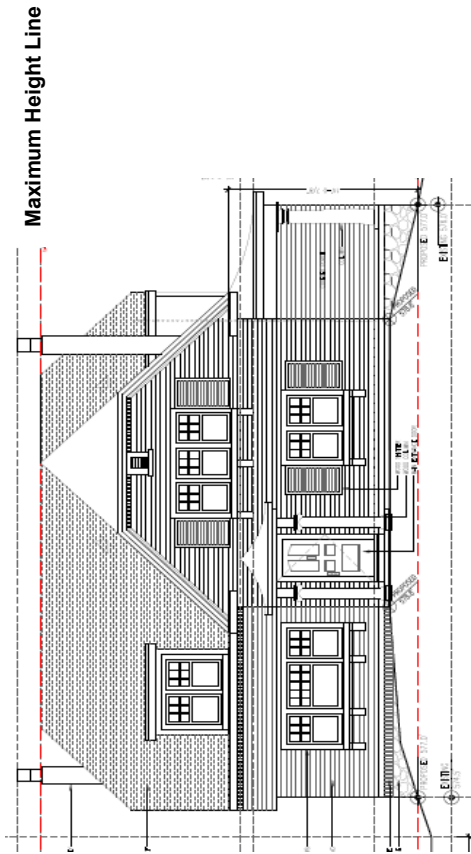


**Schedule “C”  
Site Plan**

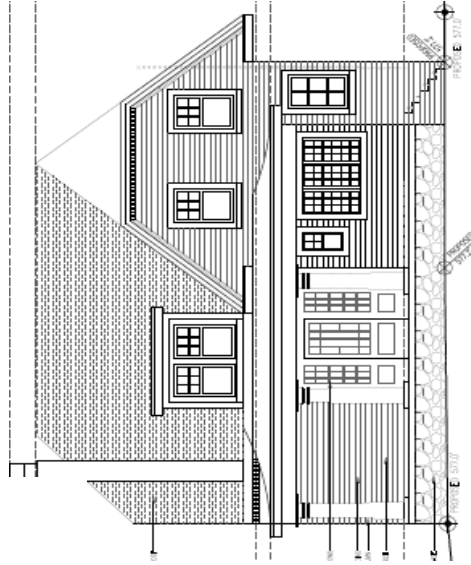
# Site Plan



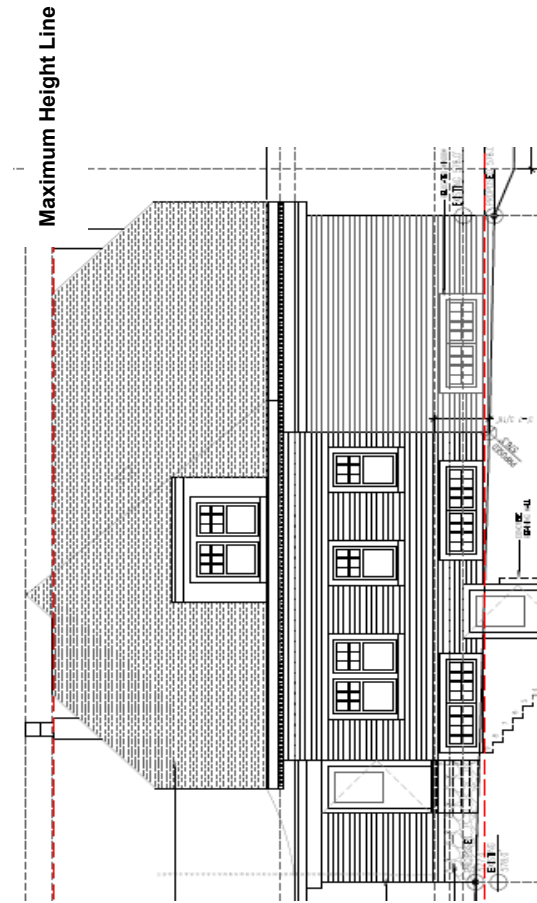
**Schedule “D”  
Heritage House Plans**



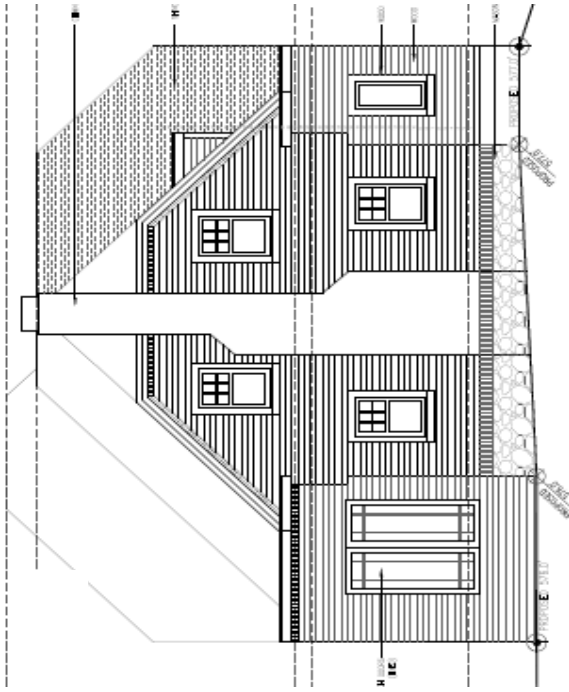
South Elevation



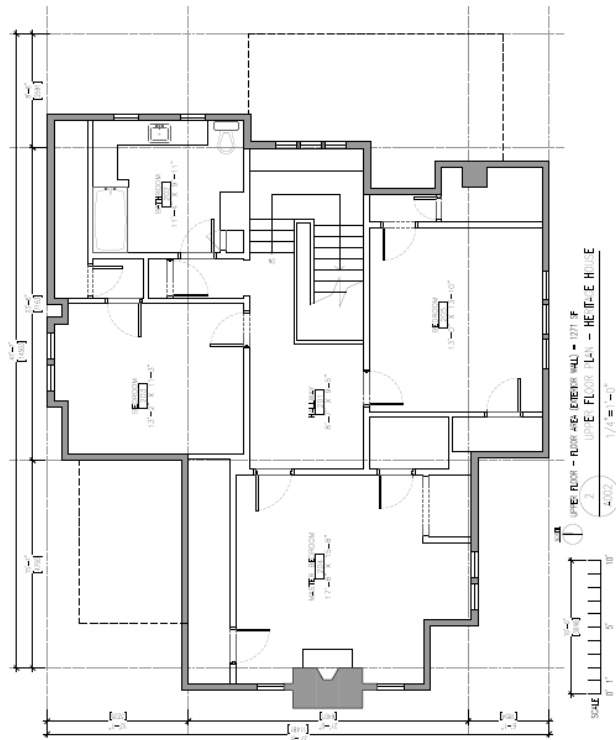
East Elevation



North Elevation



West Elevation



SUMMARY

1st FLOOR - RUMPAGE ELEVATION WALL - 1271 SF

2nd FLOOR - RUMPAGE ELEVATION WALL - 1271 SF

TOTAL FLOOR - RUMPAGE ELEVATION WALL - 2542 SF

SUBJECT FLOOR - RUMPAGE ELEVATION WALL - 1271 SF

TOTAL GROUND FLOOR - RUMPAGE ELEVATION WALL - 1271 SF

**co.lab**  
CONSTRUCTURE INC.

114 WEST WINDSOR ROAD  
NORTH VANCOUVER, BC

SUBMISSION  
HERITAGE HOUSE - FLOOR PLANS

1st FLOOR  
1st FLOOR  
1st FLOOR

A002

1st FLOOR

1st FLOOR

1st FLOOR

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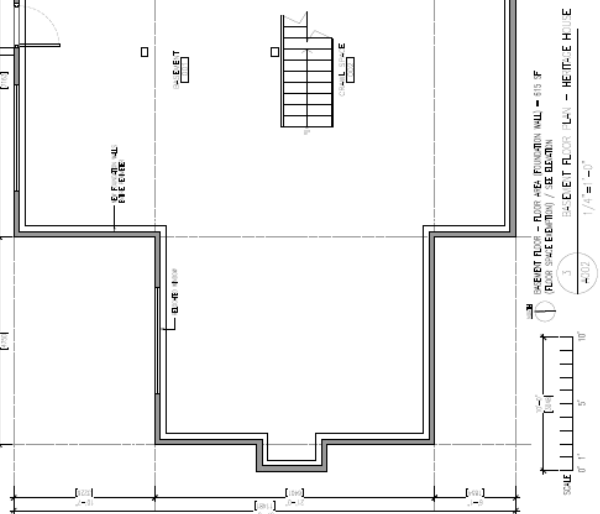
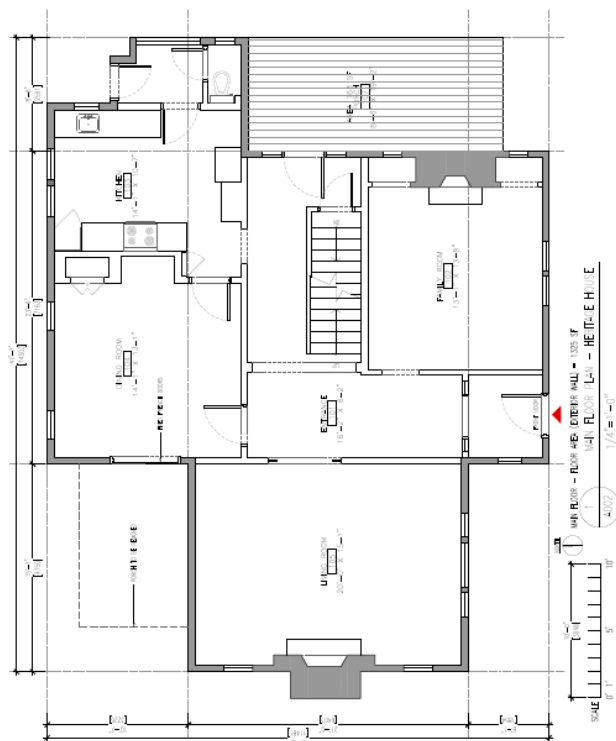
1st FLOOR

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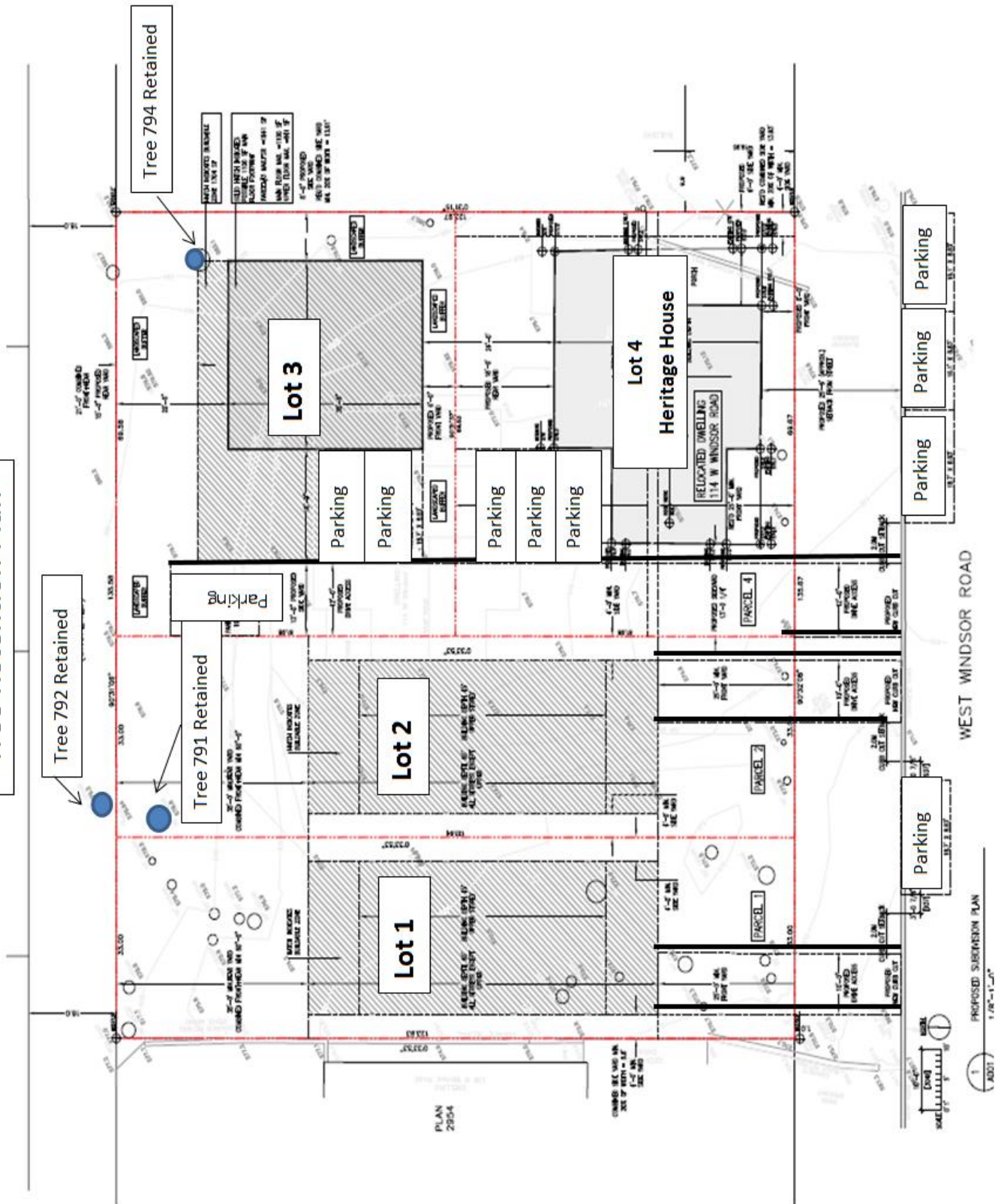
1st FLOOR



**Schedule "E"**  
**Trees to be Protected and Preserved**



# Tree Retention Plan



# **The Corporation of the District of North Vancouver**

## **Bylaw 8188**

A bylaw to designate property as heritage property

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The Council for The Corporation of the District of North Vancouver enacts as follows:

### **1. Citation**

This bylaw may be cited as "Heritage Designation Bylaw 8188, 2016 (114 West Windsor Road – Green Gables)".

### **2. Heritage Designation Protection**

2.1 The Council designates the following as protected heritage property pursuant to Section 611 of the *Local Government Act*:

- (a) the lands in the District of North Vancouver and legally described as: No PID, Lot 4, Blocks 4 to 13, District Lot 2026, Group 1 NWD, Plan EPP \_\_\_\_\_; and,
- (b) the exterior portion of the building on the Lands on the plans attached to this bylaw as Schedule A (the "Retained Structure").

### **3. Authority to Issue Heritage Alteration Permit**

3.1 Pursuant to Section 617 of the *Local Government Act*, the Council delegates to the General Manager - Planning, Properties & Permits the authority to issue heritage alteration permits to authorize interior and exterior alterations of the Retained Structure not otherwise permitted by this bylaw, provided that the alterations, including the materials used and the design, colour and texture are in the opinion of the General Manager – Planning, Properties & Permits appropriate to the general period and style for the building.

**READ** a first time the 26<sup>th</sup> day of July, 2016.

**PUBLIC HEARING** held on the 13<sup>th</sup> day of September, 2016.

**READ** a second time as amended

**READ** a third time

**ADOPTED**

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Mayor

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Municipal Clerk

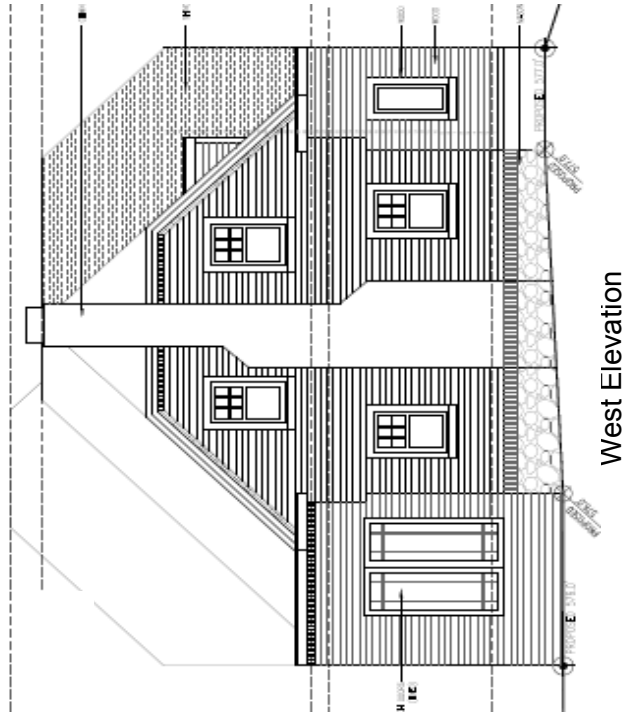
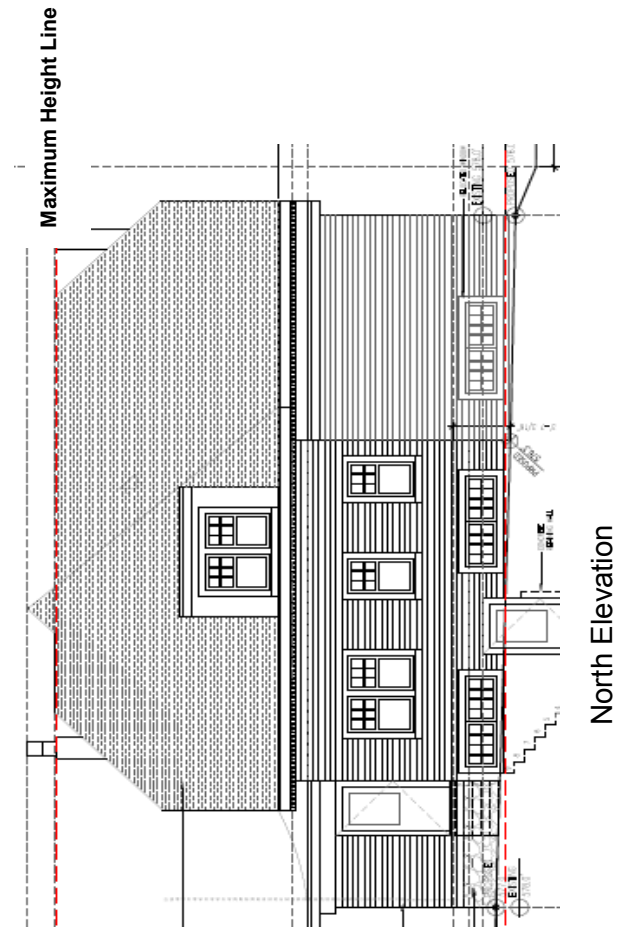
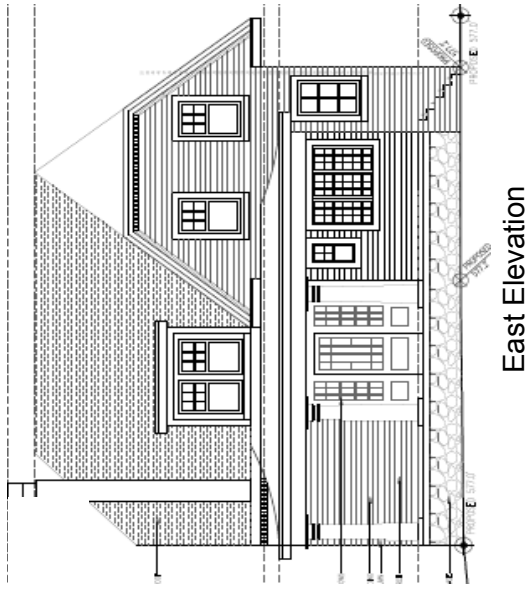
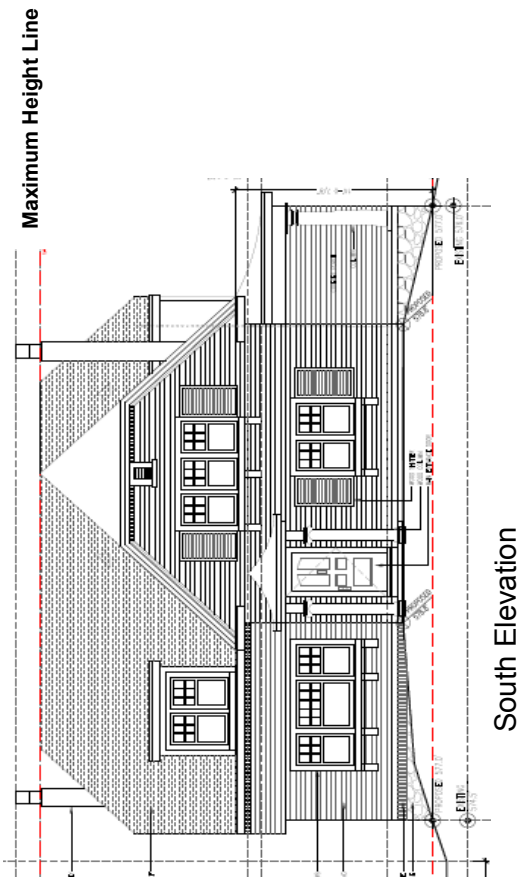
Certified a true copy

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Municipal Clerk

## RETAINED STRUCTURE





**DISTRICT OF NORTH VANCOUVER  
PUBLIC HEARING**

REPORT of the Public Hearing held in the Council Chambers of the Municipal Hall, 355 West Queens Road, North Vancouver, B.C. on Tuesday, September 13, 2016 commencing at 7:00 p.m.

**Present:** Mayor R. Walton  
Councillor R. Bassam  
Councillor J. Hanson  
Councillor R. Hicks  
Councillor D. MacKay-Dunn  
Councillor L. Muri (7:02 pm)

**Absent:** Councillor M. Bond

**Staff:** Ms. J. Paton, Manager – Development Planning  
Ms. L. Brick, Deputy Municipal Clerk  
Ms. K. Larsen, Planner  
Ms. S. Vukelic, Confidential Council Clerk

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**Heritage Revitalization Authorization Agreement Bylaw 8187 – Green Gables**

*Purpose of Bylaw:*

Bylaw 8187 authorizes entry into a Heritage Revitalization Agreement which will secure the permanent protection of Green Gables and permit subdivision into four lots.

**Heritage Designation Bylaw 8188, 2016 (114 West Windsor Road – Green Gables)**

*Purpose of Bylaw:*

Bylaw 8188 proposes to designate Green Gables as a protected heritage property.

**1. OPENING BY THE MAYOR**

Mayor Walton welcomed everyone and advised that the purpose of the Public Hearing was to receive input from the community and staff on the proposed bylaws as outlined in the Notice of Public Hearing.

In Mayor Walton's preamble he addressed the following:

- All persons who believe that their interest in property is affected by the proposed bylaws will be afforded a reasonable opportunity to be heard and to present written submissions;
- Use of the established speakers list. At the end of the speakers list, the Chair may call on speakers from the audience;
- Speakers will have five minutes to address Council for a first time. Begin your remarks to Council by stating your name and address;
- After everyone who wishes to speak has spoken once, speakers will then be allowed one additional five minute presentation;



- Any additional presentations will only be allowed at the discretion of the Chair;
- All members of the audience are asked to refrain from applause or other expressions of emotion. Council wishes to hear everyone's views in an open and impartial forum;
- Council is here to listen to the public, not to debate the merits of the bylaw;
- At the conclusion of the public input Council may request further information from staff which may or may not require an extension of the hearing, or Council may close the hearing after which Council should not receive further new information from the public; and,
- Everyone at the Hearing will be provided an opportunity to speak. If necessary, the Hearing will continue on a second night.

Councillor MURI arrived at this point in the proceedings.

Ms. Linda Brick, Deputy Municipal Clerk stated that:

- The binder containing documents and submissions related to this bylaw is available on the side table to be viewed; and,
- The Public Hearing is being streamed live over the internet and recorded in accordance with the *Freedom of Information and Protection of Privacy Act*.

## **2. INTRODUCTION OF BYLAW BY CLERK**

Ms. Linda Brick, Deputy Municipal Clerk, introduced the proposed bylaws stating that Bylaw 8187 authorizes entry into a Heritage Revitalization Agreement which will secure the permanent protection of Green Gables and permit subdivision into four lots. She further advised that Bylaw 8188 proposes to designate Green Gables as a protected heritage property.

## **3. PRESENTATION BY STAFF**

Ms. Kathleen Larsen, Planner, provided an overview of the proposal elaborating on the Clerk's introduction:

- The Green Gables House is a Colonial Revival style house constructed in 1915 and is on the District's Heritage Register;
- The distinctive profile of the house includes tall chimneys, jerkin-headed roofs, bell cast detailing of the porches and iconic columns marking the front entry;
- The original owner was a Scottish-born printer named Robert Gibson;
- A Heritage Revitalization Agreement (HRA) is a formal voluntary agreement negotiated between the municipality and the owners of a heritage property requiring approval from Council. Through this type of an agreement, Part 15 – Heritage Conservation of the *Local Government Act* establishes a number of ways a municipality can protect its heritage resources using a variety of temporary and permanent protection measures including the Heritage Revitalization Agreements such as proposed for Green Gables;
- The primary objective of an HRA and an accompanying Designation Bylaw is to legally protect a heritage building;
- The current application includes two existing lots that are located in the Upper Lonsdale area and are designated as Detached Residential in the Official

- Community Plan and are zoned Residential Single-Family Norwood Queens (RSNQ);
- Green Gables, the heritage house to be protected under the proposed bylaws, straddles the centre lot line of the two properties;
  - The west lot is 66 ft. in width and 8,179 sq. ft. in area while the east lot is slightly larger at 69.7 ft. in width and 8631 sq. ft. in area;
  - Under the RSNQ zoning, each lot would allow for the construction of two new single-family houses ranging from 3,200 sq. ft. to 3300 sq. ft. plus a basement area;
  - The subject site is located in Small Lot Infill Area 10, which could allow for the subdivision of the property into four 10 m. wide lots similar to other properties to the west along the 100 Block of West Windsor Road;
  - As an alternative to the subdivision of the property into four 10 m. lots and demolition of the heritage house, the HRA proposes a four lot subdivision that would retain the heritage house and move it to Lot 4 where it would receive maximum exposure;
  - Access to Lots 1 and 2 would be from two separate driveways on West Windsor Road;
  - Access to Lots 3 and 4 would have a shared driveway from West Windsor Road;
  - The proposed subdivision will not include:
    - Access to the rear laneway to the north of the property;
    - Any removal or disruption of trees in the laneway; nor,
    - Allowance of secondary suites in any of the dwellings on the properties.
  - Houses on Lots 1 and 2 will continue with the small lot pattern to the west along West Windsor Road and be subject to a covenant for a unique house design and house three will have reduced front and rear setbacks with the landscape buffer to provide separation and privacy from Lot 4;
  - The design of the Lot 3 house will be reviewed by the General Manager of Planning to ensure compatibility with the heritage house prior to subdivision;
  - Green Gables will be moved to the proposed Lot 4 and will require reduced front and rear setbacks as well as exceeding the permitted floorspace permitted on the lot by 653 sq. ft. and the permitted house height by 2.2 ft.;
  - Lots 1, 2 and 3 will comply with the house sizes permitted under the RSNQ zoning requirements;
  - The revised site plan proposes three driveways placed to allow more on-street parking;
  - The on-street parking will be allowed for anyone parking in the neighbourhood, in addition the applicant has also amended the site plan to allow for three parking stalls on Lots 3 and 4 although no secondary suites are proposed nor permitted;
  - A neighbourhood meeting was held on July 13, 2016 and questions were addressed regarding the impact of on-street parking from the development and the retention of trees on the property;
  - Residents' concerns were reviewed and District staff have advised that an existing "No Parking" area in front of 111 West Windsor Road can be amended to allow at least one additional on-street parking space;
  - In response to questions about tree retention at the meeting, the applicant has submitted a landscape plan developed in consultation with neighbours;
  - A final landscape plan will be submitted prior to subdivision;
  - The proposed HRA to allow for subdivision of the property into four lots will achieve the heritage designation and legal protection for "Green Gables"; and,



- To ensure the on-going maintenance of the designated Green Gables, a Statement of Significance and Conservation and Maintenance Plan has been prepared and submitted by a qualified Heritage Consultant.

#### **4. PRESENTATION BY APPLICANT**

##### **Mr. Ryan Deakin, 800 Block, East 3<sup>rd</sup> Street:**

- Noted the extensive community consultation that has taken place and that he has worked with the community to address their concerns regarding the landscaping and parking concerns;
- Advised family's eagerness to restore the Green Gables house and move into the neighbourhood;
- Thanked Council for their time and consideration; and,
- Advised that the inside of the house is in better condition than the outside in response to a question regarding relocation of the house.

#### **5. REPRESENTATIONS FROM THE PUBLIC**

##### **5.1. Ms. Margo Hurren, 400 Block East Keith Road: IN FAVOUR**

- Advised that she is related to the owner of the subject property;
- Expressed concerned regarding the safety of the heritage house and the garbage being left on the lot; and,
- Asked that Council consider expediting the process by giving the Bylaws second and third reading together.

##### **5.2. Mr. Donato D'amici, 300 Block East Windsor Road: IN FAVOUR**

- Spoke in favour of the preservation of heritage homes and the establishment of Heritage Revitalization Agreements (HRA's).

##### **5.3. Mr. Aslaam Allodina, 100 Block West Windsor Road: IN FAVOUR**

- Spoke in Support of the proposed development and the benefits of HRA's; and,
- Requested that Lots 1 and 2 have a unique design covenant to ensure they do not mirror each other and look aesthetically different from the heritage house; and,
- Indicated his support for the tree retention plan submitted by the applicant.

Staff advised that the Approving Officer follows Best Practice Guidelines and that it is standard to require a unique design covenant for all subdivisions. It was noted that it is standard for the applicant and staff to engage and work with neighbours throughout a subdivision process.

##### **5.4. Ms. Jennifer Clay, 700 Block East 8th Street: IN FAVOUR**

- Spoke on behalf of the North Shore Heritage Society in support of the proposed development;
- Noted the unique features on the heritage house; and,
- Expressed appreciation for the early public consultation that was held regarding the application.

**5.5. Ms. Leanne Sexton, 100 Block West Windsor Road: IN FAVOUR**

- Spoke in support of the proposed application;
- Commented on the notification process and requested that the HRA notification range be expanded to include a whole subject block;
- Expressed concerns regarding traffic management during construction; and,
- Queried the state of the application if the heritage house is damaged in the move.

In response to a question from Council, staff advised that a condition of the agreement would be that the heritage house would have to be moved prior to subdivision approval; however, the subject property currently is zoned for a four lot subdivision subject to the Approving Officer's approval.

Staff advised that construction management is part of the building permit and construction process.

It was also noted that the District Inspectors monitor construction sites for conflicts in regards to concerns with traffic.

**5.6. Mr. Rodney Brickle, 200 Block West Windsor Road: IN FAVOUR**

- Spoke in support of the application;
- Requested the notification range be expanded for new developments; and,
- Expressed concern with the state of the heritage house after the relocation process.

**5.7. Mr. Bill Hudson, 100 Block West St. James Road: IN FAVOUR**

- Expressed gratitude for the extensive public consultation put forth by the applicant; and,
- Spoke in support of the proposed development.

**5.8. Mr. Alec Caluck, 100 Block West Windsor Road: IN FAVOUR**

- Spoke in support of the proposed development; and,
- Requested that staff reconsider optimizing the parking situation on the south side of West Windsor Road.

**6. QUESTIONS FROM COUNCIL**

Staff advised that a jerk headed cross gable refers to the way the top of the shape of the roof sits at the front of the house.

Council queried the condition of the heritage house and whether it could be moved. The applicant advised that the inside of the house is in better condition than the outside and that the move is a short distance which will minimize any negative impact.

Staff advised that the Heritage Conservation Plan will provide guidelines for any re-building concerns.

Staff confirmed that SLIA designation came into effect in the 1980's. It is common for many homes in the District to straddle two lot lines. The zoning was adopted in the 1990's and sub division patterns, on a broad based scale were considered when

establishing neighbourhood zoning regulations for SLIA's. It was noted that the application is located in a SLIA and that there are three designated SLIA's in the RSNQ zone.

**7. COUNCIL RESOLUTION**

**MOVED by Councillor BASSAM**

**SECONDED by Councillor MURI**

THAT the September 13, 2016 Public Hearing be closed;

AND THAT "Heritage Revitalization Authorization Agreement Bylaw 8187 – Green Gables" and "Heritage Designation Bylaw 8188, 2016 (114 West Windsor Road – Green Gables)" be returned to Council for further consideration.

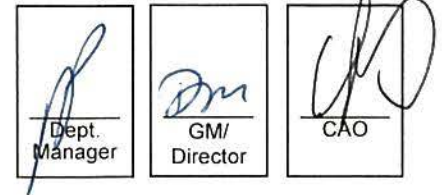
**CARRIED**  
(7:47 p.m.)

**CERTIFIED CORRECT:**



Confidential Council Clerk

AGENDA INFORMATION	
<input checked="" type="checkbox"/> Regular Meeting	Date: <u>July 26, 2016</u>
<input type="checkbox"/> Committee of the Whole	Date: _____



## The District of North Vancouver REPORT TO COUNCIL

July 14, 2016  
File: 3060/20/32.16

**AUTHOR:** Kathleen Larsen, Community Planner

**SUBJECT:** Bylaws 8187 and 8188: Heritage Revitalization Agreement and Heritage Designation: 114 West Windsor (Green Gables)

### RECOMMENDATION

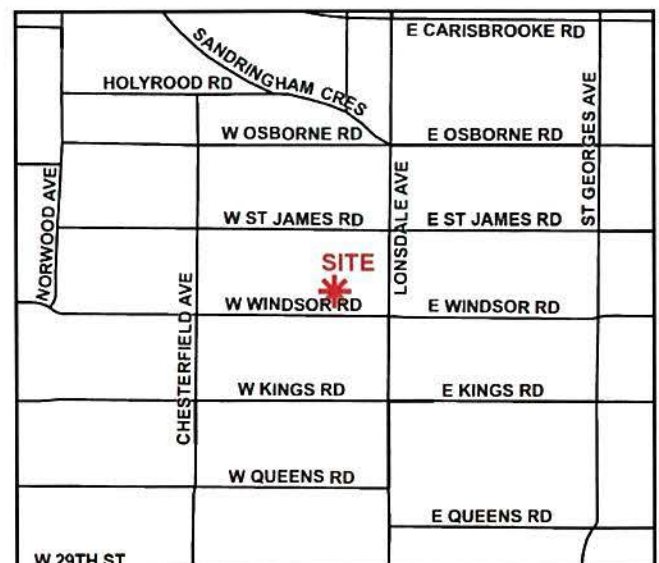
It is recommended THAT:

1. Bylaw 8187 to allow for the subdivision and redevelopment of the property under a Heritage Revitalization Agreement, be given First Reading; and
2. Bylaw 8188 to allow for the Heritage Designation of the heritage house be given First Reading; and
3. Bylaws 8187 and 8188 be referred to a Public Hearing.

### SUMMARY:

A Heritage Revitalization Agreement application has been submitted for 114 West Windsor Road to allow for subdivision of the property into four lots. Through the proposed bylaws the District would achieve heritage designation and permanent protection of the "Green Gables" a District Heritage Register house proposed to be retained on Lot 4.

A Statement of Significance and Conservation and Maintenance Plan from a Heritage Consultant supports the Heritage Revitalization Agreement and Heritage Designation.





**SUBJECT: Bylaws 8187 and 8188: Heritage Revitalization Agreement and Heritage Designation: 114 West Windsor (Green Gables)**

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**Site and Surrounding Area:**

The property is located in the Upper Lonsdale neighbourhood, is designated as Single-Family Residential Level 2 (RES2) in the Official Community Plan, and is zoned Residential Single-Family North Queens (RSNQ). It is not in any designated Development Permit Areas. It is in a Small Lot Infill Area 10 (SLIA 10) which allows for subdivision of the lots.



The subject property consists of two legal lots. The western lot is 20.1m (66 ft) in width, 37.8m (124 ft) in depth and 759.9m<sup>2</sup> (8179 sq ft) in area. The eastern lot is slightly larger at 21.2m (69.7 ft) in width, 37.8m (124 ft) in depth and 801.8m<sup>2</sup> (8631 sq ft) in area. The heritage house "Green Gables" straddles the centre lot line in the middle of the property.

Surrounding development consists of single-family properties zoned RSNQ to west, southwest and north. Directly adjacent to the east and across the street to the southeast are multi-family properties zoned Low-Rise Residential Zone 2 (RL2).

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## **BACKGROUND**

"Green Gables" was constructed in 1915 and is listed on the District's Heritage Register. The house demonstrates the influence of the Colonial Revival style. A distinctive profile is provided by the tall chimneys, jerkin-headed roofs, the bellcast detailing of the porches and the iconic columns marking the front entry. The first owner was Scottish-born Robert Gibson, a printer for the News-Advertiser.



The owner of the property submitted a demolition permit application on August 7, 2015 to allow for the demolition of the heritage house. In accordance with the District's Heritage Procedures Bylaw this demolition permit could not be issued until building permits and any other necessary approvals (i.e. soil and tree permits) have been issued to allow the development of the two lots.

On September 14, 2015 Council passed a motion directing staff to continue withholding the demolition permit and authorized staff to order a Heritage Inspection. The Heritage Inspection was conducted in September 2015.

As the property was for sale it was hoped that a potential new owner could be encouraged to work with staff to explore development options for the property that would allow for the retention of the heritage house. The applicant is purchasing the site and is pursuing a Heritage Revitalization Agreement (HRA) proposal that would allow subdivision of the property into 4 lots with restoration and designation of the heritage house.

A Heritage Revitalization Agreement (HRA) is a formal voluntary agreement negotiated between a municipality and the owners of a heritage house requiring approval from Council. Through this type of agreement, the *Local Government Act* allows a municipality to negotiate among other items, variances to the zoning and subdivision requirements that pertain to the property. The agreement may also outline the duties, obligations and benefits negotiated by both parties to the agreement. In this case the primary District objective is to retain and designate the heritage house on the property.



**SUBJECT: Bylaws 8187 and 8188: Heritage Revitalization Agreement and Heritage Designation: 114 West Windsor (Green Gables)**

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An HRA is required to allow for the proposal as:

- The retained heritage house on Lot 4 will exceed the floorspace permitted on the lot under the RSNQ zoning requirements
- The retained heritage house on Lot 4 will exceed the permitted principal building height permitted under the RSNQ zoning requirements.
- The front and rear setbacks for house on Lot 3 and the heritage house on Lot 4 do not meet the requirements of the Zoning Bylaw
- An HRA process will achieve, as a primary objective, the designation and permanent protection of a District Heritage Register House (Green Gables)

The HRA will ensure that the integrity of the heritage house is not compromised and can be maintained over an extended period of time. Under the designation bylaw any future change to the heritage house will require a Heritage Alteration Permit approved by the District's General Manager of Planning, Properties and Permits.

A Statement of Significance prepared by Heritage Consultant Donald Luxton has been submitted by the applicant in support of the Heritage Designation and the HRA proposal. A final Conservation and Maintenance Plan will be submitted prior to Public Hearing and attached as Schedule A to the Heritage Revitalization Agreement.

**EXISTING POLICY:**

The subject property is designated "Detached Residential" in the District Official Community Plan and for reference as "Low Density Residential" in the North Lonsdale Delbrook Official Community Plan. The lot is zoned RSNQ (Single-Family Norwood Queens).

The proposal is consistent with Policy 6.5.4 of the District's Official Community Plan that stipulates an objective to ensure a clear sense of identity and links to the past present and future and specifically to:

*6.5. 4. Encourage the protection and enhancement of building and sites which have historic significance to the community by exploring opportunities to use the tools and incentives available under the Local Government Act.*

**Small Lot Infill Area (SLIA)**

The property is also within a Small-Lot Infill Area 10 (SLIA) which could provide for subdivision of the two existing lots into four smaller 10m (33 ft) lots similar to other properties to the west of the property along West Windsor Road or any layout that proposes a minimum of 10m of lot frontage. This could include the lot layout proposed by the HRA application but without the retention of the heritage house and the required allowances for the heritage house size, setback and height variances.

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**ANALYSIS**

The Heritage Register house on the property "Green Gables" sits in the middle of two legal lots each of which could be developed independently with a single-family house and secondary suite. "Green Gables" is not a legally protected heritage building and could be demolished if the District receives building permits for each of the two existing lots.

As an alternative to demolishing "Green Gables" and redeveloping the existing two lots or undertaking a subdivision application of the property into four 10m (33 ft) lots, the applicant is proposing a Heritage Revitalization Agreement that will allow subdivision of the property into 4 single-family lots in the lot layout shown on the site plan. "Green Gables" would be retained and moved to Lot 4 to ensure maximum visibility.

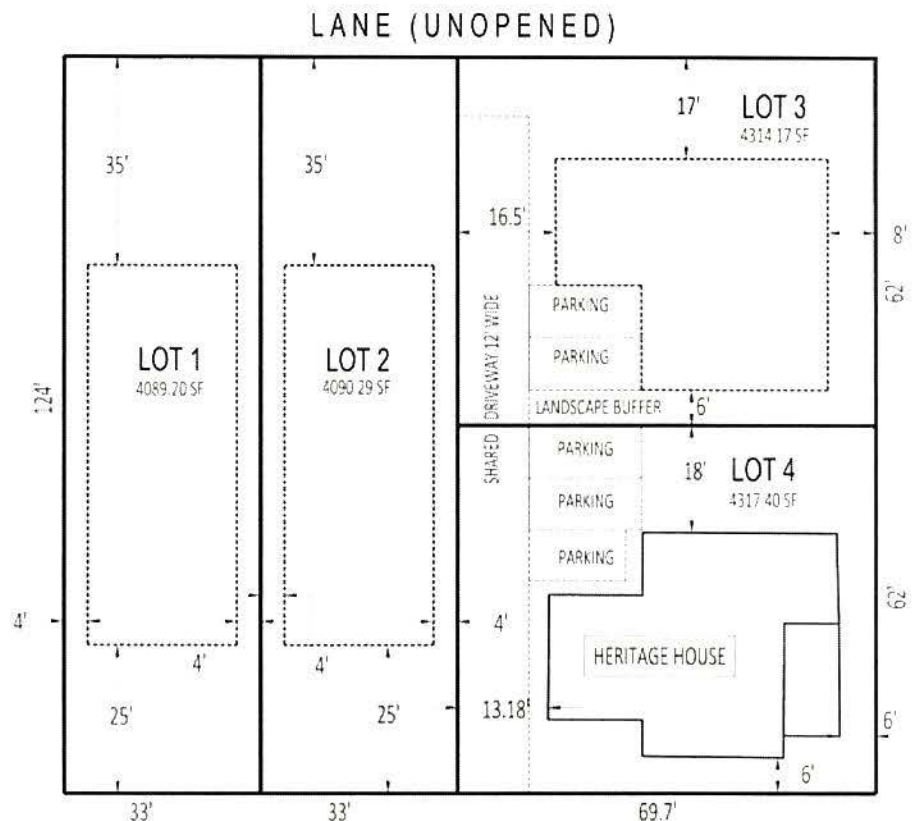
As shown on the site plan the proposed access to Lots 3 and 4 will be via one shared driveway along the west property line of the properties. Access to lots 1 and 2 will be from two separate driveways onto West Windsor Road.

The proposed four lot subdivision will not include:

- The opening of the rear lane to the north of the property
- Any removal or disruption of trees in the laneway
- Secondary suites in any of the dwellings on the property

**Lots 1 and 2**

The two 10m (33 ft) lots on the west side of the property will continue an existing pattern of small lots along the block and be developed in accordance with the existing RSNQ zoning and sympathetic in style to the heritage house. The maximum size house excluding basement that can be constructed on each lot is 170.9m<sup>2</sup> (1840 sq ft).





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Lot 3

The proposed house on Lot 3 will be designed in a style sympathetic to the heritage house and in accordance with RSNQ zoning with the exception of reduced front and rear setbacks to accommodate the reduced lot depth as shown on the table below. Sideyard setbacks meet or exceed the requirement under the zoning bylaw. A landscape buffer between the homes on Lots 3 and 4 will provide for some separation and privacy. The maximum size house that can be constructed on the lot excluding basement is 180.3m<sup>2</sup> (1941 sq ft).

Regulation	Required/ Permitted	Proposed	Variance
Front Setback	7.6m (25 ft)	1.8m (6 ft)	5.8m (19 ft)
Rear Setback	7.6m (25 ft)	5.2m (17 ft)	2.4m (8 ft)

Lot 4

“Green Gables” is proposed be moved from the middle of the existing property to Lot 4. Due to the shape and size of the lot, the house will require reduced front and rear setbacks as shown in chart below. In addition the heritage house will exceed the permitted floorspace on the lot by 60.7m<sup>2</sup> (653 sq ft) and permitted height by 0.7m (2.2 ft) in order to allow for the peak of the existing house.

Regulation	Required/ Permitted	Proposed	Variance
Front Setback	7.6m (25 ft)	1.8m (6 ft)	5.8m (19 ft)
Rear Setback	7.6m (25 ft)	5.5m (18 ft)	2.1m (7 ft)
Principal House Height	8.5m (28 ft)	9.2m (30.2 ft)	0.7m (2.2 ft)
Floorspace	180.5 m <sup>2</sup> (1943 sq ft)	241.2m <sup>2</sup> (2596 sq ft)	60.7m <sup>2</sup> (653 sq ft)

The plans have been reviewed by the heritage consultant are consistent with the submitted Statement of Significance for the heritage house. A Conservation and Maintenance Plan will be submitted prior to the Public Hearing.

**SUBJECT: Bylaws 8187 and 8188: Heritage Revitalization Agreement and Heritage Designation: 114 West Windsor (Green Gables)**

July 14, 2016

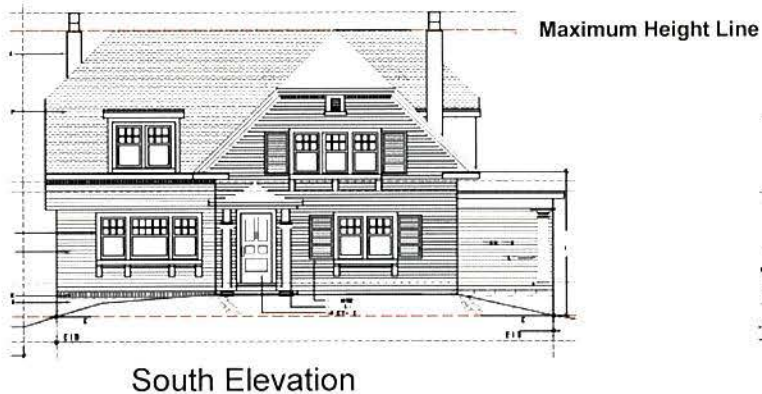
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The prominent features of the heritage house will be retained and rehabilitated including:

- The one and one half storey plus basement height, jerkin-headed, cross gables roof structure with returned eaves; shed dormers, and swept porch roofs
- Wood frame and masonry construction, featuring original wood lapped siding
- Colonial Revival style architectural details;
- Original window and door assemblies;
- External brick chimney



The heritage house elevations are shown below:





**SUBJECT: Bylaws 8187 and 8188: Heritage Revitalization Agreement and Heritage Designation: 114 West Windsor (Green Gables)**

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Trees:

Four permit trees are proposed to be removed from the south end of Lot 1 to allow for the new construction. Five permit trees will be retained at the rear of Lots 1 and 2. The removal will require their replacement at a ratio of 3 to 1.

The submission of finalized arborist report and landscape plans to the satisfaction of the Approving Officer is a requirement of the HRA. This plan will incorporate the required tree re-planting and environmental compensation will be required if all required trees cannot be accommodated on the site. A landscape plan/tree retention plan will be made available by the applicant for Council and neighbour review at the Public Hearing.

**Public Input:**

Notices were distributed to 32 properties within 75m of the subject site. 9 responses were received as a result of this notification with questions regarding the proposal and concerns regarding:

- The subdivision of the property into 4 smaller lots
- Tree preservation
- A need for a neighbourhood meeting
- Loss of on-street parking
- A need for further information on the proposal and potential house designs

Neighbour Meeting:

Due to the responses received, a neighbour meeting attended by 11 residents representing 7 properties within the 75m notification area was held on July 13, 2016 at the District Hall. The applicant was also in attendance.

Following a presentation by staff the concerns discussed were primarily related to:

- A need for additional tree retention opportunities on the site particularly in the south portion of Lot 1 along Windsor Road.
- On-street parking on the south and north sides of the 100 blk of West Windsor Road and the potential impact of two additional driveways.

At the conclusion of the meeting the neighbours in attendance indicated that they were generally in support of the subdivision and thanked the applicant for putting forward a proposal that offered an opportunity to retain the heritage house on the property.

In response to the on-street parking concerns the Approving Officer will require driveway cuts for Lots 1 and 2 at the minimum permitted width of 3m (10 ft) to potentially allow for two on-street parking stalls in front of Lots 1 and 2 and three stalls on the street in front of Lot 4. A proposed driveway layout will be available and presented at the public hearing.

**SUBJECT: Bylaws 8187 and 8188: Heritage Revitalization Agreement and Heritage Designation: 114 West Windsor (Green Gables)**

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The neighbours also suggested that the "No Parking" area along the south side of West Windsor Road in front of the property at 114 West Windsor Road be reviewed to see if the regulations could be amended to allow for additional on-street parking. Transportation Planning staff are reviewing this request and any opportunities to amend the restrictions will be presented at the Public Hearing.

Neighbours also outlined concerns with tree retention on the site particularly in regards to trees in the southwest corner of Lot 1. Four permit trees in this area will need to be removed to allow for construction. To address this concern the applicant will submit a landscape/tree re-planting plan which will be available at the Public Hearing for neighbour and Council review.

**Conclusion:**

The application for a Heritage Revitalization Agreement to allow for subdivision of the property into four lots will achieve the heritage designation and permanent protection of "Green Gables", a Heritage Register house to be retained on the proposed Lot 4. New houses constructed on the proposed Lots 1, 2 and 3 will be sympathetic to the architectural style of the retained heritage house.

A Statement of Significance and Conservation and Maintenance Plan will support the designation and Heritage Revitalization Agreement and ensure ongoing maintenance of the designated heritage house.

**Options:**

The following options are available for Council's consideration:

1. Introduce Bylaw 8187 and 8188 and refer the bylaws to Public Hearing (Staff Recommendation); or
2. Defeat Bylaws 8187 and 8188 at First Reading.

  
for Kathleen Larsen  
Community Planner

**Attachments:**

- A - Bylaw 8187 - Heritage Revitalization Agreement
- B - Bylaw 8188 - Heritage Designation Bylaw
- C - Statement of Significance

**SUBJECT: Bylaws 8187 and 8188: Heritage Revitalization Agreement and Heritage Designation: 114 West Windsor (Green Gables)**

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REVIEWED WITH:		
<input type="checkbox"/> Sustainable Community Dev. _____	<input type="checkbox"/> Clerk's Office _____	External Agencies:
<input type="checkbox"/> Development Services _____	<input type="checkbox"/> Communications _____	<input type="checkbox"/> Library Board _____
<input type="checkbox"/> Utilities _____	<input type="checkbox"/> Finance _____	<input type="checkbox"/> NS Health _____
<input type="checkbox"/> Engineering Operations _____	<input type="checkbox"/> Fire Services _____	<input type="checkbox"/> RCMP _____
<input type="checkbox"/> Parks _____	<input type="checkbox"/> ITS _____	<input type="checkbox"/> Recreation Com. _____
<input type="checkbox"/> Environment _____	<input type="checkbox"/> Solicitor _____	<input type="checkbox"/> Museum & Arch. _____
<input type="checkbox"/> Facilities _____	<input type="checkbox"/> GIS _____	<input type="checkbox"/> Other: _____
<input type="checkbox"/> Human Resources _____	<input type="checkbox"/> Real Estate _____	



## The Corporation of the District of North Vancouver

### Bylaw 8187

A bylaw to enter into a heritage revitalization agreement pursuant to section 610 of the *Local Government Act* (RSBC 1996, c.323)

The Council for the Corporation of the District of North Vancouver enacts as follows:

#### Citation

1. This bylaw may be cited as "**Heritage Revitalization Authorization Agreement Bylaw 8187 – Green Gables**".

#### Heritage Revitalization Agreement

2. The Council of the District of North Vancouver is authorized to enter into a Heritage Revitalization Agreement substantially in the form of the agreement attached to this Bylaw (the "Heritage Revitalization Agreement") with the owner of the property and building located at 114 West Windsor Road and legally described as PID: 013-298-453, Lot G of the North ½ of Lot F Blocks 4 to 13 District Lot 2026 Plan 2954 and PID: 011-115-858, Lot A of the North ½ of Lot F Blocks 4 to 13 District Lot 2026 Plan 5611.

#### Execution of Agreement

3. The Mayor and Municipal Clerk are authorized on behalf of the Council to sign the Heritage Revitalization Agreement substantially in the form attached as Schedule A and titled "Heritage Revitalization Agreement – Green Gables" and forming part of this Bylaw.

#### Delegation

4. Wherever in the Heritage Revitalization Agreement a heritage alteration permit is required, the discretion to approve, refuse or issue such permit is delegated by the District to the General Manager - Planning, Properties & Bylaws (the "GM") and:
  - (a) such exercise of discretion relating to the issuance of the heritage alteration permit shall be made by the GM acting reasonably in accordance with sound municipal heritage and conservation practice;
  - (b) such exercise of discretion, including any terms and conditions imposed, shall be consistent with the *Local Government Act*, and with the intent of preserving the heritage character and heritage value of Green Gables and its setting; and
  - (c) the GM may refer any exercise of discretion to the District of North Vancouver Community Heritage Committee for advice.

**READ** a first time the \_\_\_ day of \_\_\_\_\_, 2016.

**PUBLIC HEARING** held the \_\_\_ day of \_\_\_\_\_, 2016.

**READ** a second time the \_\_\_ day of \_\_\_\_\_, 2016.

**READ** a third time the \_\_\_ day of \_\_\_\_\_, 2016.

**ADOPTED** the \_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
Municipal Clerk

Certified a true copy

\_\_\_\_\_  
Municipal Clerk

**HERITAGE REVITALIZATION AGREEMENT**

**GREEN GABLES**

This Agreement made the \_\_\_\_ day of \_\_\_\_\_, 2016,

BETWEEN:

(the "Owner")

AND:

**THE CORPORATION OF THE DISTRICT OF NORTH VANCOUVER**, 355 West  
Queens Road, North Vancouver, BC V7N 4N5

(the "District")

WHEREAS:

- A. The Owner is the registered Owner in fee simple of the following lands and premises at 114 West Windsor Road in the District of North Vancouver, British Columbia and legally described as:
- PID: 013-298-453, Lot G of the North ½ of Lot F Blocks 4 to 13 District Lot 2026 Plan 2954 and
- PID: 011-115-858, Lot A of the North ½ of Lot F Blocks 4 to 13 District Lot 2026 Plan 5611
- (together, the "Lands");
- B. The District and the Owner consider that these Lands, including the house ("Green Gables") and the landscaping, have heritage value which should be protected and preserved;
- C. Section 610 of the *Local Government Act* authorizes a local government to enter into a Heritage Revitalization Agreement with the owner of heritage property allowing variations of, and supplements to, the provisions of a zoning bylaw, subdivision bylaw, development permit and heritage alteration permit;
- D. For the purpose of conserving the heritage value of Green Gables, the Owner and the District have agreed to enter into this Agreement setting out the terms and conditions of continuing protection for the heritage character and heritage value of this heritage building;



- E. The heritage character of Green Gables which both the Owner and the District desire to conserve and which constitute the heritage value of the Lands have been described by text and photographs attached as Schedule "A" to this Agreement;

In consideration of the mutual promises of the parties and for other good and valuable consideration (the receipt and sufficiency of which is acknowledged), the Owner and the District covenant and agree pursuant to Section 966 of the *Local Government Act* as follows:

#### Interpretation

1. In this Agreement:

- (a) "Approving Officer" means the approving officer for the District appointed under the *Land Title Act*;
- (b) "Chief Building Official" means the District's chief building official or his or her designate;
- (c) "GM" means the District's General Manager - Planning, Properties & Bylaws;
- (d) "Report" means the Conservation Plan prepared by Donald Luxton and Associates Inc. dated \_\_\_\_\_, 2016 a copy of which is attached hereto as Schedule "A";
- (e) "Green Gables" has the meaning given to it in Recital B; and
- (f) "Lots" means Lots 1 to 4 as shown on the plan attached as Schedule "B" and "Lot" means any one of them;
- (g) "Natural Grade" has the meaning given to it in the Zoning Bylaw;
- (h) "Protected Trees" has the meaning given to it in section 5(g);
- (i) "Zoning Bylaw" means the District of North Vancouver Zoning Bylaw No. 3210, 1965 as amended, consolidated, re-enacted or replaced from time to time.

#### Heritage Revitalization

- 2. The parties agree that the Lands have heritage value, deserving of protection and conservation and the Owner specifically agrees to maintain, preserve and protect the heritage character of Green Gables in accordance with this Agreement.
- 3. The Owner covenants and agrees that the Lands may not be subdivided, used or developed except as specifically set out in this Agreement.
- 4. The parties agree that notwithstanding the provisions of District bylaw requirements related to the zoning applicable to the Lands, the Lands may be used and developed in the following manner:
  - (a) the Lands may be subdivided to create the Lots as shown on the draft subdivision plan attached hereto as Schedule "B" (the "Proposed Subdivision");

- (b) Green Gables may be relocated on Lot 4 strictly in accordance with the site plan attached as Schedule "C" and with the plans and specifications attached as schedule "D"; and
- (c) a house may be construct on Lot 3 within the building envelope outlined on the site plan attached as Schedule "C"

all in accordance with the terms, limitations and conditions of this Agreement.

5. The Owner covenants and agrees that:

- (a) Green Gables after said relocation must not exceed a total Floor Area of 2596 square feet or a height of 30 feet 2 inches above the Natural Grade;
- (b) no detached garages or other accessory buildings or structures are permitted on any of the Lots.
- (c) no house may be construct on Lot 1 or Lot 2 unless the house strictly complies with the RSNQ zoning designation under the Zoning Bylaw and with the design drawings approved by the GM in accordance with the section 219 covenant required pursuant to subsection 8(e) herein;
- (d) no house may be construct on Lot 3 unless the house strictly complies with all requirements under the RSNQ zoning designation in the Zoning Bylaw (except to the extent set out in subsection 4(c) herein), and with the design drawings approved by the GM in accordance with the section 219 covenant required pursuant to subsection 8(e) herein;
- (e) the houses on Lots 1, 2 and 3 will meet or exceed EnerGuide 80 said requirements to be secured with a section 219 covenant in form and content acceptable to the municipal solicitor with said covenant to be fully registered at the Land Title Office against the titles to Lots 1, 2 and 3 in favour of the District in priority to all financial charges;
- (f) to install and maintain landscaping and permeable driveways on the Lots in accordance with the landscape and driveway plan to be prepared by the Owner's landscape architect and approved by the District under subsection 10(b) herein, and
- (g) to retain and protect all of the trees identified on the plan attached as Schedule "E" (the "Protected Trees").

6. None of the Lots may be separately sold or otherwise transferred until after Green Gables has been relocated to Lot 4 in compliance with this Agreement and to the satisfaction of the GM. After Green Gables has been relocated to Lot 4 in compliance with this Agreement to the satisfaction of the GM, Lot 1 and Lot 2 may be separately sold, but Lot 3 and Lot 4 may not be separately sold or otherwise transferred until after occupancy permits have been issued by the District for houses on both Lots and until landscaping and the permeable driveway required pursuant to section 5(e) have been installed to the District's satisfaction.

7. The Owner further covenants and agrees that Lot 3 will not be used or developed and no building permit will be applied for, or is required to be issued by the District, in respect of any improvement on Lot 3 unless and until an occupancy permit has been issued by the District for Green Gables on Lot 4.
8. The Owner expressly acknowledges and agrees that it is a condition of entering into this Agreement that prior to the Approving Officer's approval of the Proposed Subdivision, the Owner's solicitor will have provided to the District his or her written professional undertaking to deposit the Proposed Subdivision plan only as an all or nothing package with any charges required by the Approving Officer, including without limitation:
  - (a) the section 219 covenant referred to in section 5(e), which must be registered against title to Lots 1, 2 and 3;
  - (b) a separate section 219 covenant and rent charge against title to Lot 4 to secure the Owner's maintenance obligations in relation to Green Gables, and requiring that the landscaping and driveway improvements required pursuant to subsection 5(f) must be retained and maintained in perpetuity in accordance with the terms and conditions set out in said of such covenant, which said covenant must be registered in favour of the District in priority to all financial charges covenant;
  - (c) a section 219 covenant stipulating that there must not be any secondary suite (including in the form of a coach house) constructed, installed, used or occupied on any of the Lots, which said covenant must be registered against each of the Lots in favour of the District in priority to all financial charges;
  - (d) a section 219 tree preservation covenant for the protection and preservation of the Protected Trees, which said covenant must be registered against Lots 1, 2 and 3 in favour of the District in priority to all financial charges; and
  - (e) a section 219 design approval covenant which said must be registered against Lots 1, 2 and 3 in favour of the District in priority to all financial charges.

All said covenants must be in a form acceptable to the Municipal Solicitor.

9. Without limiting any other provision herein, the Owner agrees that:
  - (a) all driveway paving on the Lots must be of permeable construction; and
  - (b) the exterior cladding and colour scheme for all improvements on the Lots must complement the heritage character of Green Gables, must comply with all applicable requirements set out in the report attached as Schedule A, and must be approved by the GM in advance, with future colour changes to be similarly approved.
10. The Owner further covenants and agrees that Lot 1, Lot 2 and Lot 3 will not be used or developed and no building permit will be applied for, or is required to be issued by the District, in respect of any improvement on Lot 1, Lot 2 or Lot 3 unless and until the Owner has:

- (a) prepared and submitted to the District a maintenance plan acceptable to the GM for future maintenance of Green Gables; and
  - (b) delivered to the District a detailed landscape and driveway plan and boulevard planting plan for the Lots, prepared by a professional landscape architect retained by the Owner, which said plans must create a setting to complement the heritage character of Green Gables to the satisfaction of the GM in his or her sole discretion (the "Landscaping and Site Plan").
- 11. Notwithstanding any other term of this Agreement, prior to commencing any development work on the Lots (including removal of any trees), the Owner must obtain all necessary permits and approvals from the District.
- 12. The Owner agrees to maintain Green Gables to such a standard which, in the opinion of the GM, retains the heritage character and heritage value of the building and site.
- 13. The Owner specifically acknowledges and agrees that any alterations and improvements to the exterior of Green Gables will require a heritage alteration permit issued by the District.
- 14. The parties agree that the exterior of Green Gables shall be designated as protected heritage property pursuant to section 611 of the *Local Government Act*.

#### Heritage Alteration Permits

- 15. In accordance with the terms and conditions of this Agreement, the Owner shall not alter in any way the exterior of Green Gables except as permitted by a Heritage Alteration Permit issued by the District.

#### Construction and Maintenance of Works

- 16. Wherever in this Agreement the Owner is issued a heritage alteration permit to restore, rehabilitate, replicate, repair, replace, maintain or in any way alter improvements on, or features of Green Gables, or to construct or maintain other works to protect or conserve such improvements or features, all such work shall be done at the Owner's sole expense strictly in accordance with the heritage alteration permit and all plans and specifications forming part thereof and shall be diligently and continuously maintained in good repair and efficient operating condition by the Owner at the Owner's sole expense in accordance with good engineering, design, heritage and conservation practice.

#### Damage or Destruction

- 17. Subject to section 18, in the event that Green Gables is damaged, the parties agree that the Owner must repair the building, in which event the Owner shall forthwith commence the repair work and complete the same within one year of the date of damage.
- 18. In the event that Green Gables is accidentally damaged or destroyed to the extent of 75% or more of its value above its foundations, as determined by the Chief Building Official, the terms of this Agreement which relate to Green Gables shall cease to be of any effect and thereafter all use and occupation of Lands shall be in accordance with the District Zoning Bylaw No. 3210, as amended, and in accordance with all other bylaws or



regulations of the District or any other laws of any other authority having jurisdiction; provided that as a limitation on said use the maximum floor area for any replacement house on Lot 1 shall not exceed 223.2 m<sup>2</sup>.

#### Breach

19. In the event that the Owner is in breach of a material term of this Agreement, the District may give the Owner notice in writing of the breach and the Owner shall ensure it does nothing to further the breach and shall remedy the breach within 30 days of receipt of the notice.

#### Amendment

20. The parties acknowledge and agree that this Agreement may only be amended by one of the following means:
- (a) by bylaw with the consent of the parties provided that a public hearing shall be held if an amendment would permit a change to use or density of use on the Lands; or
  - (b) by Heritage Alteration Permit issued pursuant to section 972 of the *Local Government Act*.

#### Representations

21. It is mutually understood and agreed that the District has made no representations, covenants, warranties, promises or agreements, express or implied, other than those contained in this Agreement.

#### Statutory Functions

22. Except as expressly varied or supplemented herein, this Agreement shall not prejudice or affect the rights and powers of the District in the exercise of its statutory functions and responsibilities, including, but not limited to, the *Local Government Act* and its rights and powers under any enactments, bylaws, order or regulations, all of which, except as expressly varied or supplemented herein, are applicable to the Property.

#### No Liability to District

23. In no case shall the District be liable or responsible in any way for:
- (a) any personal injury, death or consequential damage of any nature whatever, however caused, that may be suffered or sustained by the Owner or by any other person who may be on the Lands; or
  - (b) any loss or damage of any nature whatever, however caused to the Lands or any improvements or personal property thereon belonging to the Owner or to any other person;

arising directly or indirectly from, or in any way related to, the entering into of this Agreement, compliance with the conditions, restrictions and requirements in this

Agreement, the Proposed Subdivision, wrongful or negligent failure or omission to comply with the conditions, restrictions and requirements herein, or from the enforcement or non-enforcement of any restrictions or requirements herein or with any other term condition or provision of this Agreement.

#### Indemnity

24. The Owner shall at all times indemnify and save harmless the District of and from all loss and damage, and all actions, claims, costs, demands, expenses, fines, liabilities and suites of any nature whatsoever by whomsoever brought for which the District shall or may become liable, incur or suffer by reason of existence and effect whether direct or indirect of the restrictions or requirements herein, or breach or non-performance by the Owner of any covenant, term or provision hereof, or by reason of any work or action of the Owner in performance of its obligations hereunder, or by reason of any wrongful act or omission, default or negligence of the Owner.

#### Damages

25. The Owner covenants and agrees that the measure of damages for any breach of the restrictions or requirements of this Agreement shall include, but shall not be limited to, the actual cost and expense of all administration, labour, materials, equipment, services and work required for all remedial acts necessary to fully restore, rehabilitate, replace or maintain the building, structure, improvement on or feature of the Lands having *heritage value* to be protected, conserved, preserved or kept in its natural state. The nature and extent of any breach of the said restrictions and requirements, and the nature and extent of any restoration, rehabilitation, replacement, maintenance or remedial work or action of any nature required to remedy such breach shall be determined by the District in its sole discretion.

#### Specific Performance

26. The Owner agrees that the District is entitled to obtain an order for specific performance of this Agreement and a prohibitory or mandatory injunction in respect of any breach by the Owner of this Agreement. The Owner agrees that this is reasonable given the public interest in preserving the heritage value and character of the Green Gables.

#### No Waiver

27. No restrictions, requirements or other provisions in this Agreement shall be deemed to have been waived by the District unless a written waiver authorized by resolution of the Council and signed by an officer of the District has first been obtained, and without limiting the generality of the foregoing, no condoning, excusing or overlooking by the District on previous occasions of any default nor any previous written waiver shall be taken to operate as a waiver by the District of any subsequent default or in any way to defeat or affect the rights of remedies the District.

#### Compliance with Laws

28. Despite any provision of this Agreement, the Owner shall comply with all laws, including bylaws of the District and all regulations and orders of any authority having jurisdiction, and to the extent only that such laws, regulations and orders are mandatory and

necessarily require the breach of any restriction or positive obligation herein to be observed or performed by the Owner, or less than strict compliance with the terms hereof, then the Owner upon sixty days' written notice to the District shall be excused from complying with such restrictions or performing such obligation and such restriction or obligation shall be suspended but only to the extent and for the time that such mandatory law, regulation or order is inconsistent with compliance with the said restrictions or obligations.

#### Agreement's Relevance to Subdivision Approval

29. The Owner agrees that the Approving Officer is, with respect to any preliminary or final application for approval of the Proposed Subdivision, entitled (but not required) to consider whether the Proposed Subdivision complies with the applicable requirements under this Agreement or whether the requirements of this Agreement have been complied with and to reject the application if any of those requirements have not, in the opinion of the Approving Officer, been complied with. Nothing in this Agreement commits the Approving Officer to approve any Proposed Subdivision plan.

#### Rights are Permissive Only

30. The rights given to the District by this Agreement are permissive only and nothing in this Agreement imposes any legal duty of any kind on the District to the Owner or anyone else, and nothing in this Agreement obliges the District to enforce this Agreement, to perform any act or to incur any expense in respect of this Agreement.

#### Notice Binding

31. The Owner will file against the Lands notice in the Land Title Office in accordance with section 610 of the *Local Government Act* and upon registration of such notice, this Agreement and any amendment to it shall be binding on all persons who acquire an interest in the Lands or any part thereof.

#### Notice

32. Any notice to be given hereunder shall be in writing and may be either delivered personally or sent by prepaid registered mail and if so mailed shall be deemed to have been given five (5) days following the date upon which it was mailed. The address of the parties for the purpose of notice shall be as follows:

To the District:

District of North Vancouver  
355 West Queens Road  
North Vancouver, BC V7N 4N5

Attention: Municipal Clerk

If to the Owner:

Any party hereto may at any time give notice in writing to the other of any change of address and after the third day of the giving of such notice the address therein specified shall be the address of such part for the giving of notices.

#### Inspection

33. Without limiting the District's power of inspection conferred by statute and in addition thereto, the District shall be entitled at all reasonable times and from time to time to enter onto the Lands for the purpose of ensuring that the Owner is fully observing and performing all of the restrictions and requirements in this Agreement to be observed and performed by the Owner.

#### Severance

34. If any part of this Agreement is for any reason held to be invalid by a court of competent jurisdiction, the invalid portion is to be severed from the rest of this Agreement and the decision that it is invalid does not affect the validity of the remainder of this Agreement.

#### Headings

35. The headings in this Agreement are inserted for convenience only and shall not affect the construction of this Agreement or any provision hereof.

#### Successors Bound

36. All restrictions, rights and liabilities herein imposed upon or given to the respective parties shall extend to and be binding upon their respective heirs, executors, administrators, successors and assigns. When the Owner is more than one party they shall be bound jointly and severally by the terms, covenants and agreements herein on the part of the Owner.
37. The District will file a notice in the Land Title Office in accordance with section 966 of the *Local Government Act* and upon registration of such notice, this Agreement and any amendment to it shall be binding on all persons who acquire an interest in the land affected by this Agreement.

#### Other Documents

38. The Owner agrees at the request of the District to execute and deliver or cause to be executed and delivered all such further agreements, documents and instruments and to do and perform or cause to be done and performed all acts and things as may be required in the opinion of the District to give full effect to this Agreement.

*The remainder of this page is intentionally left blank*



No Partnership or Agency

39. The parties agree that nothing contained in this Agreement creates a partnership, joint venture or agency relationship between the parties.

The Owner and the District have executed this Agreement as of the date first above written.

Signed, Sealed and )  
Delivered by \_\_\_\_\_ )  
in the presence of: )

\_\_\_\_\_) )  
\_\_\_\_\_) )  
Name \_\_\_\_\_) )

\_\_\_\_\_) )  
\_\_\_\_\_) )  
Address \_\_\_\_\_) )

\_\_\_\_\_) )  
\_\_\_\_\_) )  
\_\_\_\_\_) )

\_\_\_\_\_) )  
\_\_\_\_\_) )  
Occupation \_\_\_\_\_) )

Signed by the duly authorized)  
signatories of The )  
Corporation of the District of )  
North Vancouver: )

\_\_\_\_\_) )  
\_\_\_\_\_) )  
\_\_\_\_\_) )  
Richard Walton, Mayor \_\_\_\_\_) )

\_\_\_\_\_) )  
\_\_\_\_\_) )  
\_\_\_\_\_) )  
James Gordon, Clerk \_\_\_\_\_) )

Schedule "A"  
Conservation Plan

Schedule "B"  
Draft Subdivision Plan

PROPOSED SUBDIVISION PLAN OF  
LOT A PLAN 5611 AND LOT G PLAN 2954  
BOTH OF THE NORTH 1/2 OF LOT F  
BLOCKS 4 TO 13  
DISTRICT LOT 2026  
GROUP 1 NEW WESTMINSTER DISTRICT  
BCGS 92G.035

PLAN EPP\_ \_ \_



ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF

THE INTENDED PLOT SIZE OF THIS PLAN IS 279mm IN WIDTH  
BY 432mm IN HEIGHT (B SIZE) WHEN PLOTTED AT A SCALE OF 1:500

INTEGRATED SURVEY AREA No. 16

(DISTRICT OF NORTH VANCOUVER)

NAD83 (CSRS) 4.0.0 BC.1 GVRD

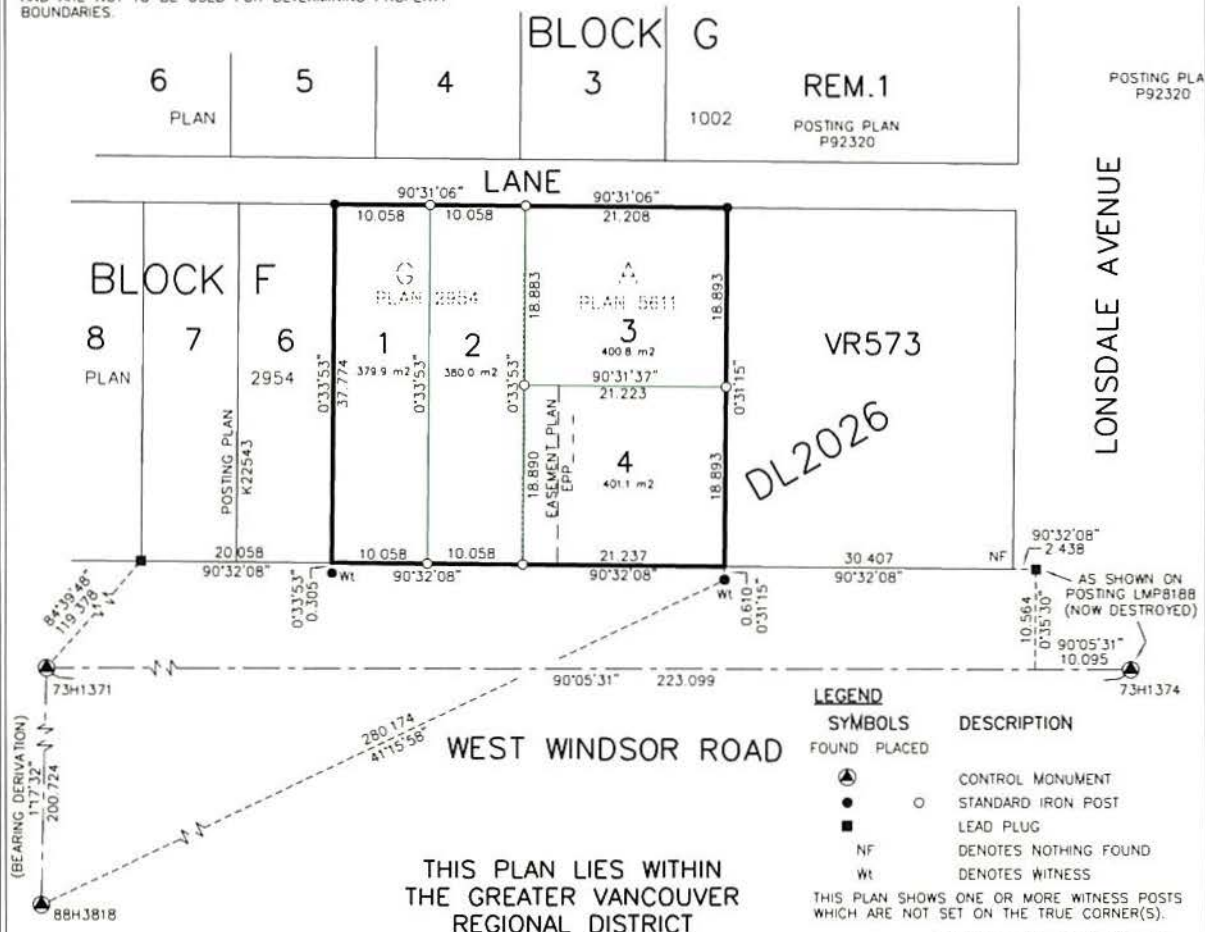
GRID BEARINGS ARE DERIVED FROM OBSERVATIONS  
BETWEEN GEODETIC CONTROL MONUMENTS 88H3818  
AND 73H1371

THE UTM COORDINATES AND ESTIMATED HORIZONTAL  
POSITIONAL ACCURACY ARE DERIVED FROM THE MASCOT  
PUBLISHED COORDINATES AND STANDARD DEVIATIONS FOR  
GEODETIC CONTROL MONUMENTS 88H3818 AND 73H1371

THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL DISTANCES UNLESS  
OTHERWISE SPECIFIED. TO COMPUTE GRID DISTANCES, MULTIPLY  
GROUND-LEVEL DISTANCES BY THE AVERAGE COMBINED FACTOR OF  
0.9995786 WHICH HAS BEEN DERIVED FROM GEODETIC CONTROL  
MONUMENTS 88H3818 AND 73H1371.

DATUM: NAD83(CSRS) 4.0.0 BC.1 GVRD, UTM ZONE 10 ESTIMATED HORIZONTAL POSITIONAL ACCURACY 0.014 METRES			
POINT	UTM N	UTM E	COMBINED FACTOR
73H1371	5465070.975	494550.466	0.9995774
88H3818	5464870.387	494545.941	0.9995797

NOTE: COORDINATES ARE FOR MAPPING PURPOSES ONLY  
AND ARE NOT TO BE USED FOR DETERMINING PROPERTY  
BOUNDARIES.



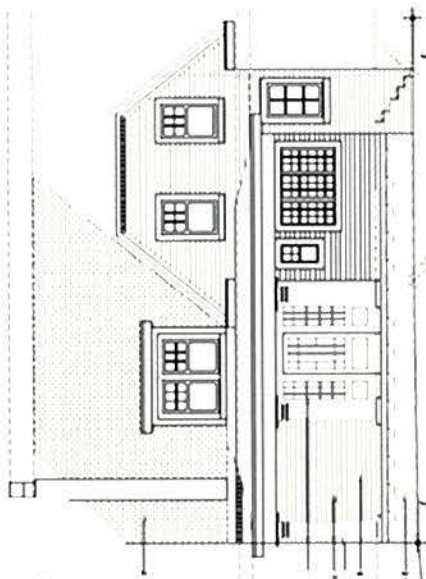
THE FIELD SURVEY REPRESENTED BY THIS PLAN WAS  
COMPLETED ON THE \_ \_ \_ TH DAY OF \_ \_ \_ , 2016,  
GRAHAM RANKINE, BCLS #822

JOB: 15075 FB: 513 P.49  
FILE: L \_ \_ \_ \_ COMP: 150755\_PRO

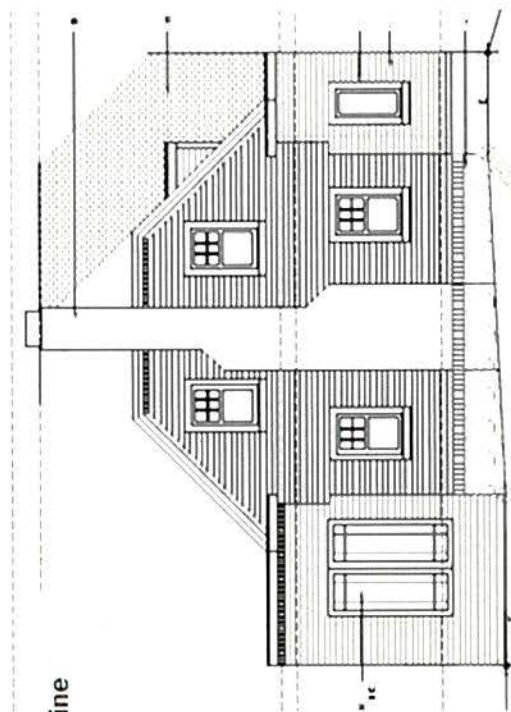
RANKINE LAND SURVEYING LTD.  
300 - 1000 WEST 14TH STREET  
NORTH VANCOUVER, BC V7P 3P3  
TEL: 604-987-7772

Schedule "C"  
Site Plan

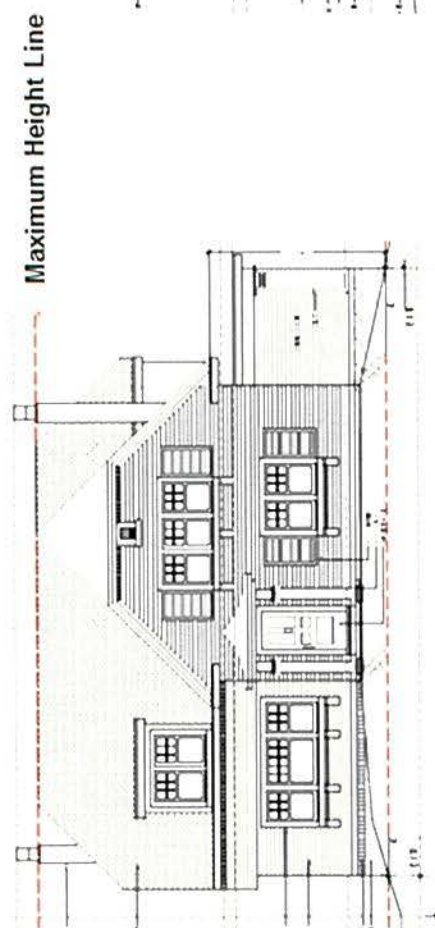
Schedule "D"  
Heritage House Plans



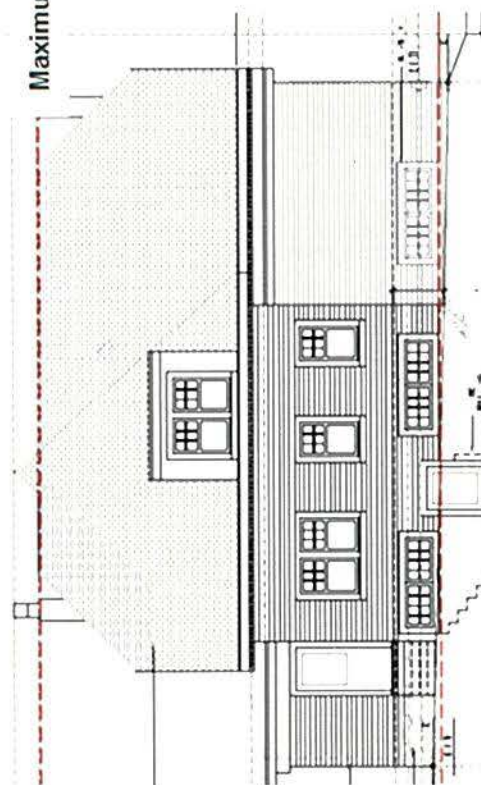
East Elevation



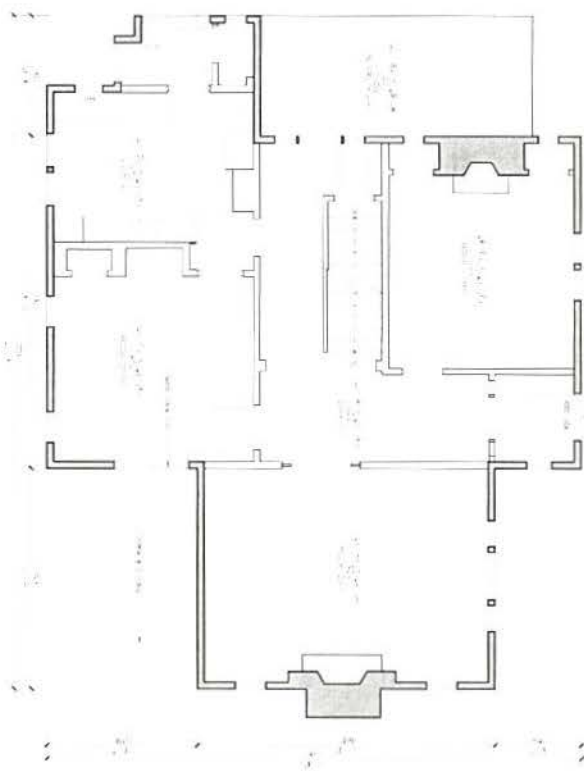
West Elevation



South Elevation

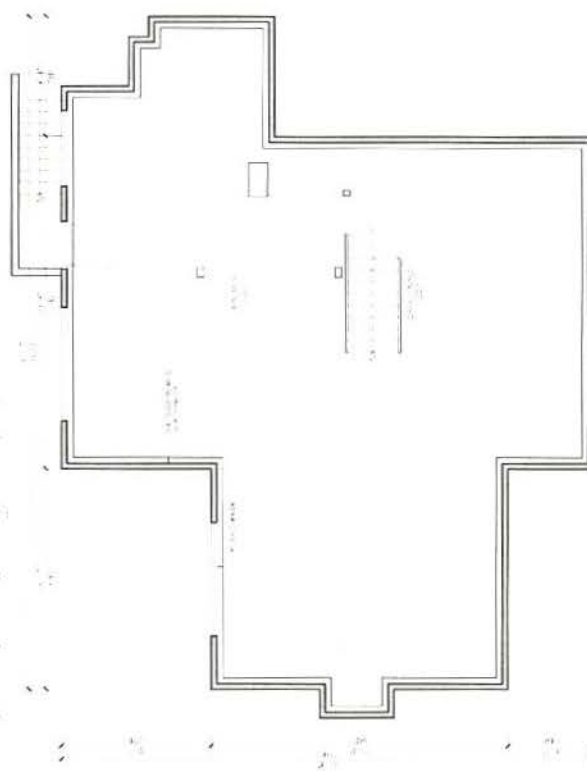


North Elevation



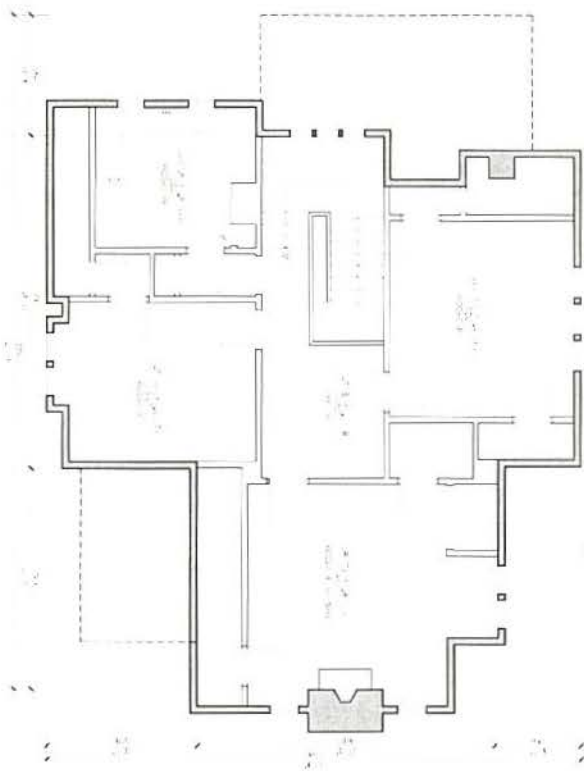
MAIN FLOOR - 1125' x 1125' (1125' x 1125' WALL) = 125' 0"

SCALE 1/8" = 1'-0"



BASEMENT - 1125' x 1125' (1125' x 1125' WALL) = 125' 0"

SCALE 1/8" = 1'-0"



UPPER FLOOR - 1125' x 1125' (1125' x 1125' WALL) = 125' 0"

SCALE 1/8" = 1'-0"

#### SYNOPSIS

MAIN FLOOR - 1125' x 1125' (1125' x 1125' WALL) = 125' 0"  
 UPPER FLOOR - 1125' x 1125' (1125' x 1125' WALL) = 125' 0"  
 TOTAL FLOOR - 1125' x 1125' (1125' x 1125' WALL) = 250' 0"  
 BASEMENT - 1125' x 1125' (1125' x 1125' WALL) = 125' 0"  
 TOTAL BASEMENT - 1125' x 1125' (1125' x 1125' WALL) = 125' 0"

**co.lab**

200 WEST WINDSOR ROAD  
 NORTH VANCOUVER, BC  
 V7P 1A1

114 WEST WINDSOR ROAD  
 NORTH VANCOUVER, BC

SUBDIVISION  
 HERITAGE HOUSE - FLOOR PLANS

1/8" = 1'-0"  
 1/16" = 1'-0"  
 1/32" = 1'-0"

A002



Schedule "E"  
Trees to be Protected and Preserved

**The Corporation of the District of North Vancouver****Bylaw 8188**

A bylaw to designate property as heritage property

---

The Council for The Corporation of the District of North Vancouver enacts as follows:

**1. Citation**

This bylaw may be cited as "Heritage Designation Bylaw 8188, 2016 (114 West Windsor Road – Green Gables)".

**2. Heritage Designation Protection**

2.1 The Council designates the following as protected heritage property pursuant to Section 611 of the *Local Government Act*:

- (a) the lands located at \_\_\_\_\_, North Vancouver and legally described as: \_\_\_\_\_; and,
- (b) the exterior portion of the building on the Lands on the plans attached to this bylaw as Schedule A (the "Retained Structure").

**3. Authority to Issue Heritage Alteration Permit**

3.1 Pursuant to Section 617 of the *Local Government Act*, the Council delegates to the General Manager - Planning, Properties & Permits the authority to issue heritage alteration permits to authorize interior and exterior alterations of the Retained Structure not otherwise permitted by this bylaw, provided that the alterations, including the materials used and the design, colour and texture are in the opinion of the General Manager – Planning, Properties & Permits appropriate to the general period and style for the building.

**READ** a first time

**PUBLIC HEARING** held

**READ** a second time

**READ** a third time

**ADOPTED**

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
Municipal Clerk

Certified a true copy

\_\_\_\_\_  
Municipal Clerk

**Schedule A to Bylaw 8188**  
**RETAINED STRUCTURE**



# GREEN GABLES

114 WEST WINDSOR ROAD,  
DISTRICT OF NORTH VANCOUVER

## STATEMENT OF SIGNIFICANCE

MAY 2016



**DONALD LUXTON**  
AND ASSOCIATES INC



DONALD LUXTON AND ASSOCIATES INC.  
1030 - 470 GRANVILLE STREET VANCOUVER BC V6C 1V5  
info@donaldluxton.com 604 688 1216 www.donaldluxton.com



## HISTORIC CONTEXT

The District of North Vancouver was incorporated in 1891 and originally included all three separate municipalities of the North Shore. The City of North Vancouver, comprising the urban core close to Burrard Inlet, officially formed in 1907, while West Vancouver seceded from the District in 1912. In the midst of these administrative transitions, the North Shore was booming with development, due to the economic expansion occurring throughout the Lower Mainland during the Edwardian era. Suburban residential areas, including those in North Vancouver, developed into bedroom communities for employees of the thriving industries and commercial enterprises of the early twentieth century.



Lonsdale Avenue with streetcar service that stretched up the hill toward the District of North Vancouver, circa 1908, City of Vancouver Archives (CVA) Out P1221





Pan: Upper Lonsdale from Carisbrooke Park, looking south, 1916, CVA PAN N173



Detail: Upper Lonsdale from Carisbrooke Park, looking south, 1916, CVA PAN N173

Connected by ferry service, and later bridges, to Downtown Vancouver, the District of North Vancouver became a preferred address for those seeking a quiet residential life, away from the polluting effects of industries closer to the shore. The Upper Lonsdale neighbourhood, located just north of the boundary between the City and District of North Vancouver, was developing as a high-quality suburb in the early 1910s, as the Lonsdale Avenue streetcar gradually reached the area; the streetcar made it to Windsor Road in 1912. The construction of the Gibson Residence in 1915 was made possible by this ready access to the remainder of the Lower Mainland.

This beautifully detailed and stately home was built for the Gibson family; Robert Gibson was a printer with the *News-Advertiser*. The ornate Ionic and Doric columns associate the house with the Colonial Revival. A distinctive profile is provided by the tall chimneys, the hip-on-gable ('jerkin') roofs, and the bellcast detailing of the porches. By 1935 the house had been acquired by the Butterworth family, who maintained stables on the property. Janet Gibson, daughter of the first owners, moved next door to 108 West Windsor Road at that time.

## ORIGINAL ARCHITECT

### JAMES CLARK MACKENZIE

1877-1941

From: *Building the West: The Early Architects of British Columbia*

James C. Mackenzie was born on November 6, 1877 in West Kilbride, Ayrshire, Scotland. He was educated at Ardrossan Academy, Ayr Academy and Glasgow High School, and in 1897, started a five-year apprenticeship in Alexander Nisbet Paterson's office, Glasgow. Paterson, described as a "fastidious, comfortably off, and retiring architect, whose best work is too little known," had studied at the *Atelier Pascal*, and later worked for Aston Webb. After Mackenzie completed his services with Paterson, he went to Italy in 1902 for four months, and then practised in Dumfries for two years. Seeking new opportunities, James followed his older brother, William, to Prince Rupert, where one of their aunts lived. By 1908 he moved to Vancouver, where he entered the office of fellow Scot, William Bow. Mackenzie commenced his own practice in 1909, and worked mostly on residential projects in the Shaughnessy Heights subdivision. He also received the commission for the new West Vancouver Municipal Hall. The *Vancouver Daily Province*, June 1, 1912, reported "the contract was awarded this week for the municipal hall... It has been designed to conform to the general style of suburban architecture. The whole building will be heated by hot air." In 1912 Mackenzie married Amy Crabtree, an English probationary nurse, and the following year he designed an elegant Craftsman-inspired home in the North Lonsdale area of North Vancouver for his new family, which included three children by 1917. From 1913-15 he worked in partnership with A. Scott Ker. Their largest commission was a grand home in Shaughnessy Heights for Frank L. Buckley, *Iowa*, on Osler Avenue, 1913-14. As work dried up during the First World War, Mackenzie moved his office to his home. Although times were lean, he designed at least one large residence, for Robert Gibson in the North Lonsdale area, 1915, and published an extensive catalogue of house plans, of which his own house was No. 514. After the war he was associated with the Architects Small House Service Bureau (B.C.), which offered a large selection of home plans for thirty dollars each. Mackenzie was also known as a designer of teapots depicting Haida designs, which were made in Japan and were very popular there. By 1920 Mackenzie had gone into partnership with William Bow, whose daughter remembers Mackenzie's wife as a large, imposing woman, who would drop their three children off at the office when she wanted to go shopping, creating endless disruption. The partnership terminated in 1923, and Mackenzie again practised on his own. He died on May 21, 1941 at age sixty-three.



## STATEMENT OF SIGNIFICANCE: *GREEN GABLES* 114 WEST WINDSOR ROAD, DISTRICT OF NORTH VANCOUVER



**Current Address:** 114 West Windsor Road

**Historic Name:** *Green Gables*

**Original Residents:** Robert Gibson

**Architect:** James C. Mackenzie

**Construction Date:** 1915

### **Description of Historic Place**

*Green Gables* is a grand, one and one-half storey plus basement, wood-frame house, located at 114 West Windsor Road in the Upper Lonsdale neighbourhood of the District of North Vancouver. It displays features of the Colonial Revival style, and is distinguished by its jerkin-headed roofline, porches with bellcast roofs and Ionic and Doric porch columns.

### **Heritage Value of Historic Place**

Constructed in 1915, *Green Gables* is valued for its connection with the early twentieth-century growth and development of North Vancouver, and for its sophisticated architecture as designed by James Clark Mackenzie.



*Green Gables* represents the intense, speculative development that occurred across the Lower Mainland during the Edwardian-era boom period. After regular ferry service was established in 1903 and North Vancouver was incorporated in 1907, the area experienced a period of unprecedented growth and prosperity. This construction boom accelerated until a general financial depression in 1913 halted this ambitious suburban development. *Green Gables* was constructed at the twilight of the construction boom and was originally owned by Robert Gibson, a printer with the *News-Advertiser*. This grand house demonstrates the social, cultural, and aesthetic values of successful local businessmen and women of the early twentieth century, including the appreciation of architectural elegance, impressive interior spaces, leisure and recreation, and scenic views.

The ornate classical columns and detailing associate the house with the Colonial Revival style, reflecting the widespread acceptance of neoclassicism in the early twentieth century. A distinctive profile is provided by the tall chimneys, the jerkin-headed roofs, and the bellcast detailing of the porches. It is a superior example of the work of local architect, James Clark Mackenzie, who lived in Upper Lonsdale, and designed many of the grand homes in the area. *Green Gables* is also unusual for its date of wartime construction, and was built at a time when domestic construction was generally curtailed.

### Character-Defining Elements

The character-defining elements of *Green Gables* include its:

- location along West Windsor Road in the Upper Lonsdale neighbourhood of North Vancouver;
- continuous residential use since 1915;
- residential form, scale and massing, as expressed by its one and one-half storey plus basement height; jerkin-headed cross-gabled roof structure with returned eaves; shed roof dormers; and swept porch roofs;
- wood frame and masonry construction, featuring original wood lapped siding and detailing, and granite foundation with soldier coursed brick facing along the foundation on the front façade;
- Colonial Revival style architecture, featuring: second-storey overhang of the west, side-gabled wing; wood moulding and dentil coursing across all elevations; wood window boxes on the front façade with solid scroll-cut brackets; fixed shutters on the front façade; square wood pilaster mullions dividing the tripartite window assembly on the west side of the front façade, with wooden keystone detail in the lintel; column-facing at each corner of the shed roof dormer of the front façade; projecting wood sills across all elevations; vented louvres; projecting front entryway, set close to grade, comprised of original ornate wood columns with Ionic capitals, detailed scroll-cut wood brackets, and tongue-and-groove wood soffit; and partially enclosed side porch on the east elevation, comprised of simple wood columns with Doric capitals, wood porch beams, and tongue-and-groove wood soffit and decking;
- variety of original wood window assemblies, including single, bipartite and tripartite 6-over-1 true-divided double-hung windows with wood horns; a tripartite 6-over-1 with 10-over-1 centre unit true-divided double-hung window with ornamented wood mullions with wood horns; fixed true-divided multi-lite windows; multi-partite true-divided multi-lite casement windows; and fixed leaded glass windows;
- original exterior wood doors, including front door with inset panels and mail slot; wide side entry door on the east elevation with inset panel and true-divided multi-lite window,

flanked by twin true-divided multi-lite sidelites with wood bases and inset panels to match the door; and rear double-door assembly with large multi-lite fields of true-divided glass; and

- one external chimney, which intersects the roofline, and two internal brick chimneys of notable height; and
- overall layout of interior spaces, with an open, L-shaped central staircase with wood balustrade, curving banister, bullnosed starting step with spiraled banister around the starting newel post, and panelled window bench on landing; hardwood floors, woodwork, fireplaces and stained glass panels.

## RESEARCH SUMMARY

### PUBLISHED REFERENCES:

- *Building the West: The Early Architects of British Columbia*. Luxton, Donald (Ed.). Vancouver: Talonbooks. 2007.
- Commonwealth Historic Resource Management Limited. *District of North Vancouver Heritage Inventory*. Rep. District of North Vancouver: Corporation of the District of North Vancouver, 1993. Print.
- Foundation Group Designs. *Heritage Inventory, the Corporation of the District of North Vancouver*. Rep. District of North Vancouver: Corporation of the District of North Vancouver, 1988. Print.

### FROM THE 1988-89 DISTRICT OF NORTH VANCOUVER HERITAGE INVENTORY:

ASSESSMENT INFORMATION: Old Lots 3,4 & 5

1912:	Sub-lots 1 & 2 - Owner: Mrs J.B Gibson, Portland Oregon Joint improvements: \$1,500	1917:	Book Missing
1914:	Lot 3 Owner: Mrs J.B. Gibson (265 E 50th St, Portland Oregon) Land: \$325 Imp: \$1,500 Lot 4 Owner: Robert Gibson Land: \$325 Imp: \$0 Lot 5 Owner: Mrs G.W. Marshall Land: \$325 Imp: \$0	1918:	Lot 3 Owner: Miss Janet Loudon Gibson. Land: \$300 Imp: \$3,000 Lot 4 Owner: Miss Janet Loudon Gibson. Land: \$225 Imp: \$0
1915:	No improvements listed on any of these lots	1919:	Same as 1918
1916:	Lot 3 Owner: Mrs Robert Gibson Land: \$325 Imp: \$3,000 Lot 4 Owner: Mrs Robert Gibson Land: \$325 Imp: \$0	1926:	Lot 3 Owner: Miss Gibson Land: \$360 Imp: \$4,000
		1928:	Lot 1/3A Owner: Miss Gibson Land: \$600 Imp: \$4,000 Lots 4 & 5 unimproved.

### ADDITIONAL REFERENCES:

PALLANT: The Butterworth family had acquired the house by 1935; and had stables on the property. It was also known as "Green Gables".

DIRECTORIES: 1911: Robert Gibson, printer, listed at the corner of Nye and Lonsdale


- 1912: same as 1911.
- 1913: Gibson not listed
- 1916: Gibson not listed
- 1925: Gibson Janet L steno P.C. Fire Insr  
114 W Windsor N Van  
Gibson Robert h  
114 W Windsor N Van




## AGENDA INFORMATION

☒ Regular MeetingDate: Sept. 19, 2016☐ Workshop (open to public)

Date: \_\_\_\_\_

  
 AP  
 Dept.  
 Manager

  
 DM  
 GM/  
 Director

  
 A/CAO

## The District of North Vancouver

### REPORT TO COUNCIL

August 31, 2016

File: 08.3060.20/039.16

**AUTHOR:** Emel Nordin, Planning Assistant**SUBJECT:** Development Variance Permit 39.16 – 2133 Floralynn Crescent**RECOMMENDATION:**

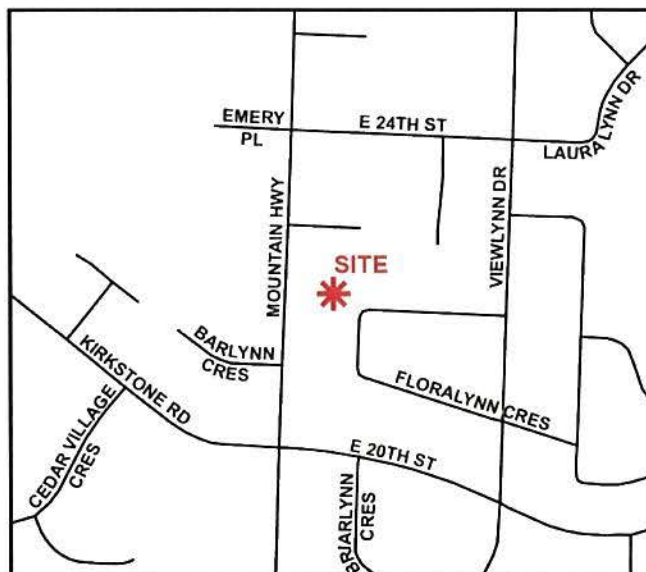
THAT Development Variance Permit 39.16 (Attachment A) be issued to allow for the construction of a coach house at 2133 Floralynn Crescent.

**REASON FOR REPORT:**

The project requires Council's approval of a Development Variance Permit to allow a one-storey coach house in the rear yard of new single family house.

**SUMMARY:**

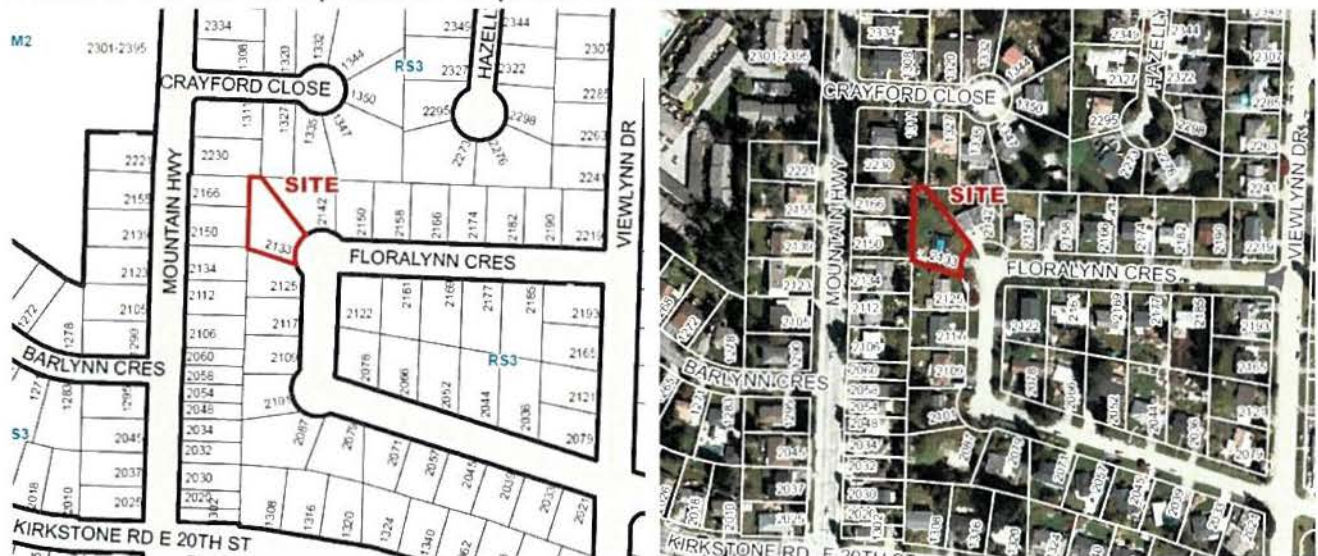
The applicant is requesting two variances to allow for the construction of a one-storey coach house in the rear yard of a new single family house. The proposal requires a variance for total size of "parking structures and other accessory buildings in combinations" and a variance to permit the location of a secondary suite outside of the main single-family dwelling.



## BACKGROUND:

The subject property is located at 2133 Floralynn Crescent, is 1023.4 m<sup>2</sup> (11,016 sq ft) in area, and 23.8 m (78 ft) in width, and is occupied by an older single family home proposed to be demolished. The site and surrounding residential neighbourhood is zoned RS3: Single-Family Residential 7200 Single-Family Residential 3 (RS3). The property is not located in any development permit areas.

Below is a context map and an air photo of the site.



## PROPOSAL:

The applicant proposes to construct a one-storey 90 m<sup>2</sup> (968 sq ft) coach house in the rear yard of a new single family home. The proposed coach house has been located in the north-west corner of the property (currently occupied by an existing shed) to address the unique lot shape.

The coach house would be accessed by a path down the north-east side of the property from Floralynn Crescent to a primary entrance on the east side of the coach house. A parking pad for the coach house is proposed at the front of the principal dwelling, and the principal dwelling will have an attached two car garage.

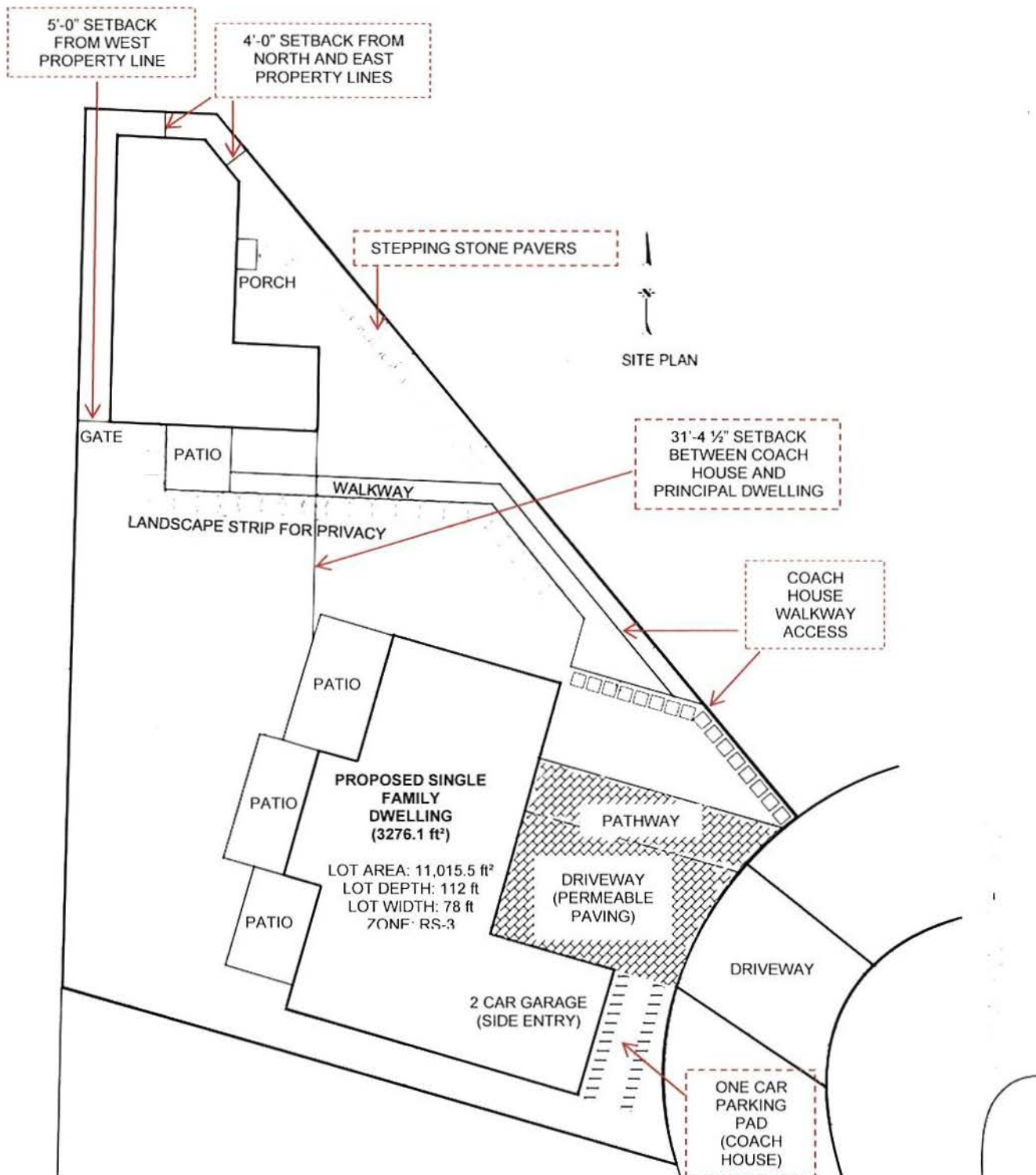
To minimize impact to adjacent neighbours, the coach house has a sloped roof, with the lowest roof height facing the north and east property lines, and the highest roof height facing the interior yard of the subject property. Window placement has been designed to preserve the privacy of adjacent neighbours, as well as the occupants of the principal dwelling and coach house.

The coach house outdoor space has been oriented towards the interior of the property to reduce impact on neighbouring properties. A secondary entrance on the south elevation of the coach house will provide direct access to this outdoor space. To provide separation



and privacy between the principal dwelling and coach house, a combination of shrubs and plants will provide screening between the outdoor spaces of each dwelling.

The site plan showing the location of the proposed coach house is shown below:



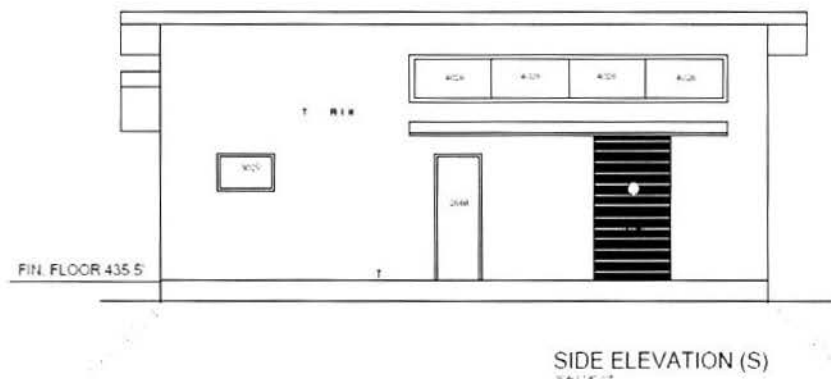
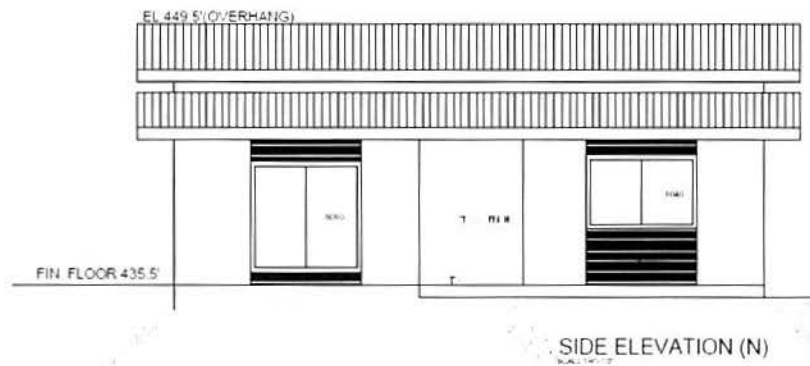
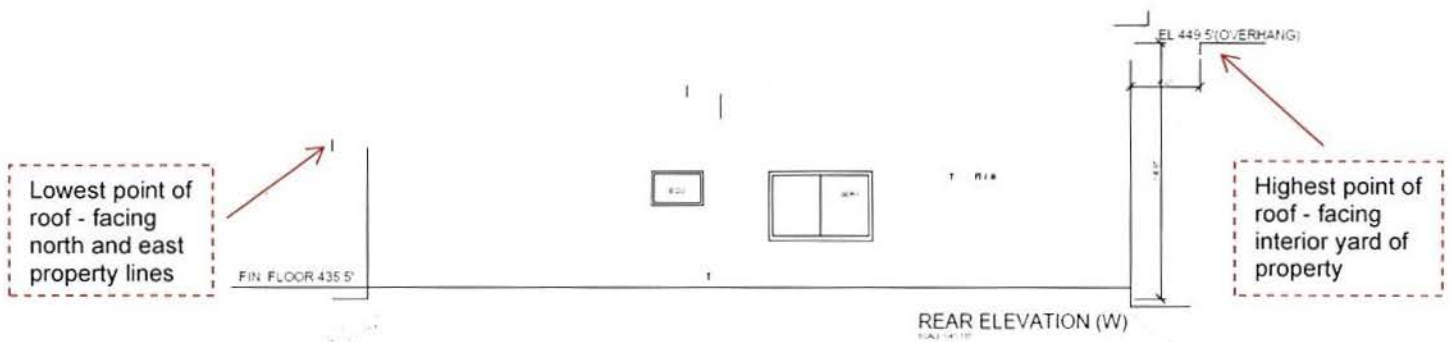
Images and elevation drawings of the proposed coach house are shown below:



**Existing house**



**Rendering of proposed new house and coach house**





**ANALYSIS:**Zoning Bylaw Compliance

The table below outlines the Zoning Bylaw variances required as part of this application:

<b>Regulation</b>	<b>Required/Permitted</b>	<b>New Work</b>	<b>Variance</b>
Location of Secondary Suite	In main dwelling	Rear yard	Allow location of secondary suite to be in rear yard
Size of Parking Structures and Other Accessory Buildings in Combinations	74.3 m <sup>2</sup> (800 sq ft)	127 m <sup>2</sup> (1367.7 sq ft)*	52.7 m <sup>2</sup> (567.7 sq ft)

\*The total floor area includes the garage in the single family house and the coach house.

***Location of Secondary Suite:***

The proposed coach house requires a variance to the Zoning Bylaw to allow for a secondary suite to be located outside of the main dwelling on the lot.

***Total Parking Structure and Accessory Building:***

The Zoning Bylaw limits "parking structures and other accessory buildings in combinations" to a total area of 74.3m<sup>2</sup> (800 sq ft). The area of the proposed coach house at 90 m<sup>2</sup> (968 sq ft) and the proposed attached two car garage in the single family house at 37 m<sup>2</sup> (399.7 sq ft) have a combined total area of 127 m<sup>2</sup> (1367.7 sq ft), meaning that accommodating the proposed coach house requires a variance of 52.7 m<sup>2</sup> (567.7 sq ft). The combined area of the garage and coach house are included in the total permitted floor space on the property.

Trees & Hedging:

The applicant has submitted an Arborist Report identifying existing on-site and off-site trees proposed for retention and removal. A total of sixteen trees within or near the property were assessed. Twelve on-site trees including one maple, one willow, and group of ten small hazelnut trees in fair condition are proposed for removal. The hazelnut and willow trees will be impacted by the proposed coach house location. Four trees on a neighbouring property, including a hedge comprised of three cedars, are proposed for removal and neighbour consent has been provided. All four of these trees have been previously topped and pose a potential hazard. Two remaining trees on neighbouring properties and one off-site District tree will be retained and protected during construction. None of the trees proposed for removal will require a permit.



Coach House Design Guidelines:

The proposal addresses the design guidelines for coach house development variance permit applications as follows:

- The proposed lot is 1023.4 m<sup>2</sup> (11,016 sq ft) in area, which exceeds the recommended minimum lot area of 929 m<sup>2</sup> (10,000 sq ft);
- The combined floor space of the single-family dwelling and the coach house do not exceed the maximum permitted floor space for the property;
- The proposed one-storey coach house meets the size, setback and height requirements of the coach house design guidelines;
- The required minimum three parking stalls are provided on-site in a non-tandem format;
- The submitted site plan illustrates a distance of approximately 9.8 m (32 ft) from the existing house and the proposed coach house in the rear of the property, which is in keeping with the minimum building separation of 6.07 m (20 ft) outlined in the coach house design guidelines;
- A private outdoor area is provided with landscape screening for privacy; and
- To ensure there are no further suites on the property a Section 219 Covenant to prohibit a secondary suite within the main dwelling is required as a condition of the attached Development Variance Permit 39.16.

**PUBLIC INPUT:**

Following consultation with staff and neighbours prior to the submission of this application, the applicant amended the design of the coach house as follows:

- The height was reduced from two storeys to one storey;
- Indoor and outdoor living areas have been oriented towards the interior of the property with only a bedroom facing the adjacent property to the north;
- A proposed attached garage to the coach house has been removed and replaced with a parking pad in front of the principal dwelling; and
- A proposed driveway along the north-east property line has been replaced with a pedestrian walkway.

As part of the Development Variance Permit application submission, the applicant provided emails from six neighbours, representing five properties, in support of the proposal.

An information letter outlining the submitted application was mailed to adjacent neighbours and the Lynn Valley Community Association. Ten responses in opposition were received, representing seven properties, four of which abut the subject site. Four responses in support were received, representing three properties, one of which abuts the subject site.

Concerns expressed by neighbours include:

- The lot shape and cul-de-sac location, with no rear lane access, is not suitable for two dwellings
- Without rear lane access, the impact of the coach house is increased, and emergency access to the coach house is limited
- A coach house in the rear yard will increase noise and impact privacy for immediate neighbours
- A larger home with a contained secondary suite is more suitable for this type of lot
- The coach house will change the look and feel of the neighbourhood, and resemble a townhouse development
- The size of the coach house is too large for the neighbourhood which features many ranchers very close in size to the proposed coach house
- As the District coach house program is in the preliminary stages, approval should not be granted when there is neighbour opposition regardless of whether the proposal meets the coach house design guidelines
- A coach house is not an affordable alternative to a basement rental suite
- Concern with loss of trees and green space
- If approved, this application could set a precedent for the area

Comments received from neighbours in support were as follows:

- The contemporary design of the proposed new single-family house will be an attractive addition to Floralynn Crescent
- The coach house will provide needed density to the neighbourhood on a large lot
- A coach house in the rear yard of the property is preferred to a larger house with contained secondary suite
- No concerns about noise or impact to quality of life

### Neighbour Meeting

In order to provide an opportunity for open dialogue, adjacent neighbours were invited to a small neighbourhood meeting with District staff and the applicant on Tuesday, August 23, 2016. Four residents attended and the meeting provided the opportunity to hear from neighbours both in support and in opposition.

Further comments regarding the proposed coach house were documented as follows:

- The proposal does not closely resemble the examples provided in the District's coach house design guidelines
- A suggestion that a lot area of 929 m<sup>2</sup> (10,000 sq ft) does not necessarily make a lot suitable for coach house development
- Pedestrian traffic to the coach house will be an intrusion
- It is important to consider the right location for a secondary suite on a given lot

- The coach house will be too close to adjacent neighbour backyards and gathering spaces
- There is no guarantee as to who the tenants of the coach house will be as the property will be sold by the builder
- Fence materials and design as well as landscaping are methods to ensure privacy is preserved
- The coach house would provide appropriate housing suitable for another family or family member

The applicant provided the following comments at the meeting regarding the coach house design:

- The driveway initially proposed at the side of the property to access the coach house has been removed to address neighbour feedback
- The location of the coach house could be moved closer to the principal dwelling and away from side and rear property lines if this would resolve privacy concerns, however, this would result in outdoor space oriented towards adjacent neighbours rather than in the interior of the property

Comments regarding the coach house program in general were also noted including:

- A desire for the coach house design guidelines to provide greater clarity on process
- A concern that multiple variances are difficult for neighbours to understand
- A suggestion that lots on a cul-de-sac should have a larger minimum lot size requirement to be considered for a coach house
- Coach houses should only be considered in the right location
- Coach houses are more suitable for lots with rear lane access
- The environmental impact of coach houses compared to secondary suites contained within the principal dwelling should be explored
- Occupancy of coach houses should be reviewed – for example, whether rentals should be permitted or if they should be strictly occupied by family members

Municipal notification advising that Council will be considering whether to issue a Development Variance Permit will be sent. Response to the notification will be provided to Council prior to consideration of this application.

**CONCLUSION:**

The proposed one-storey coach house requires variances for total size of “parking structures and other accessory buildings in combinations,” and the location of a secondary suite outside of the single-family dwelling.

Some adjacent neighbours have expressed concerns with impacts on privacy, change to the look and feel of the neighbourhood, loss of green space, and whether the particular shape and cul-de-sac location of this lot is suitable for a rear yard coach house.

On balance, staff recommend Council approve the variances and issue Development Variance 39.16 because: 1.) the proposal complies with the coach house design guidelines and 2.) modifications have been made to the design of the proposed coach house to respond to neighbours’ concerns, including a reduction in height from two storeys to one storey, removal of the attached garage and driveway along the property line, and adjustments to window locations to reduce over-viewing. The modifications address in a reasonable manner the concerns expressed.

**OPTIONS:**

The following options are available for Council’s consideration:

1. Issue Development Variance Permit 39.16 (Attachment A) to allow for the construction of a coach house at 2133 Floralynn Crescent; or
2. Deny Development Variance Permit 39.16.



Emel Nordin  
Planning Assistant

Attachments:  
Attachment A – DVP 39.16

REVIEWED WITH:		
<input type="checkbox"/> Sustainable Community Dev. _____	<input type="checkbox"/> Clerk’s Office _____	External Agencies:
<input type="checkbox"/> Development Services _____	<input type="checkbox"/> Communications _____	<input type="checkbox"/> Library Board _____
<input type="checkbox"/> Utilities _____	<input type="checkbox"/> Finance _____	<input type="checkbox"/> NS Health _____
<input type="checkbox"/> Engineering Operations _____	<input type="checkbox"/> Fire Services _____	<input type="checkbox"/> RCMP _____
<input type="checkbox"/> Parks & Environment _____	<input type="checkbox"/> ITS _____	<input type="checkbox"/> Recreation Com. _____
<input type="checkbox"/> Economic Development _____	<input type="checkbox"/> Solicitor _____	<input type="checkbox"/> Museum & Arch. _____
<input type="checkbox"/> Human resources _____	<input type="checkbox"/> GIS _____	<input type="checkbox"/> Other: _____

**THE CORPORATION OF THE DISTRICT OF NORTH VANCOUVER**

**DEVELOPMENT VARIANCE PERMIT 39.16**

This Development Variance Permit 39.16 is hereby issued by the Council for The Corporation of the District of North Vancouver to the registered owner(s) to allow for a coach house in the rear yard of 2133 Floralynn Crescent, legally described as Lot 18 Block A Westlynn Plan 9426 (PID: 009-658-181) subject to the following terms and conditions:

A. The following Zoning Bylaw regulations are varied under subsection 498 (1) of the Local Government Act:

1. The total size of parking structures and other accessory buildings in combinations is increased from 74.3m<sup>2</sup> (800 sq ft) to 127 m<sup>2</sup> (1367.7 sq ft);
2. The location of a secondary suite is permitted to be detached from the single-family residential dwelling subject to registration of a Section 219 Covenant on the property in favour of the District in priority of all financial charges to ensure the coach house building contains the only secondary suite on the property.
3. These variances shall apply only to the building construction as illustrated on the attached drawings (DVP 39.16 A-C).

B. The following requirement is imposed under Subsection 504 of the Local Government Act:

Substantial construction as determined by the Manager of Permits and Licenses shall commence within two years of the date of this permit or the permit shall lapse.

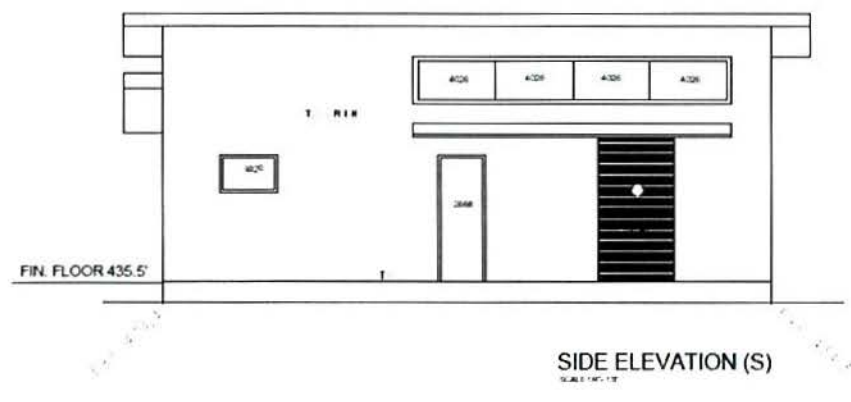
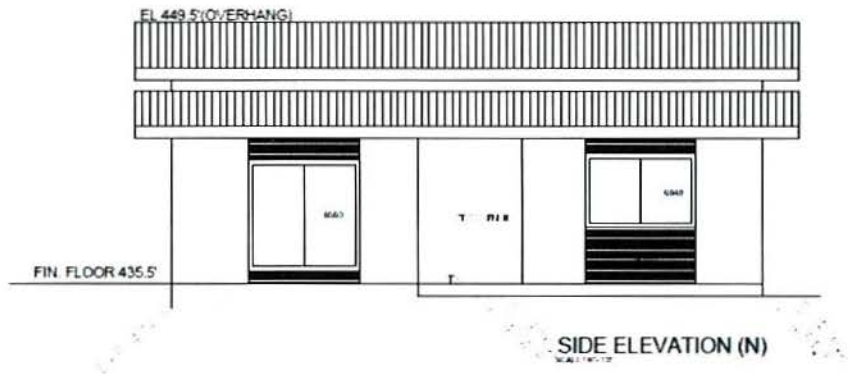
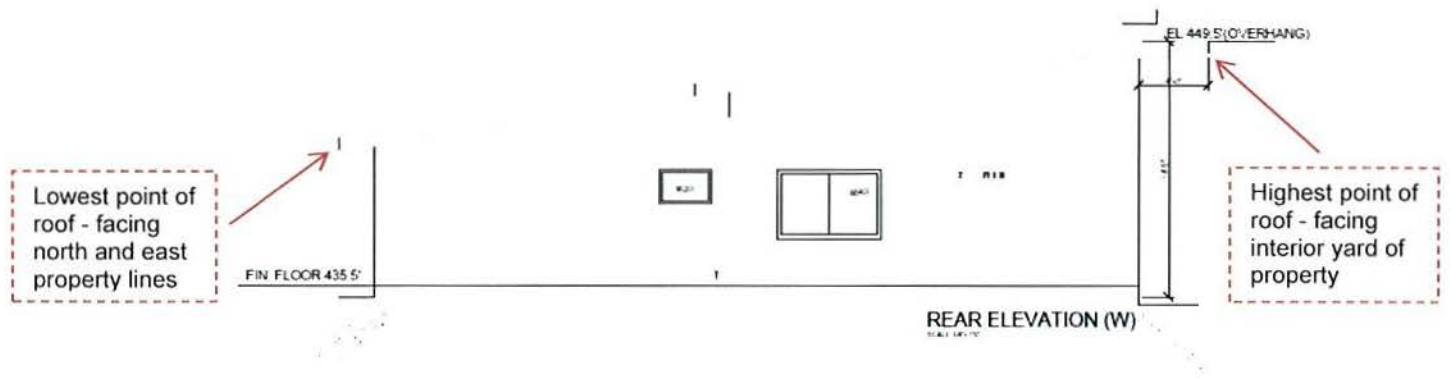
\_\_\_\_\_  
Mayor

\_\_\_\_\_  
Municipal Clerk

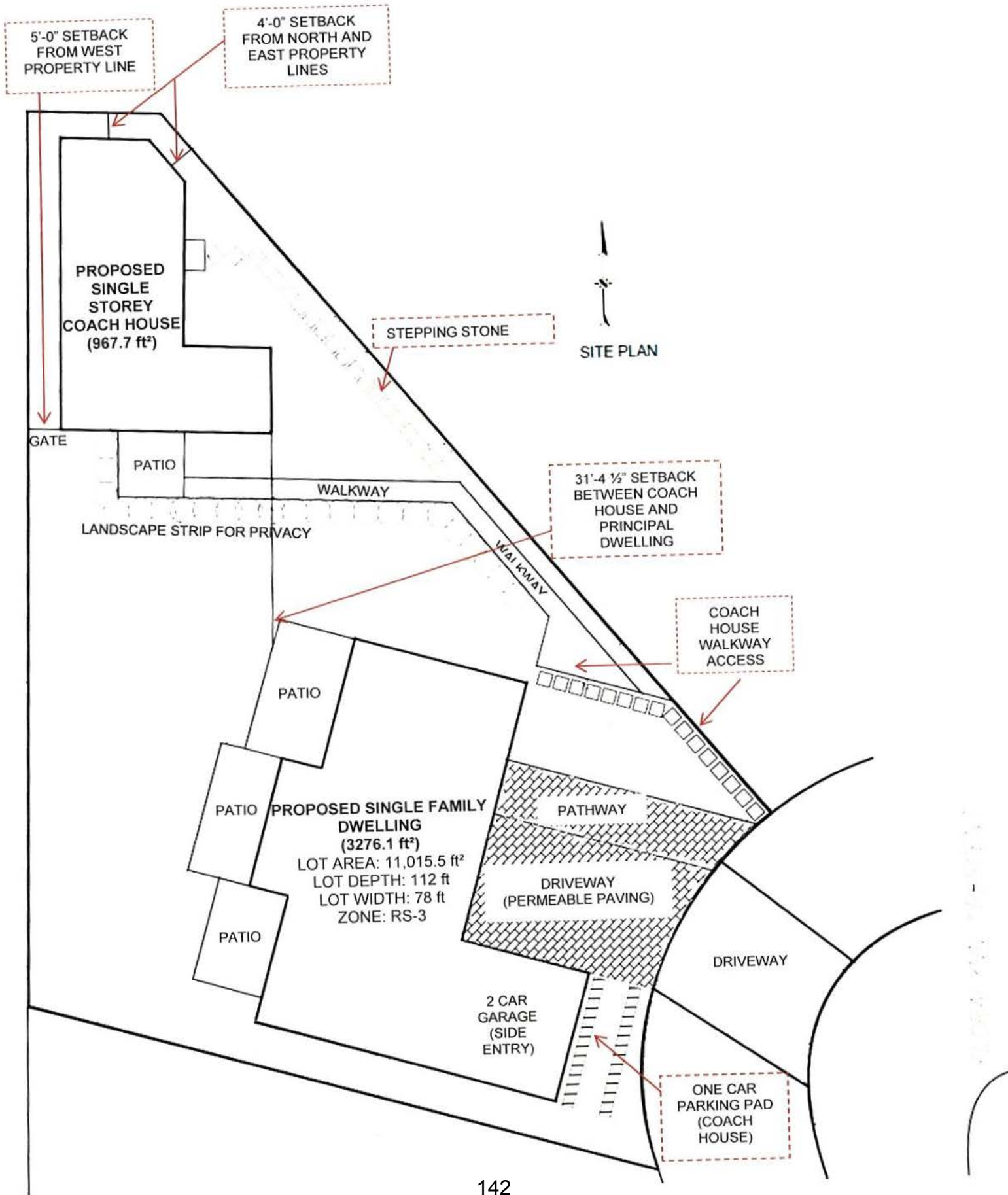
Dated this                      day of                      , 2016.











AGENDA INFORMATION	
<input checked="" type="checkbox"/> Regular Meeting	Date: <u>SEPT 19 / 2016</u>
<input type="checkbox"/> Other:	Date: _____

SDS FWR Dept. Manager	9.3 DM GM/ Director	9.3 A/CAO
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## The District of North Vancouver REPORT TO COUNCIL

September 6, 2016  
File: 13.6680.20/005.000

**AUTHOR:** S. Lunn, Policy Planner

**SUBJECT:** Summary of Delbrook Lands Deliberative Dialogue from June 2016

---

### RECOMMENDATION:

#### THAT

1. The *Delbrook Lands Community Dialogue, Final Report* prepared by Simon Fraser University's Centre for Dialogue be received for information; and
2. Staff report back in late fall with:
  - a. an analysis of the participants' recommendations based on the alignment with District policies,
  - b. financial implications of the participants' recommendations, and
  - c. next steps and timelines.

### REASON FOR REPORT:

On April 18, 2016 Council directed staff to proceed with Phase Two and Three of the Delbrook Lands Community Dialogue and report back after the June dialogue event with a summary of the participants' recommendations. This Council report presents the summary of the participants' recommendations from this event and seeks direction on next steps.

### SUMMARY:

Staff are pleased to present the *Delbrook Lands Community Dialogue Final Report*, prepared by SFU Centre for Dialogue (See attachment one). This report marks the end Community Dialogue process led by SFU. Staff will report back with an analysis of participants' recommendations in late fall and include next steps, including further opportunities for community engagement, and timelines.

### BACKGROUND:

The Delbrook High School was built in 1956 and used as a school until 1977 when a portion of the school was destroyed by a fire. The District of North Vancouver bought the site from the North Vancouver School District in 1981. Since 1982, the site and remaining buildings have been operated by the North Vancouver Recreation and Culture Commission (NVRC) as a community recreation centre. See the site map below of 600 West Queens Road.



In 2006 the NVRCC completed a comprehensive study on behalf of the District and the City to assess indoor recreation facilities and services, and identify the community's future needs. The research, along with public input, helped form the Indoor Recreation Facility Plan. Included in the Plan's recommendations was the consolidation of William Griffin and Delbrook Community Recreation Centres (CRC) into one facility. The William Griffin Centre closed in December 2013. The new consolidated facility being constructed on the old William Griffin site at 851 Queens Road is anticipated to open in early 2017. All recreation programs will transfer from the existing Delbrook CRC to the new facility in spring 2017. At this time the site will be underutilized and planning for the future use of the site needs to occur in a timely way. Little Rascal's Childcare Facility has a ground lease with the District until 2023. Consideration of future site options has included a commitment to retaining Little Rascal's on the site. Capilano Community Services Society and their partner agencies rent space in the Delbrook North building. They are moving to their new home at the new CRC in Lion Gate Village in approximately 2019. Staff are working with their Executive Director to determine an interim space plan.

**Figure 1: Site Map of 600 West Queens Road**



On September 28, 2015 Council directed staff to proceed with an engagement strategy to help determine the future of the Delbrook Lands. As a result, the District partnered with Simon Fraser University's Centre for Dialogue to conduct a community engagement process with a goal of determining the most broadly supported land use option for the Delbrook Lands at 600 West Queens Road.



In March of this year, Council received the Ideas Report from Phase One of the Delbrook Lands Community Dialogue which documented over 1,000 ideas for the future of the Lands generated by the public. In Phase Two District staff worked with SFU Centre for Dialogue staff to conduct research and technical analysis on the ideas from Phase One. This information was then compiled in the Discussion Guide (see Attachment Two). In Phase Three SFU Dialogue and District staff hosted a successful Deliberative Dialogue event on June 18, 2016 at the Delbrook Community Recreation Centre. See Attachment Three for a visual guide to the Delbrook Lands engagement process.

**EXISTING POLICY:**

The Official Community Plan and Public Assembly Land Strategy provide the policy context for any potential land use changes to the Delbrook Lands. Information on these policies were outlined for participants in the Discussion Guide.

**ANALYSIS:**

The June 18, 2016 Delbrook Lands Deliberative Dialogue provided a unique opportunity for local neighbourhood and other District of North Vancouver residents and stakeholders to provide input to the District on the future of the Delbrook Lands. The District of North Vancouver and SFU's Centre for Dialogue implemented an extensive outreach campaign to ensure that the 89 participants reflected the demographics and interests of the community. Of the 89 participants, 46 were from the local neighbourhood and/or were site users. The other 43 participants were from outside the local neighbourhood and live in the District and/or attended as a member of stakeholder groups within the larger District area. Participants reflected a range of ages; however, despite significant efforts made to register youth, the youth quota was not filled (those seats were assigned to alternates).

The data collected in the post-event surveys highlight the level of satisfaction with the event. Eighty-five percent of respondents would be interested in participating in similar events in the future and 72% of respondents are satisfied with the District of North Vancouver's consultation so far on the Delbrook Lands. The event also provided professional development opportunities for District staff to enhance their facilitation skills. Eighty seven percent of respondents felt that table facilitators provided clear explanations, guidance and support throughout the event.

The Discussion Guide provided factual information in advance of the full-day dialogue event, including a range of community and Council-generated site ideas for the Delbrook Lands, as well as relevant District policy and stakeholder perspectives.

Participants worked in small groups with District staff as facilitators to develop recommendations in the best interest of the entire community, and also expressed their individual preferences in a post-event survey.

Key findings include strong support for a multi-use site that includes green space and indoor community services such as child care and adult daycare. The majority of participants also support non-market housing if paid for by other levels of government. To help fund on-site amenities, participants proposed that the District of North Vancouver work to develop partnerships with senior levels of government and non-profit organizations, as well as

allocate funding from the District budget. A majority of participants opposed the ideas of building market housing and/or selling the Delbrook Lands.

The feedback provides a good indication of the types of uses for the site that would be supported by the community. At this stage in the process, staff recommend conducting an analysis of the participants' recommendations based on policy alignment and financial implications such as cost estimates and funding sources. Staff will need to test various land use concepts before presenting a recommended concept to Council.

**Timing/Approval Process:**

Staff will report back to Council on next steps regarding the Delbrook Lands process in late fall of 2016. Recreation programs will transfer to the new centre in 2017.

**Concurrence:**

Corporate Communications has reviewed and provided input to this report.

**Financial Impacts:**

The Discussion Guide included financial impacts of the future site options for consideration by event participants. The Final Report included participants' estimates of costs and funding sources based on uses recommended. Staff will refine the financial information related to the participants' recommendations and present this to Council in the late fall.

**Liability/Risk:**

Decisions regarding the use of the buildings and site need to be made in a timely manner so that the buildings do not sit empty once the recreation programs transfer.

**Social Policy Implications:**

The social policy implications have been included in the Discussion Guide and shaped participants deliberations. Maintaining childcare and ongoing community services on the Delbrook Lands was well-supported by event participants.

**Environmental Impact:**

Participants deliberated on site ideas with a shared understanding regarding the environmental constraints, such as protection and enhancement of Mission Creek. Staff will conduct a refined analysis on the environmental impact of the site options which will be presented to Council in late fall.

**Conclusion:**

Staff are pleased to present the Delbrook Lands Community Dialogue Final Report. This report marks the end Community Dialogue process led by SFU. Staff will report back with an analysis of participants' recommendations in late fall and include next steps, including further opportunities for community engagement and timelines.

Respectfully submitted,

  
Suzy Lunn  
Policy Planner

Attachment One: Delbrook Lands Community Dialogue, Final Report  
Attachment Two: Discussion Guide  
Attachment Three: Visual Guide

REVIEWED WITH:		
<input type="checkbox"/> Sustainable Community Dev. _____	<input type="checkbox"/> Clerk's Office _____	External Agencies:
<input type="checkbox"/> Development Services _____	<input checked="" type="checkbox"/> Communications <i>MM</i> _____	<input type="checkbox"/> Library Board _____
<input type="checkbox"/> Utilities _____	<input type="checkbox"/> Finance _____	<input type="checkbox"/> NS Health _____
<input type="checkbox"/> Engineering Operations _____	<input type="checkbox"/> Fire Services _____	<input type="checkbox"/> RCMP _____
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<input type="checkbox"/> Environment _____	<input type="checkbox"/> Solicitor _____	<input type="checkbox"/> Museum & Arch. _____
<input type="checkbox"/> Facilities _____	<input type="checkbox"/> GIS _____	<input type="checkbox"/> Other: _____
<input type="checkbox"/> Human Resources _____	<input type="checkbox"/> Real Estate _____	

# DELBROOK LANDS

## Community Dialogue

# FINAL REPORT

## SEPTEMBER 2016



# Acknowledgements

The Delbrook Lands Community Dialogue was a significant undertaking and could not have happened without the hard work and dedication of many individuals. The District of North Vancouver and its leaders are credited with taking an innovative approach to engage with their citizens. Staff members Mairi Welman and Suzy Lunn, along with many others from the Planning, Communications and Finance departments, provided key support and helped explain and describe the connections between dialogue topics and relevant District policies. Additional contributors include the large team of District staff who facilitated and took notes at each table during the two events.

Several Centre for Dialogue staff contributed to the success of this event, including Shauna Sylvester, who designed and moderated the dialogue event, Robin Prest, who provided project management in addition to designing and moderating the dialogue event, and Jenna Dunsby, who led the stakeholder outreach and served as primary author of the report and analyst of the dialogue outputs.

Finally, an especially large thank you to the residents and stakeholders who provided the ideas, input and invaluable background information in advance of the deliberative dialogue session, and to the almost 100 participants who dedicated a Saturday in June to work across individual perspectives and identify solutions that are in the best interest of the entire community. This report reflects your collective input and wisdom.



# About this report

## *Purpose of Document*

This report was independently prepared by Simon Fraser University's Centre for Dialogue under the sponsorship of the District of North Vancouver. The purpose is to provide a summary of public input shared during the Delbrook Lands Deliberative Dialogue, held June 18, 2016.

This publication does not necessarily reflect the opinions of Simon Fraser University's Centre for Dialogue or the District of North Vancouver. It is published in the Creative Commons (CC BY-ND), and may be reproduced without modification so long as credit is attributed to Simon Fraser University's Centre for Dialogue. Any works referring to this material should cite:

*Simon Fraser University's Centre for Dialogue. (2016) Final Report, Delbrook Lands Community Dialogue.*

## *About the District of North Vancouver*

With its naturally beautiful wilderness surroundings, high quality of life and close proximity to downtown, North Vancouver District is one of the most desirable places to live, work and play in the world. Home to over 85,000 residents and many major waterfront industry employers, the District's unique characteristics provide residents, business owners and visitors alike with the benefits of being part of a dynamic metropolitan region, along with the appealing attributes of living in a smaller community.

## *About the SFU Centre for Dialogue, Civic Engage Program*

Civic Engage is a program of Simon Fraser University's Centre for Dialogue designed to increase the capacity of governments and citizens to work collaboratively on policy decisions. The program leverages the Centre for Dialogue's status as a neutral facilitator and reputation as a globally-recognized centre for knowledge and practice in dialogue. Program areas include capacity building, direct services, research and public forums. For more information, visit [sfu.ca/civic-engage](http://sfu.ca/civic-engage)

# Executive Summary

The June 18 Delbrook Lands Deliberative Dialogue provided a unique opportunity for local neighbourhood and other District of North Vancouver residents and stakeholders to provide input to the municipality on the future of the Delbrook Lands. The dialogue event was part of the larger Delbrook Lands Community Dialogue process that began in January 2016.

The District of North Vancouver and SFU's Centre for Dialogue implemented an extensive outreach campaign to ensure that the 89 participants reflected the demographics and interests of the community. A Discussion Guide provided factual information in advance of the full-day dialogue event, including a range of community and Council-generated site ideas for the Delbrook Lands, as well as relevant District policy and stakeholder perspectives. Participants worked in small groups to develop recommendations in the best interest of the entire community, and also expressed their individual preferences in a post-dialogue survey. This survey allowed the SFU Centre for Dialogue team to analyze responses by stakeholder group.



Key findings include strong support for a multi-use site that includes green space and indoor community services such as additional child care and an adult daycare. The majority of participants also support non-market housing if paid for by other levels of government. To help fund on-site amenities, participants proposed that the District of North Vancouver work to develop partnerships with senior levels of government and non-profit organizations, as well as allocate funding from the District budget. A majority of participants opposed the ideas of building market housing and/or selling the Delbrook Lands.

Post-event surveys indicated that 85% of respondents would be interested in participating in similar events in the future, compared to only 3% who would not, and 72% are satisfied with the District of North Vancouver's consultation so far on the Delbrook Lands, compared to 13% who are not. Council will consider the findings in this report in fall 2016, with the timeline for a final decision and implementation to be determined.

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# 1. Introduction

In the fall of 2015, the District of North Vancouver partnered with Simon Fraser University's Centre for Dialogue to develop an engagement process on the future of the Delbrook Lands at 600 West Queens Road, with the goal of determining the most broadly supported land use options through a community dialogue. The process consisted of three phases:

## PHASE ONE: IDEAS GENERATION

People from the immediate neighborhood and across the District were invited to share their ideas on the potential future uses of the Delbrook Lands and provide input on the next steps of the engagement process via an evening community dialogue event and an online survey. Outcomes of this phase can be found in the [February 2016 Ideas Report](#).

## PHASE TWO: RESEARCH AND TECHNICAL ANALYSIS

District staff and external subject matter experts analyzed suggestions from the community and members of Council to determine a range of options for the future use of the Delbrook Lands, as well as their positive and negative impacts. This information was compiled in a [discussion guide](#). [Guidelines](#) for the deliberative dialogue were also developed and approved by District Council.

## PHASE THREE: DELIBERATIVE DIALOGUE

Local and District-wide residents and stakeholders participated in a day-long dialogue event, where they took on the role of a District planner and recommended the options they believed to be in the best interest of the entire community.

This report summarizes the results of the Phase 3 Delbrook Lands Deliberative Dialogue that took place on Saturday June 18, 2016.

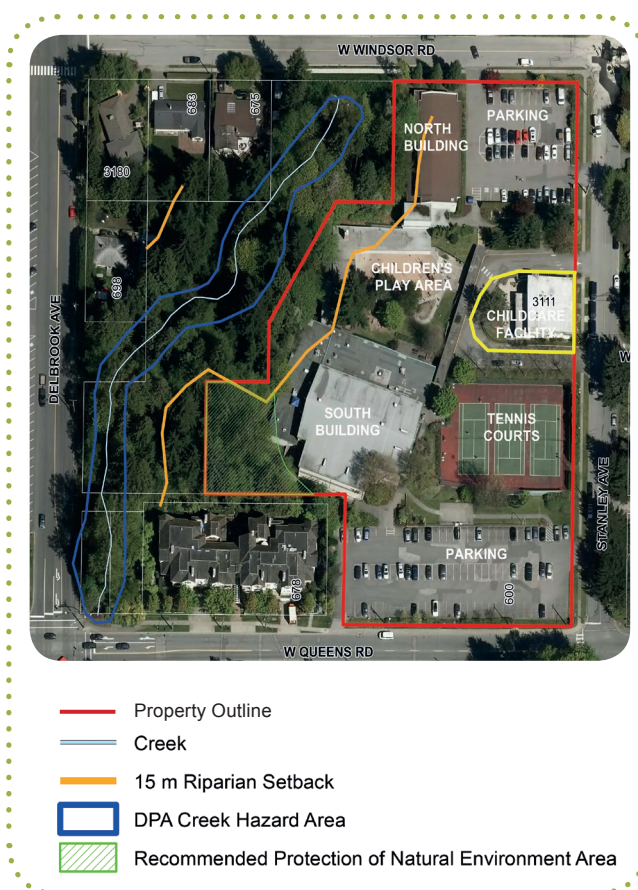


Figure 1. Delbrook Lands site map

## 2. Event Overview

### Outreach

The District and SFU's Centre for Dialogue worked together to identify and promote the Delbrook Lands Deliberative Dialogue to local neighbourhood and District-wide residents and stakeholders. A variety of communications channels were used to spread the word about the event, including:

- On-street signage in over six locations throughout the District, including at District Hall, on the Delbrook Lands site, and at a number of high-traffic intersections (Parkgate Mall, Lynn Valley fire hall, Mt. Seymour Parkway at Lillooet and Capilano at Ridgewood)
- Two postcard mail drops to all District residences
- Posters and postcards in major civic facilities
- Paid advertisements in the North Shore News and Deep Cove Crier
- Social media, including paid Facebook ads targeting specific age groups
- Direct outreach to stakeholder groups and community members who previously registered interest in the issue
- Targeted promotion to relevant organizations, such as community and business associations, site users, District advisory committees and community associations

- Direct outreach to nearby schools and youth-involved organizations (e.g. youth outreach groups, North Vancouver Recreation and Culture Commission, etc.) to identify and invite youth aged 15 and older
- Mayor's column in Deep Cove Crier
- A promotional video shared on the District's Delbrook Lands webpage and District social media accounts

### Selection process

Given staff resources required to support the event and limitations on venue size and availability within the District, registration was limited to 100 participants. To balance community input in a fair and transparent way, the Centre for Dialogue designed a selection process for these 100 spaces that included both random selection for interested residents as well as reserved seats for community organizations directly impacted by the future of the Delbrook Lands.

The selection criteria listed on page three reflect input from participants in the first phase of the engagement process, who suggested the District include a diversity of interests by ensuring that local residents, current site users, District-wide residents and District-wide community groups, and especially youth and parents of young families were present. The criteria also reflect District Council's directives to engage both local and District-wide residents and stakeholders, and to strive for inclusion of youth and gender parity among participants.



## SELECTION CRITERIA

### ***Local neighbourhood – 50 seats***

- 37 seats randomly allocated amongst residents and property owners within the local neighbourhood, including:
  - ♦ A guaranteed minimum of seven seats randomly assigned to interested young people aged 15-30.
  - ♦ Priority access for seven seats randomly assigned to interested adults aged 31-45.
  - ♦ Priority access for 13 seats randomly assigned to interested residents or property owners within 100 meters of the Delbrook Lands.
  - ♦ A maximum of three seats for interested residents or property owners from the local neighbourhood who live within the jurisdiction of the City of North Vancouver. This group was otherwise selected using the same random process as others from the local neighbourhood, with no guaranteed or priority seats.
- 13 seats directly assigned by the SFU Centre for Dialogue to representatives from identified groups that currently use the Delbrook site and/or community organizations within the local neighbourhood, up to a maximum of two seats for any single group, space allowing.

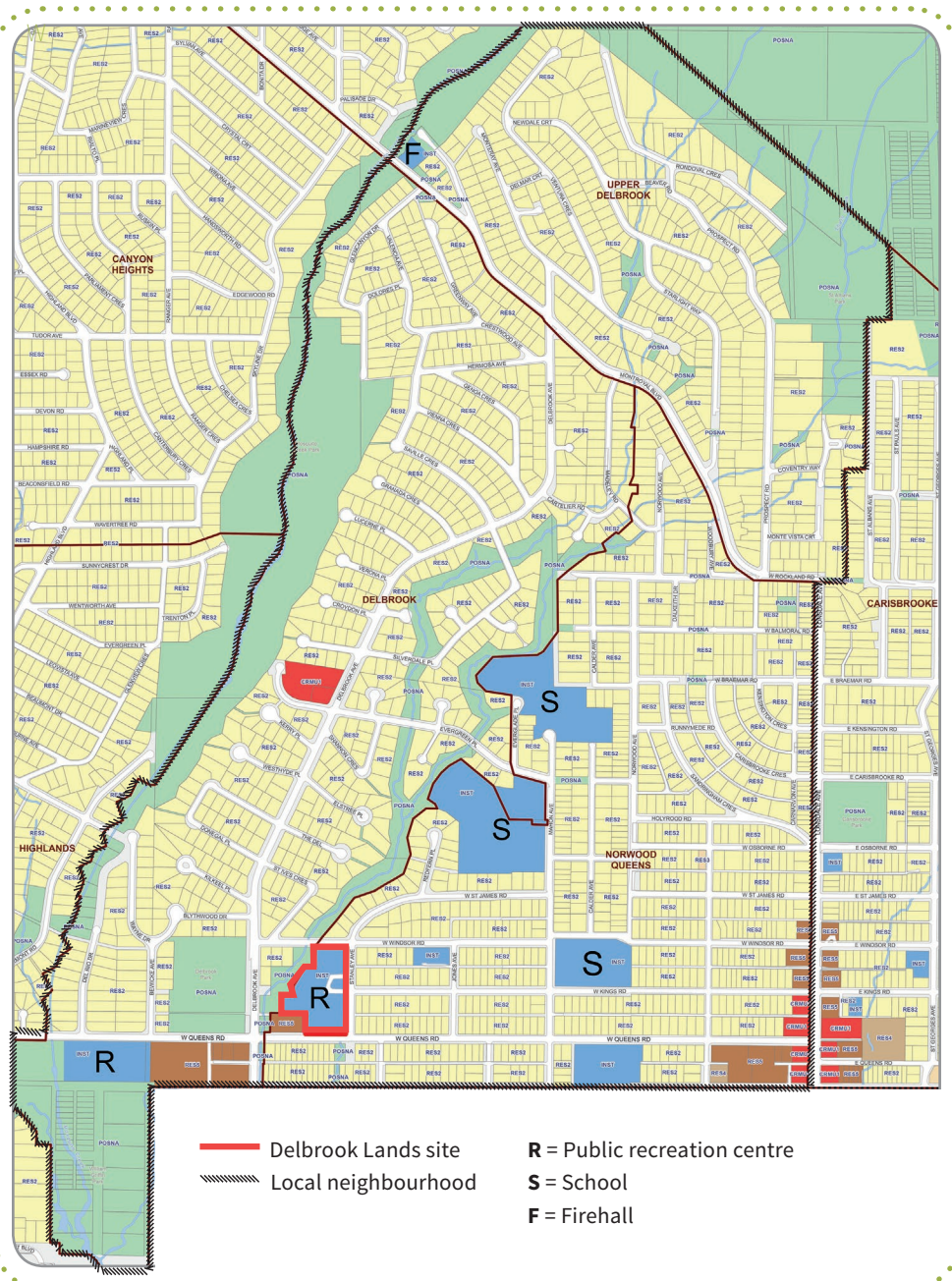
### ***District-wide – 50 seats***

- 37 seats randomly allocated to District residents and property owners from outside the local neighbourhood, including:
  - ♦ A guaranteed minimum of seven seats randomly assigned to interested young people aged 15-30.
  - ♦ Priority access for seven seats randomly assigned to interested adults aged 31-45.
- 13 seats directly assigned by the SFU Centre for Dialogue to representatives from community groups outside the local neighbourhood with an interest in the future of the Delbrook Lands, up to a maximum of two seats per group, space allowing.

SFU aimed to ensure approximate gender parity with a minimum of 45 seats for female participants and a minimum of 45 seats for male participants.

For the purpose of the deliberative dialogue, the local neighbourhood (see page four for map) was defined as:

- East of Mosquito Creek
- West of Lonsdale Avenue
- North of the Trans-Canada Highway
- South of the urban containment boundary



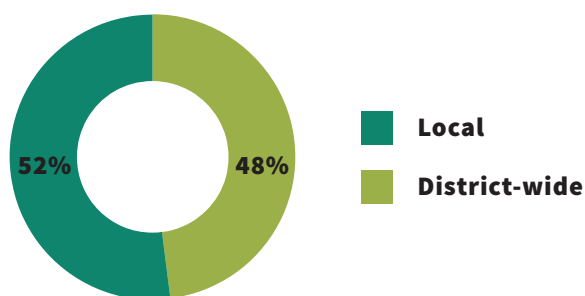
**Figure 2.** Local neighborhood and surrounding area

Residents and stakeholders were asked to register their interest via an online system or by phone. Registration was open from April 26 to May 18, and the SFU Centre for Dialogue conducted the random selection of participants in District Hall Council Chambers on May 20. In total, 100 seats were assigned.

## Participant demographics

Eighty-nine of the 100 registered participants attended the Delbrook Lands Deliberative Dialogue on June 18. The demographic and other information they provided through a pre-event survey allowed event organizers to confirm the intended participant composition and to analyze results by stakeholder group.

Of the 89 participants, 46 were from the local neighbourhood and either live there (including 18 who live within 100 metres of the Delbrook Lands and two who live in adjacent areas of the City of North Vancouver) and/or were site users (Little Rascals Daycare and Capilano Community Services Society). The other 43 participants were from outside the local neighbourhood and live in the District and/or attended as members of stakeholder groups within the larger District area.



**Figure 3.** Participant breakdown by location

Out of the 89 participants, 45 reside in the local neighbourhood.

While a number of stakeholder groups participated in the event, the following groups were specifically invited to attend:

#### Local neighbourhood

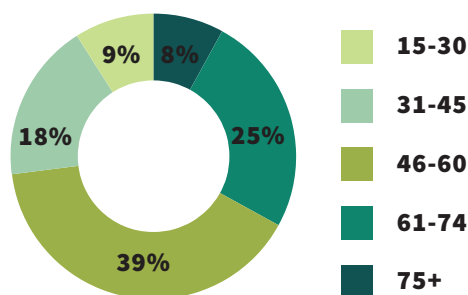
- Braemar School Parent Advisory Council
- Capilano Community Services Society
- Delbrook Community Association
- Little Rascals Daycare
- Norwood Queens Community Association

#### District-wide

- Capilano University Students Union
- Community Housing Action Committee (North Shore Community Resources)
- Edgemont Village Business Association
- North Shore Advisory Committee on Disability Issues
- North Shore Disability Resource Centre
- North Vancouver Chamber of Commerce
- North Vancouver Parent Advisory Council
- North Shore Sports Council
- North Shore Streamkeepers
- Vancouver Coastal Health
- Seniors Tennis Association of the North Shore

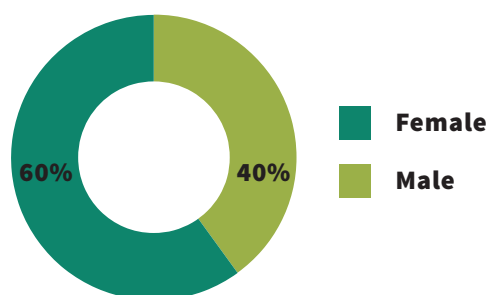
The full list of participants and participating stakeholder groups is available in Appendix A.

Participants reflected a range of ages—however despite significant efforts made to register youth, the 14-seat quota was not met (eight out of 14 seats were filled, with the rest assigned to alternates).



**Figure 4.** Participant breakdown by age

Sixty percent of participants were female, and 40% were male.



**Figure 5.** Participant breakdown by gender

## Dialogue proceedings

The Delbrook Lands Deliberative Dialogue ran from 10 am – 4:30 pm on June 18, 2016. Participants were seated at 12 tables with six to eight participants each, based on a seating chart created by Centre for Dialogue staff to ensure a diversity of interests at each table.

Each table had at least one resident who lives 100 metres from the site, an approximately equal number of local and District-wide residents and stakeholders, a range of different ages, and was as close to gender parity as possible. Each table was also assigned two District staff to fill the roles of facilitator and note-taker, who helped ensure participation from everyone at the table and accurately capture the ideas expressed.

Upon arrival, participants received a printed copy of the dialogue discussion guide that everyone had received electronically prior to the event and was strongly encouraged to read. They were asked by their table facilitators to fill out a pre-event survey to help SFU's Centre for Dialogue gather demographic

information and attitudes about the Delbrook Lands.

The event began with an opening from Acting Mayor Jim Hanson and SFU Centre for Dialogue Moderators Shauna Sylvester and Robin Prest, who clarified the scope of the dialogue and how community input would be used. Participants were then taken on small group site tours of the Delbrook Lands. The remainder of the morning was spent reviewing each major site idea in the discussion guide, with participants sharing what they liked and disliked about each idea.

After lunch, tables spent the afternoon envisioning what they would like to see on the site in the future and then working together to develop recommendations in the best interest of the entire community. Tables were encouraged to find areas of agreement and use a map of the site to help illustrate their recommendations. Recommendations included site features, site composition, estimated cost, and how the features could be paid for. Towards the end of the event, one representative from each table was asked to pitch their table's proposal to the entire room. Nine tables arrived at recommendations that everyone in the group could agree on. Five minority reports emerged from four tables unable to reach agreement among all participants.





The event ended with Mayor Richard Walton addressing participants and Dan Milburn, Acting General Manager of Planning, Property and Permits, discussing next steps in the process of deciding the future use of the Delbrook Lands. Participants were asked to fill out a post-event survey, which provided them with an opportunity to express their individual preferences for specific ideas – in contrast to the table proposals, which represented areas of agreement and compromise among groups. Each anonymous survey was assigned a tracking code, allowing Centre for Dialogue staff to pair pre- and post-surveys to participant demographic information and break down results by stakeholder group. The survey also allowed participants to provide feedback about their satisfaction with the dialogue event and consultation process.

#### DISCUSSION GUIDE

To help support the event, SFU's Centre for Dialogue worked with the District of North Vancouver to prepare a discussion guide. The guide contained factual information to support participant conversations, including the relevant policies and plans that set the context for future change in the District and local neighbourhood. It also contained a range of six potential site ideas based on earlier community and Council input from phase one, each with a description including estimated cost and common arguments for and against each action from different stakeholder perspectives.



# 3. Major Themes and Findings

## Methodology

This section outlines the major themes emerging from table recommendations during the Delbrook Lands Community Dialogue. For the purpose of this report, ‘themes’ are defined as recommendations proposed by at least four of the 12 tables. These recommendations represent areas of agreement that emerged after several hours of deliberation among participants who reflected diverse perspectives. Within each theme, we present the full list of table suggestions to highlight variations in approach.

Quantitative results from the post-dialogue surveys are presented alongside each theme to provide a better understanding of overall participant support. These survey results use a scale where a score of one indicates ‘strongly against,’ a score of three indicates ‘neutral’ and a score of five indicates ‘strongly in favour.’ Centre for Dialogue staff explicitly highlight results from local neighbourhood and District-wide participants when support varies between these groups by more than 10 percentage points. Broad support among participants is intended to be a major criterion for shaping the plan that goes forward to Council.

Qualitative results from the post-dialogue survey free-text questions are presented where relevant. Responses that received more than 10 mentions by participants are highlighted.

Policy alignment, cost and funding sources are important factors in deciding on the site’s future and were outlined for participants to consider during their deliberations. Explicit evaluation of participant recommendations based on these criteria is outside of the scope of this report.

### MINORITY REPORTS

For the tables unable to reach consensus on site composition and features, participants holding dissenting views were asked to submit a minority report. These reports consisted of the same information included in the majority recommendations: site features, total cost and funding sources. A total of five minority reports were submitted from four different tables.

The views shared in these minority reports were largely captured in post-event survey data, but have also been noted in footnotes where applicable. For the full text of the minority reports, please see Appendix C.

## Key findings

The following sections highlight key findings from both table recommendations and individual participant input. These include:

- Participants want to see the Delbrook Lands benefit both the local and District-wide community, and showed strong support for a multi-use site that includes green space and indoor community amenities, such as additional child care and an adult daycare
- The majority of participants supported non-market housing if paid for by other levels of government
- To fund on-site amenities, participants proposed that the District of North Vancouver work to:
  - Develop partnerships with senior levels of government and non-profit organizations
  - Re-allocate funding from the District budget
- The majority of participants opposed building market housing and/or selling the Delbrook Lands

The full text of each table's recommendation and site composition map are available in Appendix B. Full individual survey results are available in Appendix D.



## Site composition

### Group recommendations

In their recommendations, tables grouped site features into a variety of combinations. Two themes emerged:

- Eight out of 12 tables envisioned a multi-use site with parkland, indoor community amenities and non-market housing<sup>1</sup>
- Four tables proposed a multi-use site with parkland and indoor community amenities only<sup>2</sup>

Further details about what tables meant by community amenities can be found on page 12.

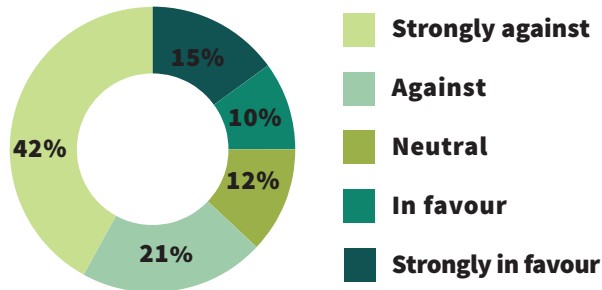
### Relevant survey results

Site ideas appear as themes in this report if recommended by four or more tables. The following site ideas failed to meet this threshold and were opposed by the majority of participants in post-event surveys:

<sup>1</sup> One of these tables submitted a minority report that did not include non-market housing.

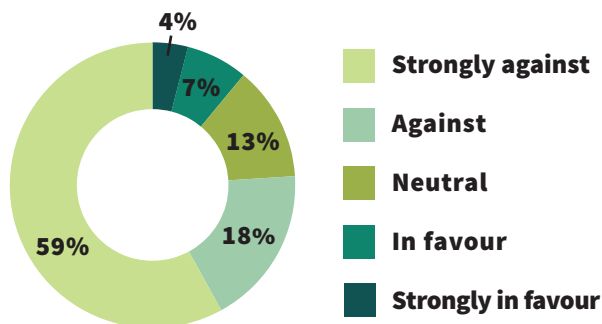
<sup>2</sup> Two of these tables submitted minority reports that included housing.

- Demolishing the buildings and seeding the grounds with grass, leaving the rest of the site as is (63% of respondents were against or strongly against)



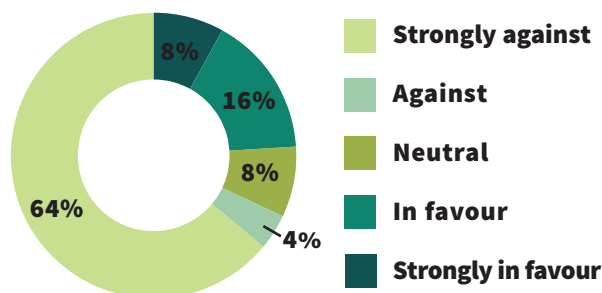
**Figure 6.** Participant support for seeding building site with grass

- Upgrading the existing buildings to provide community use for another 25 years (77% of respondents were against or strongly against)



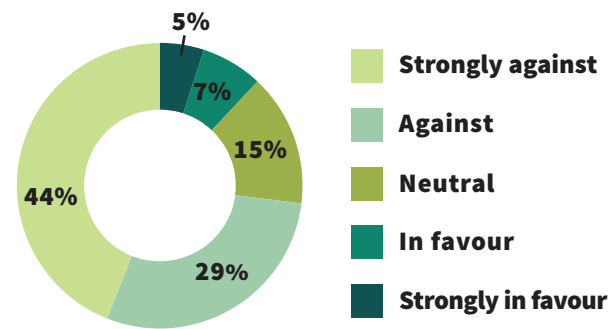
**Figure 7.** Participant support for building upgrades

- Market housing (68% of respondents were against or strongly against)



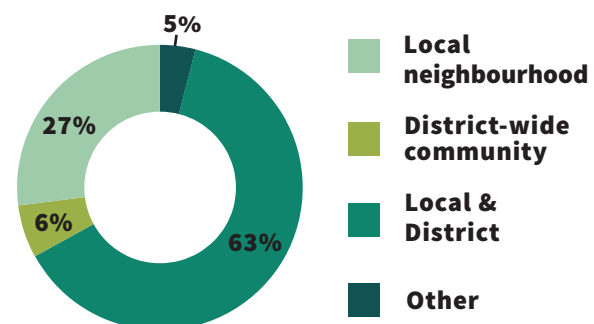
**Figure 8.** Participant support for market housing

- A commercial business that serves the local community (73% of respondents were against or strongly against)



**Figure 9.** Participant support for commercial use

Participants were also asked to select whether the future use of the Delbrook Lands should primarily serve the local neighborhood, the entire District, or both. Results show that the majority of participants (63% of respondents) feel the future use of the Delbrook Lands should serve both the local neighbourhood and the District-wide population.



**Figure 10.** Participant preferences for who the Delbrook Lands should serve in the future

## Site features

The following section highlights recommended site feature themes, mentioned by four or more tables. For the full recommendations, please see Appendix B.

### Theme 1: Parks and outdoor recreation

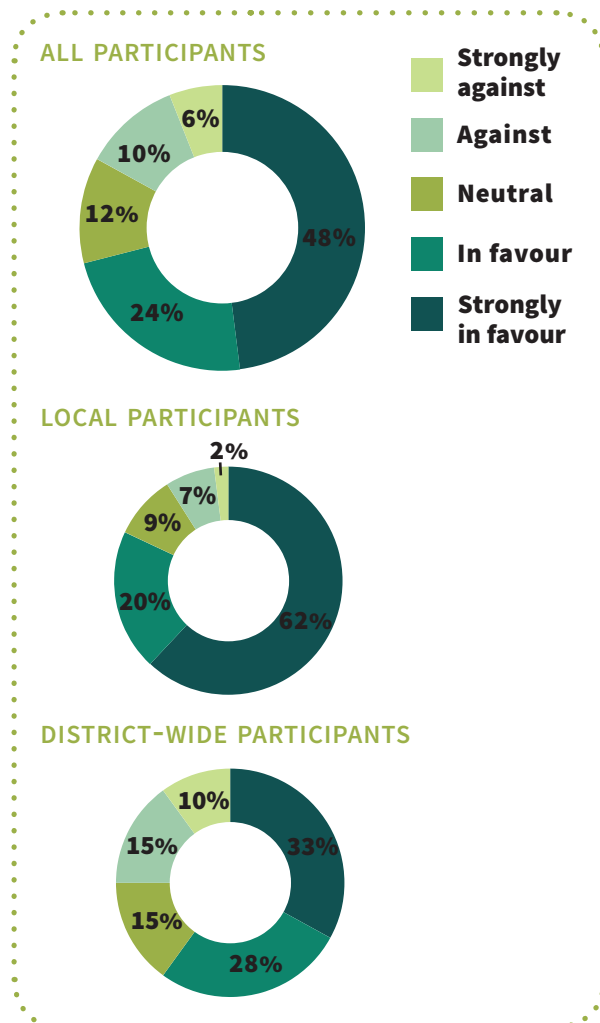
#### Group recommendations

For parks and outdoor recreation, seven ‘neighbourhood parkland’ features were proposed. These features, which would primarily serve residents within a 10-minute walking distance, are:

- Multi-use park/green space (11 tables)
- Community garden (eight tables)
- Playground (seven tables)
- Trails (seven tables)
- Retaining the tennis courts (six tables)
- Mission Creek enhancements (five tables)
- Picnic area (five tables)

#### Relevant survey results

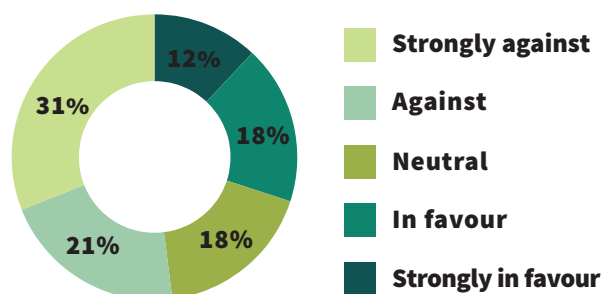
Post-event survey results show that the majority of all participants individually support neighbourhood parkland and related features. Seventy-two percent of respondents were in support, with 82% of local neighbourhood participants in favour or strongly in favour compared to 61% of District-wide participants.



**Figure 11.** Participant support for neighbourhood parkland

Participants were asked to provide input specific to the idea of having community gardens on the site and 62% of respondents were in favour or strongly in favour.

Only 30% of all respondents were in favour or strongly in favour of community and district park ideas, which are features suited for larger park spaces that serve a greater number of residents (e.g. bike skills park, long board course).



**Figure 12.** Participant support for community & District parkland

## Theme 2: Community services, recreation and cultural facilities

### Group recommendations

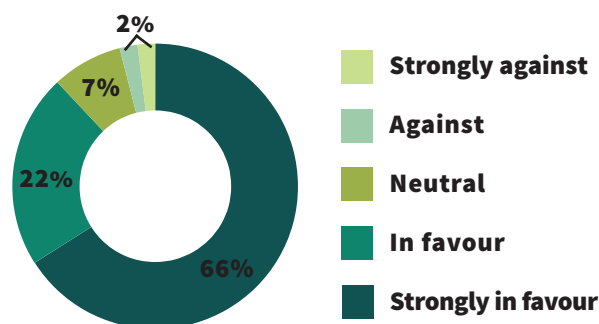
For community services, recreation and cultural facilities, three features were proposed by four or more tables:

- Additional child care and adult daycare (eight tables)
- A multi-use building or 'community hub' (four tables)
- Underground parking (four tables)

All four tables who proposed the multi-use building recommended that it include an additional child care and adult daycare (and have been counted in the eight tables that recommended this feature). They also recommended that the building include a seniors and youth/intergenerational centre (two tables), a café (two tables), cultural space (two tables), a medical clinic (one table) and recreational services (one table).

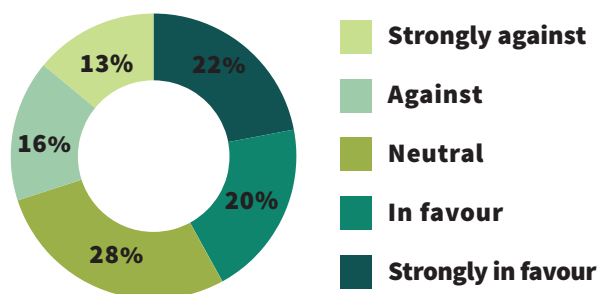
### Relevant survey results

A strong majority of all participants support the idea of an additional child care and adult daycare facility, with 88% of respondents in favour or strongly in favour.



**Figure 13.** Participant support for additional child care & adult daycare

While there was no option for a multi-use building in the post-event survey, the related idea of a cultural centre received mixed support, which only three tables explicitly supported in their recommendations. Only 42% of respondents were in favour or strongly in favour.



**Figure 14.** Participant support for cultural space



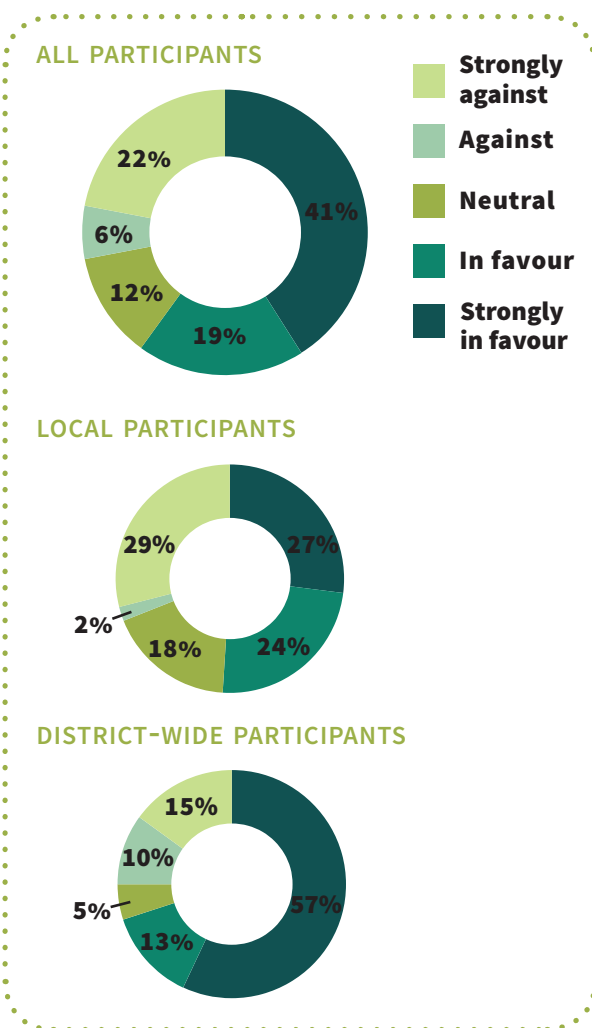
## Theme 3: Non-market housing

### Group recommendations

Eight tables proposed non-market housing for the site.<sup>3</sup>

### Relevant survey results

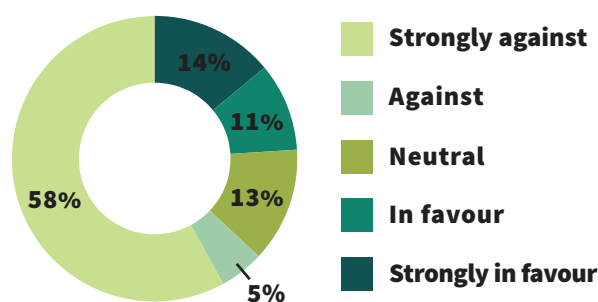
The idea of non-market housing, if paid for by another level of government or non-profit housing funding source, received support from a majority of all participants—60% of respondents were in support. Among District-wide participants, 70% were in favour or strongly in favour, with 5% neutral and 25% against or strongly against.



**Figure 15.** Participant support for non-market housing (if paid for by another level of government or non-profit housing source)

Among local neighbourhood participants, 51% were in favour or strongly in favour, with 18% neutral and 31% against or strongly against.

There is significantly less support for the idea of non-market housing if paid for through proceeds from market housing development on the Delbrook Lands, with the majority of respondents against or strongly against (63%).



**Figure 16.** Participant support for non-market housing (if paid through market housing development on the Delbrook Lands)

## Land ownership and funding

### Group recommendations

Participants were asked to include potential funding sources for their recommendations, with four ideas proposed by four or more tables:

- Partnering or seeking funding from provincial and/or federal levels of government (all tables)
- Reallocating funding available in the District budget and/or tax revenue (10 tables)
- Partnerships with non-profit organizations (Six tables)
- Earning revenue from rental units and commercial leases (Four tables)

<sup>3</sup> One of these tables submitted a minority report that did not include non-market housing.

## Relevant survey results

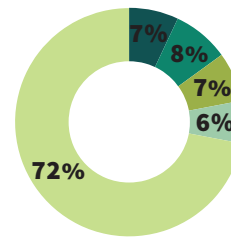
In the post-dialogue survey, participants individually shared their proposed funding sources and these responses closely aligned with the group recommendations above.

The proposed funding sources that received more than 10 mentions are listed below, and the number of participants who contributed suggestions for each theme is indicated in parentheses:

- (50)** Partnering with provincial and/or federal levels of government
- (34)** District budget and tax revenue
- (15)** Partnerships with non-profit organizations
- (11)** Fundraising in the community

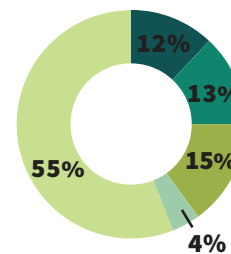
Post-event survey results show that the majority of both local and District-wide respondents strongly oppose the sale of the Delbrook Lands in all the circumstances queried—see Figure 17 for full results. The strongest opposition emerged with regard to selling the land to fund community amenities elsewhere in the District and selling the land to fund District financial priorities.

**Question:** Selling the land only if the District offsets the loss of Public Assembly lands by investing money in a reserve

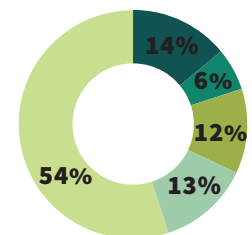


**Strongly against**  
**Against**  
**Neutral**  
**In favour**  
**Strongly in favour**

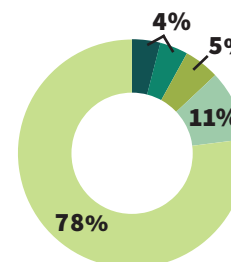
**Question:** Selling the land only if the District leases it instead of selling



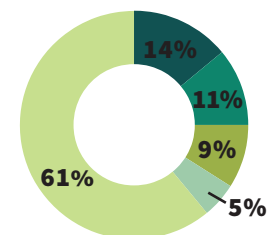
**Question:** Selling the land to fund participant recommendations for amenities on the Delbrook Lands



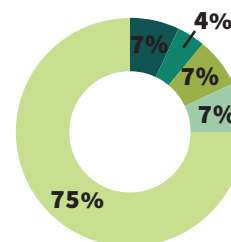
**Question:** Selling the land to fund community amenities elsewhere in the District



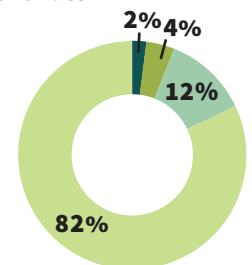
**Question:** Selling the land to fund non-market housing on the Delbrook Lands



**Question:** Selling the land to fund non-market housing elsewhere in the District<sup>4</sup>



**Question:** Selling the land to fund District financial priorities



**Figure 17.** Participant support for selling the Delbrook Lands

<sup>4</sup> 89% of local neighbourhood respondents were against or strongly against compared to 75% of District-wide respondents.

# 4. Evaluation

## Event feedback

Figure 18 below shows post-event survey results for participant event feedback. Eighty-five percent of respondents indicated they would be interested in participating in

similar events in the future and 80% felt that as a whole, dialogue participants reflected the diversity of opinions and interests in the community.

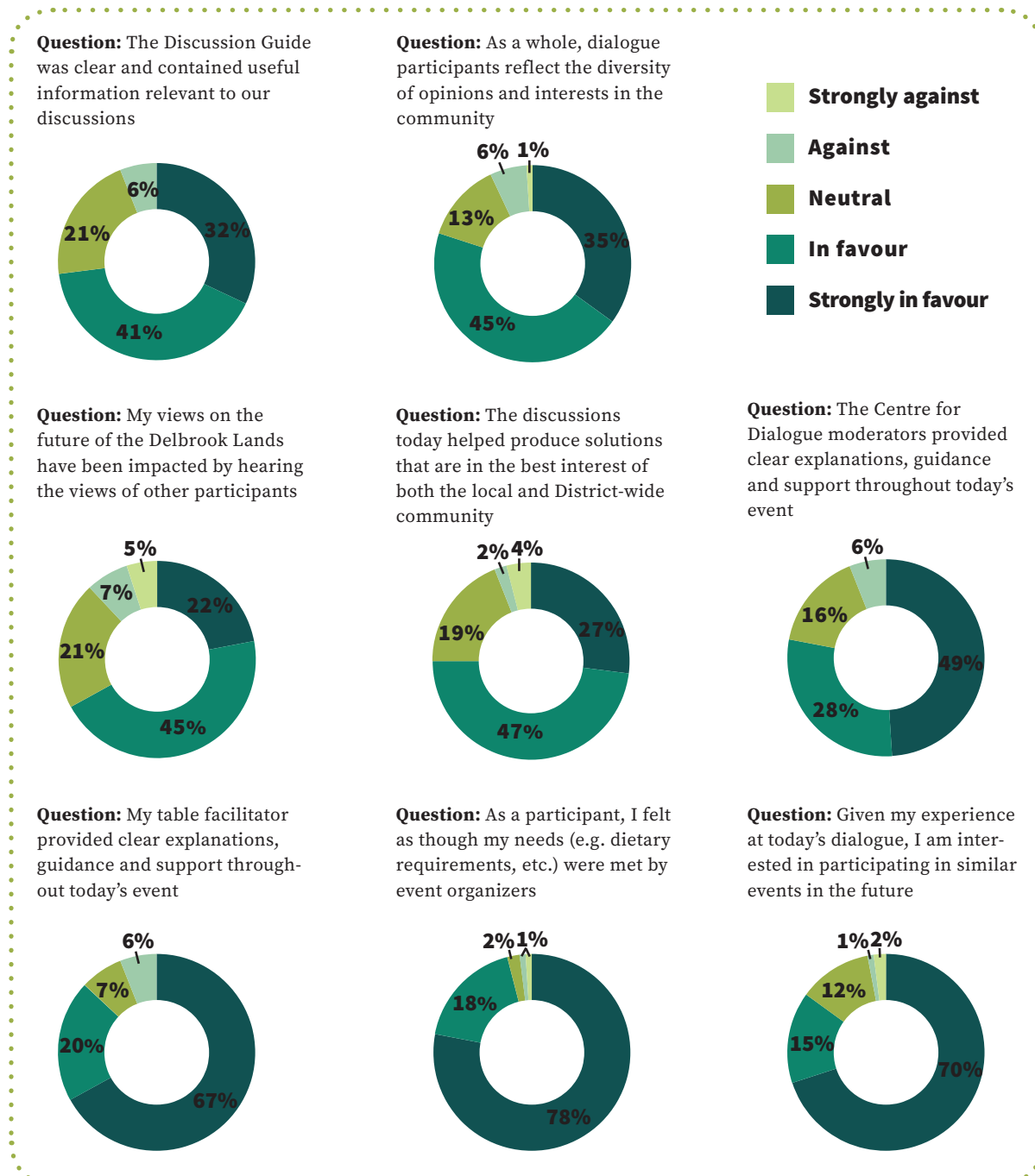
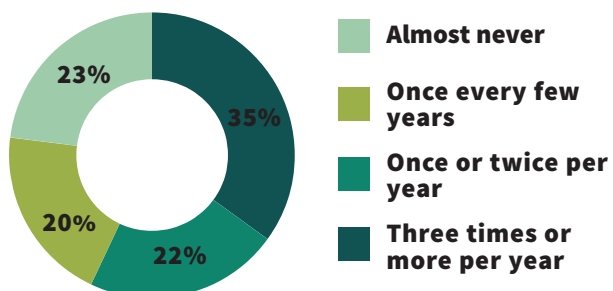


Figure 18. Participant event feedback

Participants were also asked how often they participate in District consultation events—65% of respondents indicated they participate “once or twice per year” or less.



**Figure 19.** Participant rate of participation in District consultation events

## Satisfaction with process

The question “I am satisfied with the District of North Vancouver’s consultation process so far on the Delbrook Lands” was asked in both the pre- and post-event surveys, where participants were asked to rank their agreement with the statement from one (strongly disagree) to five (strongly agree).

Survey results indicate that participant satisfaction with the process increased over the course of the day by approximately eight percentage points (Figure 20).



**Figure 20.** Participant satisfaction with the District of North Vancouver’s consultation process so far on the Delbrook Lands

# 5. Next Steps

## Participant recommendations to the District

In the post-event survey, participants were asked to individually recommend their preferred uses for the future of the Delbrook Lands to the District of North Vancouver, with many providing more than one response. Several themes emerged, largely reflecting those proposed in table recommendations. Common responses that received more than 10 mentions are listed below, with the number of participants who contributed suggestions for each theme indicated in parentheses:

- (46) Green space
- (27) Additional child care and adult day care
- (26) Flexible/multi-use indoor community space
- (23) Retain public ownership of the land
- (21) Non-market housing
- (14) Multi-use (no housing)
- (14) Multi-use (housing)
- (12) Playground
- (10) Prioritize community use and public space
- (10) Outdoor recreational activity space  
(e.g. trails, exercise equipment, etc.)

For the full text of participant recommendations in the post-event surveys, please see Appendix D.

## Reflections on the process

The future of the Delbrook Lands is an issue that many in the District of North Vancouver community care about passionately and a wide range of views were shared during the discussion on June 18. Participants worked hard to bridge differences in individual perspectives and identify recommendations that are in the best interest of the entire community. The overall tone of the dialogue was respectful and productive, with 85% of participants indicating they would be interested in attending similar events in the future, compared to only 3% who would not.

This level of satisfaction, combined with participants' ability to identify areas of compromise and mutual agreement, provides a quality reference point for Council to consider when deciding upon the future of the Delbrook Lands. Council will consider these findings in fall 2016, with the timeline for a final decision and implementation to be determined. Additional consultation may be required for detailed site design, depending on the nature of Council's final decision, as these elements were not included in the discussions.



## APPENDIX A: June 18 Participant List

Below is the list of the 89 participants who attended the June 18th dialogue event.<sup>1</sup> Those listed as “name withheld” do not wish to have their name made public.

### *Local participants*

<b>Name</b>	<b>Stakeholder seat?</b>	<b>Affiliated organization</b>
1. Diana Belhouse	Yes	Delbrook Community Association
2. Jane Chersak	Yes	Norwood Queens Community Association
3. Keith Collyer	Yes	Delbrook Community Association
4. Lora Hargreaves	Yes	Braemar Parent Advisory Committee
5. Sigrid Lightfoot	Yes	Little Rascals Daycare
6. Francesca Mastroieni	Yes	Little Rascals Daycare
7. Renée Strong	Yes	Capilano Community Services Society
8. Bonnie Adie		
9. Steve Alavi		
10. Tina Bailey		
11. Luke Bailey		
12. James Bateman		
13. David Bolt		
14. Gerry Brewer		
15. Deb Brown		
16. Antonia Collyer		
17. Fred Evetts		
18. James Gill		
19. Susan Inouye		
20. Colin Lancaster		
21. Bill Lloyd-jones		
22. Andrew MacKay		
23. Natalie Marchesan		
24. Ramona Materi		
25. Terry McAlduff		
26. Mary Moher		
27. Shirin Nabavinejad		
28. Stephanie Olsen		
29. Nina Preto		
30. Keith Reynolds		

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1 Of the 13 seats originally reserved for local stakeholders, eight were filled and the rest were given to alternates chosen during the May 20 random selection process (one of the eight did not attend). Of the 13 seats originally reserved for District-wide stakeholders, 11 were filled, and the rest were given to alternates.

31. Susan Rhodes
32. Dan Ross
33. George Stewart
34. Shelley Tapp
35. Linda Travers
36. Amy Tsang
37. Krista Tulloch
38. Allison Walter
39. Dave Watt
40. Karin Weidner
41. Patricia Young
42. Name withheld
43. Name withheld
44. Name withheld
45. Name withheld
46. Name withheld

### *District-wide participants*

<b>Name</b>	<b>Stakeholder seat?</b>	<b>Affiliated organization</b>
47. Erin Black	Yes	Vancouver Coastal Health
48. Alexis Chicoine	Yes	North Shore Advisory Committee on Disability Issues
49. Dawn Copping	Yes	North Shore Sports Council
50. Alysa Huppler-Poliak	Yes	Capilano University Students Union
51. Warren McKay	Yes	Cool North Shore Society
52. Kim Miles	Yes	North Shore Disability Resource Centre
53. Karen Munro	Yes	North Shore Streamkeepers
54. Amanda Nichol	Yes	North Vancouver Parent Advisory Council
55. Don Peters	Yes	Community Housing Action Committee (North Shore Community Resources)
56. Bella Tata	Yes	Seniors Tennis Association of the North Shore
57. Sherry Violette	Yes	Edgemont Village Business Association
58. Eric Godot Andersen		Blueridge Community Association
59. Arzoo Babul		Edgemont & Upper Capilano Community Association
60. Grig Cameron		Edgemont & Upper Capilano Community Association
61. Marta Carlucci		Driftwood Village Co-housing
62. Lisa Chapman		
63. Adrian Chaster		Edgemont & Upper Capilano Community Association
64. Peter Clark		
65. Hazen Colbert		
66. Jillian Cooke		

67. Pamela Costanzo	
68. Hesam Deihimi	
69. Diana Dorey	
70. Barry Forward	
71. Cyndi Gerlach	North Vancouver School District
72. Kim Gilker	
73. McKenna Herback	
74. Meggie Hou	
75. Corrie Kost	Edgemont & Upper Capilano Community Association
76. Kulvir Mann	North Shore Safe Routes Association
77. Sian Mill	
78. Catriona Moore	
79. Mario Rivadeneira	
80. Martyn Schmoll	
81. Claire Shepansky	
82. David Sinclair	
83. Peter Thompson	Edgemont & Upper Capilano Community Association
84. Paul Tubb	Pemberton Heights Community Association / OCP Implementation Committee
85. Dave Vyner	North Shore Curling Association
86. Dianne Wood Palgova	
87. Stanley Zhao	
88. Name withheld	
89. Name withheld	

## APPENDIX B: Table Recommendations and Maps

The following section includes verbatim text from table recommendations and associated maps with proposed site composition.

**Table 1**

### Site features:

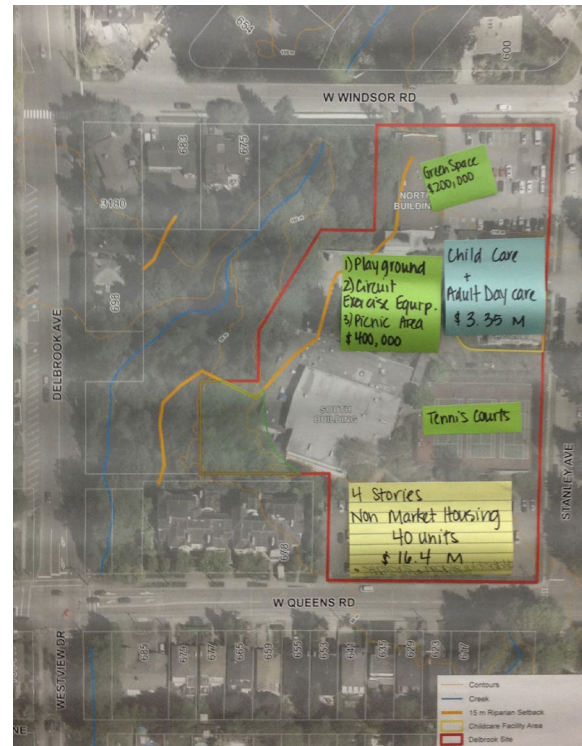
- Tennis courts: remain
- Child/adult daycare \$3.35M or retain
- Playground \$400,000
- Green space with washrooms \$200,000
- Non market housing: seniors; people with disabilities, single parents; co-op; no emergency shelter; underground parking; pets allowed \$16.4M

### Total cost:

\$20.4 M

### Funding sources:

- Rental units
- Non market housing provider agreement
- Taxes
- Partner with senior government



**Table 2**

### Site features:

- Non-market housing
- Adult/child daycare
- Parkland (passive - benches, trees, picnic areas)
- Cultural space
- Mission creek enhancements
- Underground parking

### Total cost:

\$27.55 M

### Funding sources:

- Community amenity contributions
- Municipal Budget
- Community Fundraising
- Non-profits
- Province (affordable housing)
- Federal gov't funds



**Table 3**

**Site features:**

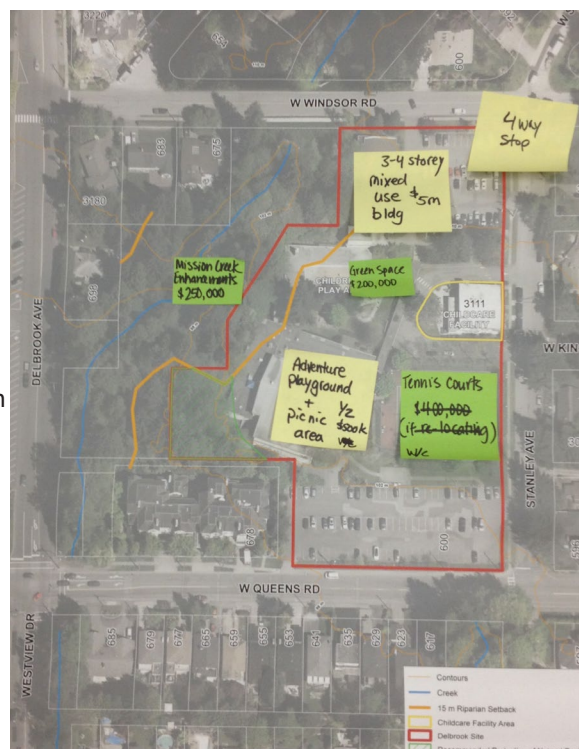
- Demolish buildings
- Riparian and walking trails
- Retain tennis courts
- Adventure playground and picnic area
- Green space/landscaping/garden
- Multi-use building (child/adult care, cultural space, community café/restaurant)
- Food trucks/farmer's market/music?
- Parking
- Balance of site available for other (future uses) when needed

**Total cost:**

Capital: \$6.5 M; Operating: \$110,000

**Funding sources:**

- Taxes
- Phasing
- Development (off-site)
- Rent from spaces
- Positive impact to health care



**Table 4**

**Site features:**

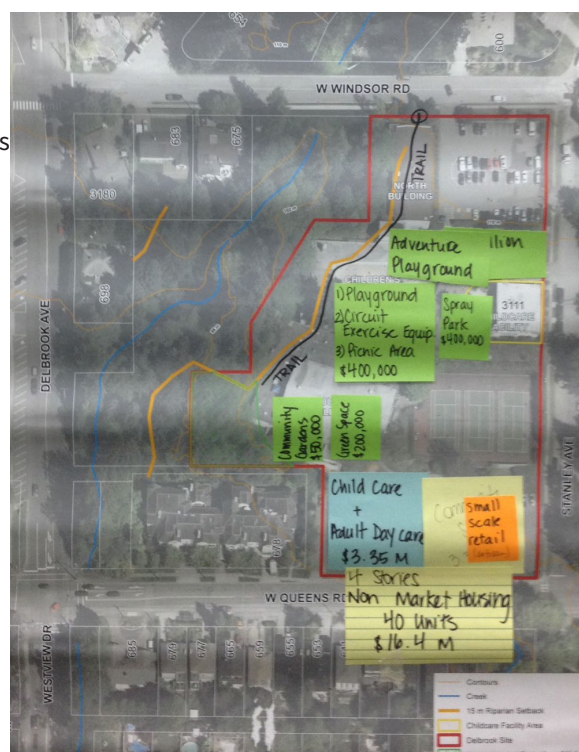
- Supportive housing for specific needs
- Community care space (cradle to grave, with services and below market housing, underground parking)
- Community garden
- Green space (multi-use)
- Playground/exercise equipment/picnic area
- Spray park
- Small scale retail (artisan specific)
- Adventure playground
- Trail
- Retain north parking lot
- Retain tennis courts

**Total cost:**

\$25.25 M

**Funding sources:**

- Partnerships with non-profit sector
- Fundraising/lease space
- Grants (federal and provincial)
- DNV funding - development cost charges





**Table 5**

**Site features:**

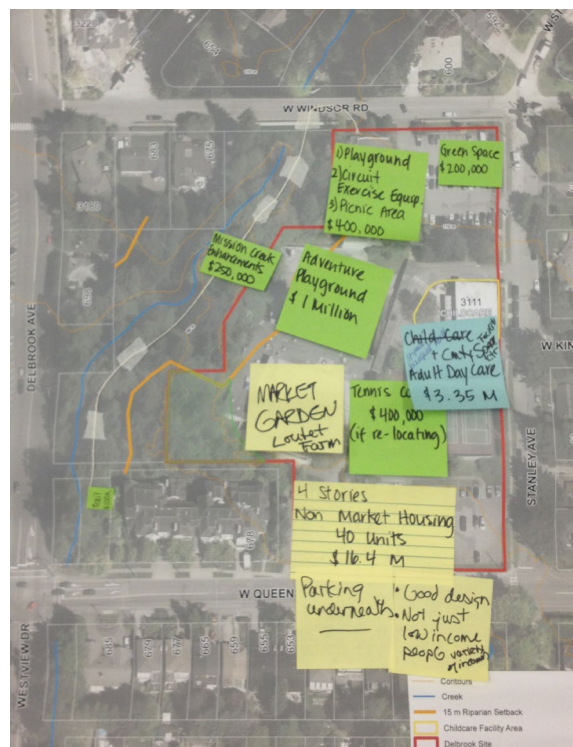
- Stays in the public domain
- Green space, playground, picnic (integrated green space)
- Creek improvements/trail enhancement
- Keep childcare
- Market garden, tennis courts (hold until further analysis of more community centres/banquet hall/ gym/etc.)
- Non-market housing for diverse population/good design

**Total cost:**

\$18.5 M

**Funding sources:**

- Non-market housing funding from feds, province, NGO
- Taxpayers



**Table 6**

**Site features:**

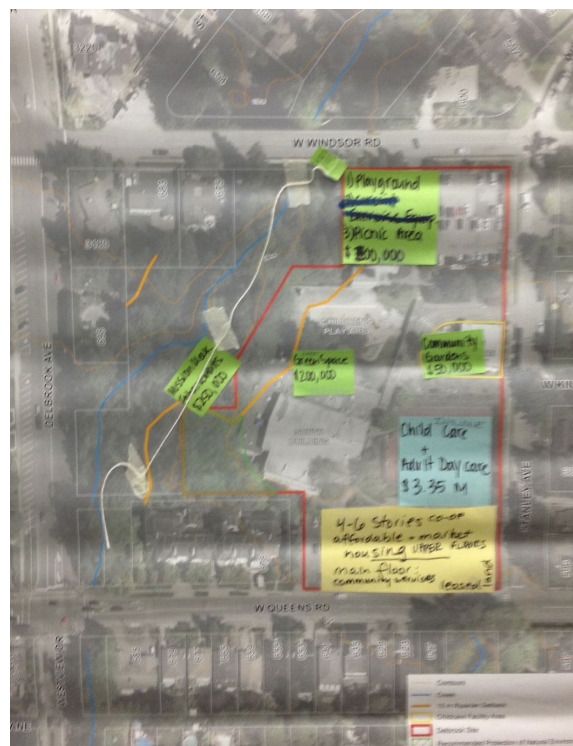
- 4-6 stories mixed housing on leased District land, main floor with community services space
- Adjacent inclusive child and adult care
- Playground and picnic area on north side of lot (higher elevation and sunny)
- Open green park space on west side beside creek
- Trail on both sides of creek
- Community gardens

**Total cost:**

\$14.25 M

**Funding sources:**

- Taxes
- Federal and provincial government



**Table 7**

**Site features:**

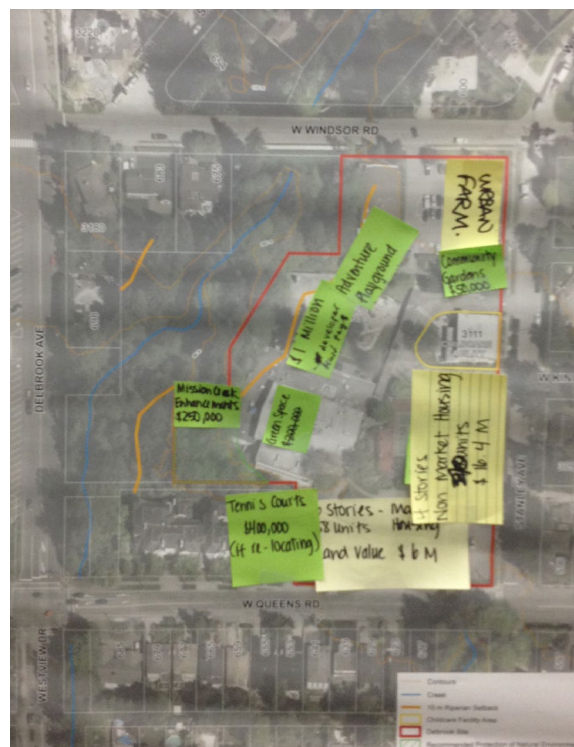
- Adventure playground
- Mission creek enhancements
- Green space with walking trails
- Community garden urban farm
- Tennis courts (possibly on roof of market)
- Existing daycare
- Non-market housing (20 units)
- Market housing (6 stories)

**Total cost:**

\$8.9 M

**Funding sources:**

- Market housing
- Property taxes
- Existing funds
- Grants



**Table 8**

**Site features:**

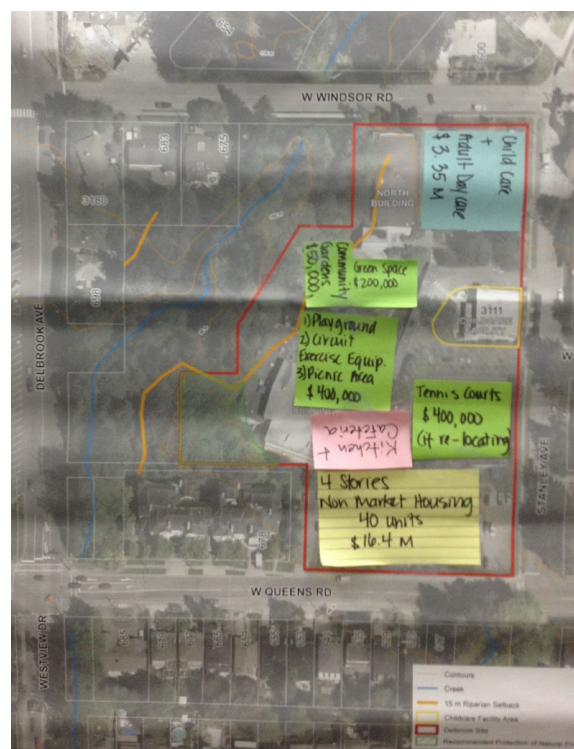
- Community garden
- Community kitchen
- Non-market housing
- Tennis courts (remain as is)
- Child and adult day care
- Playground circuit
- Green space (park)
- Creek enhancements
- Curling needs to be addressed

**Total cost:**

\$22.15 M

**Funding sources:**

- Daycare - provincial funding
- Non-market housing (Fed/Prov/local/BC housing)
- Hollyburn resource Centre (if land available)
- District
- Partner with non-profit





**Table 9**

**Site features:**

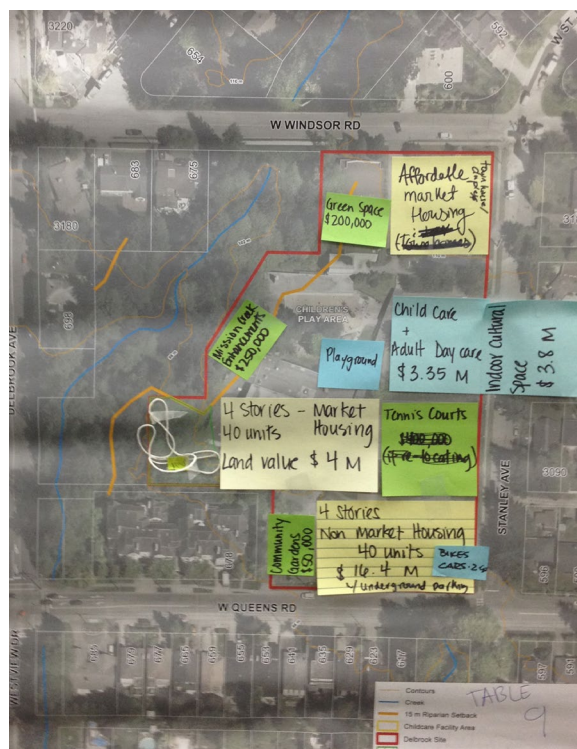
- Affordable market housing
- Child/adult day care/cultural space
- Tennis courts
- Trails
- 4-story non-market housing
- Community gardens
- Bikes/car-share
- Mission creek enhancements
- Playground

**Total cost:**

\$17.4 M

**Funding sources:**

- Fed/prov housing
- BC municipal and finance authority
- Vancouver Foundation
- Property tax as last resort



**Table 10**

**Site features:**

- Community hub (20% of site, underground parking), with adult daycare, seniors and youth centre, medical clinic, gym, daycare, possible coffee shop)
- Existing daycare
- Community garden
- Playground/outdoor events
- Tennis courts (existing)
- Green space (farmers market)
- Trail/benches

**Total cost:**

\$15.5 M

**Funding sources:**

- User fees
- Commercial leases
- Financed
- Community amenity contributions
- Government funding



**Table 11**

**Site features:**

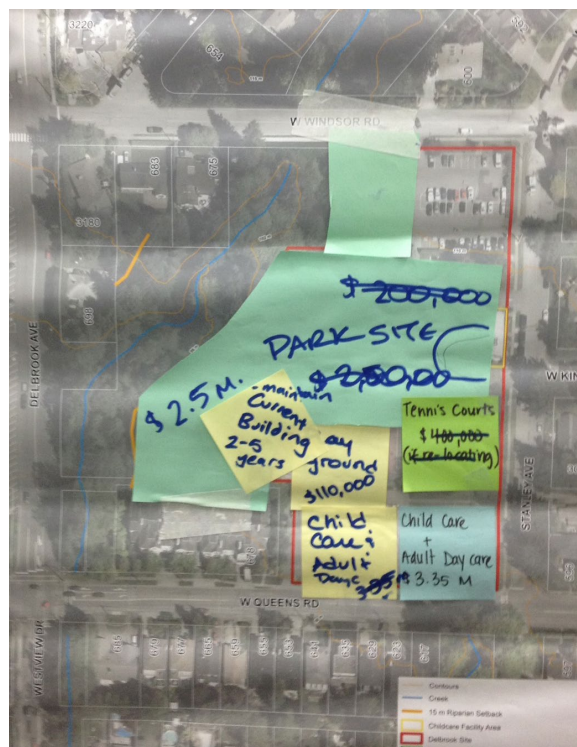
- Intergenerational centre and playground
- Underground parking
- Retain north parking lot (could be grassed in the future)
- Park green space

**Total cost:**

\$6.1 M (\$-5.8 M as keeping building for now)

**Funding sources:**

- Coastal Health
- User Fees
- Funding from different levels of government



**Table 12**

**Site features:**

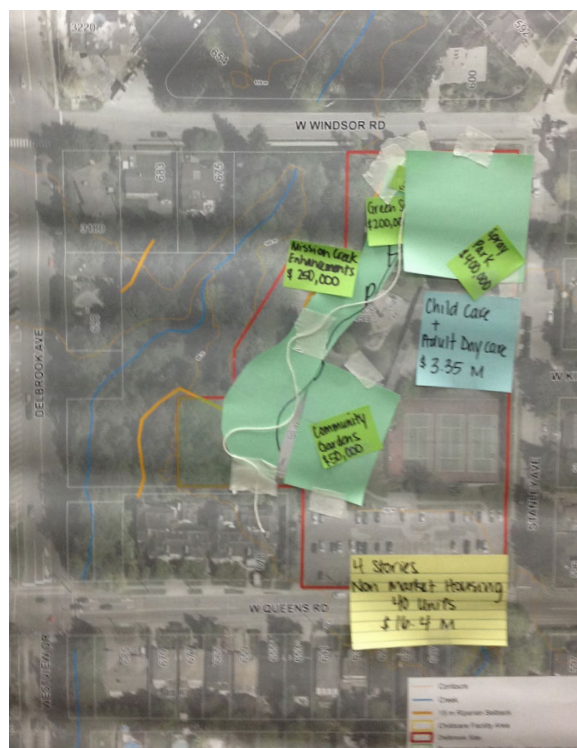
- Mission creek enhancements
- Child and adult day care
- Green space (active and passive)
- Spray park/active play
- Community/educational gardens and passive gardens
- Tennis courts (existing)

**Total cost:**

\$4.35 M

**Funding sources:**

- Child care/adult care revenue
- Federal and provincial grants
- Fundraising
- District budgeting
- Non-traditional funding sources



## APPENDIX C: Minority Reports

This section contains five minority reports from four tables submitted to SFU Centre for Dialogue organizers. Text has been provided verbatim.

### *Table 1 (3 participants in support)*

**Site features:**

- Tennis courts with lighting
- Child care
- Playground expansion
- Green space and washrooms
- Do not want the land sold–key point: 3 out of 7 DO NOT want the land developed

**Total cost:**

- \$600,000 (in budget)
- \$110,000 (playground)
- \$200,000 (general green space)
- \$50,000 (picnic area)
- = \$360,000

**Funding sources:**

It is in the budget already

### *Table 7 (1 participant in support)*

**Site features:**

- Adult/seniors & child daycare
- Cultural space
- Playground
- Trails
- Long board
- Contribution to capital fund for offsite infrastructure (e.g. pay down new Delbrook Centre debt) if possible
- Non-market housing
- Green space maximized beyond site use needs

**Total cost:**

- 3.35 M
- 3.8 M
- 110 K
- 100 K
- 50K
- = 7.4 M + non-market (16.4M) + contributions (6.2M) = 30M

### *Table 7 (1 participant in support)*

**Site features:**

- Mission Creek enhancement
- Same as Group 7 except no sale of public land
- Agree to non-market housing but this must be funded without selling public land

**Total cost:**

\$700,000

**Funding sources:**

- Existing capital fund
- Urban farm self-funded
- Provincial/federal government
- Property taxes

**Funding sources:**

- Market housing 15.0M
- Non-profit partners
- Prov & Feds for non-market housing (15M/30M)



### *Table 11 (1 participant in support)*

**Site features:**

- Lower 30% dual purpose adult day care and child care
- Mid 30% affordable housing and market housing, land leased or sold (innovative model)
- Upper 40% and creek area: green space and park, with minimal development and more nature

**Total cost:**

N/A

**Funding sources:**

- Tri-government funding
- Development funding and future land acquisition

### *Table 12 (Participant support N/A)*

**Site features:**

- Mission Creek enhancements
- Child care and adult day care
- Green space (active and passive)
- Spray park/active play
- Educational gardens/passive gardens
- Tennis courts [remain in] current location (no cost)
- Non-market housing – seniors and family

**Total cost:**

20.7 million

**Funding sources:**

- Federal, provincial, District
- Fundraising
- Revenue
- District budgeting
- Explore non-traditional funding sources

## APPENDIX D: Event Survey Questions and Responses

### Pre-Event Survey

#### 1. How old are you?

Please refer to Figure 4 on page 5.

#### 2. What is your home postal code?

	# of participants based on location of postal code
Local neighbourhood	45
District-wide	44
Total	89

#### 3. Are you registered as an official representative for an organization or stakeholder group?

Please refer to Appendix A on page 18 for the participant list breakdown.

#### 4. I have read the discussion guide.

	% of respondents
Yes	97%
No	3%

#### 5. I am satisfied with the District of North Vancouver's consultation process so far on the Delbrook Lands.

Please refer to Figure 20 on page 16.

#### 6. The future use of the Delbrook Lands should primarily serve:

	% of respondents
The needs of the local neighbourhood	21%
The needs of the entire District	4%
The needs of both the local neighbourhood and entire District	72%
Other	2%

*Text responses to "Other":*

- Community, District, region
- Local community (70%), entire District (30%)

## Post-Event Survey

### Section 1A: Support for Site Ideas

#### 1. Minimal change to site

*Demolishing the buildings and seeding the grounds with grass, leaving the rest of the site as is*

	% of all participants	% of local participants	% of District-wide participants
Strongly against	42%	36%	49%
Against	21%	22%	20%
Neutral	12%	16%	7%
In favour	10%	13%	7%
Strongly in favour	15%	13%	17%

*Upgrade existing buildings to provide community use for another 25 years*

	% of all participants	% of local participants	% of District-wide participants
Strongly against	59%	52%	66%
Against	18%	20%	15%
Neutral	13%	18%	7%
In favour	7%	9%	5%
Strongly in favour	4%	0%	7%

#### 2. Parks and outdoor recreation

*Neighbourhood park ideas*

	% of all participants	% of local participants	% of District-wide participants
Strongly against	6%	2%	10%
Against	11%	7%	15%
Neutral	12%	9%	15%
In favour	24%	20%	28%
Strongly in favour	48%	62%	33%

*Community & District park ideas*

	% of all participants	% of local participants	% of District-wide participants
Strongly against	31%	38%	23%
Against	21%	24%	18%
Neutral	18%	13%	23%
In favour	18%	13%	23%
Strongly in favour	12%	11%	13%

### 3. Community services, recreation and cultural facilities

#### *Child care and adult daycare*

	% of all participants	% of local participants	% of District-wide participants
Strongly against	2%	4%	0%
Against	2%	4%	0%
Neutral	7%	4%	10%
In favour	22%	27%	18%
Strongly in favour	66%	60%	73%

#### *Curling rink*

	% of all participants	% of local participants	% of District-wide participants
Strongly against	82%	84%	80%
Against	8%	2%	15%
Neutral	6%	9%	3%
In favour	1%	2%	0%
Strongly in favour	2%	2%	3%

#### *Cultural space*

	% of all participants	% of local participants	% of District-wide participants
Strongly against	13%	22%	3%
Against	16%	16%	18%
Neutral	28%	24%	33%
In favour	20%	18%	23%
Strongly in favour	22%	20%	25%

### 4. Non-market housing

#### *Paid for by another level of government or non-profit housing source*

	% of all participants	% of local participants	% of District-wide participants
Strongly against	22%	29%	15%
Against	6%	2%	10%
Neutral	12%	18%	5%
In favour	19%	24%	13%
Strongly in favour	41%	27%	58%

***Paid through market housing development on the Delbrook Lands***

	% of all participants	% of local participants	% of District-wide participants
Strongly against	58%	64%	50%
Against	5%	0%	10%
Neutral	13%	20%	5%
In favour	11%	7%	15%
Strongly in favour	14%	9%	20%

**5. Market housing**

	% of all participants	% of local participants	% of District-wide participants
Strongly against	64%	69%	58%
Against	4%	2%	5%
Neutral	8%	2%	15%
In favour	16%	18%	15%
Strongly in favour	8%	9%	8%

**6. Commercial use**

	% of all participants	% of local participants	% of District-wide participants
Strongly against	44%	56%	30%
Against	29%	24%	35%
Neutral	15%	13%	18%
In favour	7%	0%	15%
Strongly in favour	5%	7%	3%

**Additional ideas**

***Community garden***

	% of all participants	% of local participants	% of District-wide participants
Strongly against	18%	26%	9%
Against	5%	5%	6%
Neutral	14%	7%	23%
In favour	17%	21%	11%
Strongly in favour	45%	40%	51%



### *Farmer's market*

	% of all participants	% of local participants	% of District-wide participants
Strongly against	24%	34%	12%
Against	11%	12%	9%
Neutral	21%	22%	21%
In favour	27%	20%	35%
Strongly in favour	17%	12%	24%

### *Eco-education at Mission Creek*

	% of all participants	% of local participants	% of District-wide participants
Strongly against	4%	2%	6%
Against	12%	17%	6%
Neutral	25%	24%	26%
In favour	20%	17%	23%
Strongly in favour	39%	39%	40%

## **Section 1B: Composition of Site Uses on The Delbrook Lands**

**1. Potential site uses can be combined. Please indicate which types of combinations you support. Check up to three (3). Answers with more than three checks will be ignored.**

The responses to this question were not considered in the data analysis.

	# of times selected	% of respondents
Parkland and community amenities	47	53%
Parkland, community amenities and non-market housing	42	47%
Parkland, community amenities and a mix of non-market and market housing	22	25%
Parkland, community amenities and market housing	4	4%
Parkland and non-market housing	16	18%
Parkland and a mix of non-market and market housing	10	11%
Parkland and market housing	2	2%
Community amenities and non-market housing	16	18%
Community amenities and a mix of non-market and market housing	13	15%
Community amenities and market housing	2	2%

## Section 1C: Selling or Leasing the Delbrook Lands to Raise Revenue

Please refer to Figure 17 on page 14.

## Section 1D: Final Questions

### 1. The future use of the Delbrook Lands should primarily serve:

The needs of the local neighbourhood	27%
The needs of the entire District	6%
The needs of both the local neighbourhood and entire District	63%
Other	5%

*Text responses to “Other”:*

- Community, District, and region (Housing)
- It has to fit with the neighbourhood but can serve some district needs.
- The needs of the local community (70% weight) and the entire community (30% weight)
- Needs of community are the needs of the District - they are not mutually exclusive!

### 2. After everything I’ve heard today:

#### a) My recommendation to the District of North Vancouver for the future use of the Delbrook Lands is:

No response: 5

Verbatim text from participant responses:

- Build a dynamic community care (Daycare + Adult Daycare) and targeted supportive housing facility on a small percentage of the site (25% of site max)
- The site is large enough to incorporate multiple uses. Parkland, community amenity spaces (i.e. adult and child daycare), and most importantly non-market housing should all be included
- Table #4’s ideas.
- As much mixed use as possible: diversity of housing types; “soft” density; integrated community amenities (daycares and flexible community space); integrated green space
- Community use only.
- Keep the lands - take your time in considering the primary issue - the needs of the West side of the District from Lonsdale to Capilano Road. This whole “dialogue” has been rushed through too quickly, so it has become a farce! The majority of attendees were very poorly informed.
- Do not sell any District land 2) Gradually repurpose/rebuild present buildings 3) Gradually increase and improve site for neighborhood parkland use
- Neighbourhood park/child daycare and adult daycare/ Regional educational park
- An environment for community fun and recreation by the construction of open park space and gardens, with an adult-child care center anchored by Queens Road.
- 40% - Green space/better Creek Protection, 30% - Innovative, affordable market housing, 30% - Adult and child day care
- Enhance trail network near Creek, Green Space, Community Garden/Urban Farm, keep existing daycare and tennis courts
- Mostly green overall with outdoor active spaces - playground, walking paths - not organize sports. With most important services or housing (market housing can be used to fund amenities).
- Multi use - seniors/childcare, non-market housing + + +
- As much mixed use as possible: diversity of housing types; “soft” density; integrated community amenities (daycares and flexible community space); integrated green space
- Mainly park land - with community amenities/services
- Multi-use, multi-generational with outdoor activities, community services hub including medical clinic.

- Do not sell any.
- Keep it open to the community. Make sure it's agreed upon from a lot of people.
- Multi-purpose
- Keep the land publicly owned, mainly neighbourhood park with adult/child play areas and an adult/child care facility
- Keep lands public, use for community gardens, parkland, picnic areas, farmer's markets, bolster day care/adult care facilities
- Develop it for the benefit of the local community - develop much needed social gathering spaces for the community and education
- Combination of green space/place space/child + elder care and maybe non-market or rental housing.
- Park area and enhance creek play areas for youth. Retain existing buildings. Keep land in Public Assembly use. Create Community Facility to support community.
- Mixed use; community facilities, green space (dynamic, high quality park/play area for kids), childcare. Also would be open to non-market housing ONLY if well designed and mix of income levels. Not just low income.
- Retain land! Once its gone, it's gone. The best use involves not having too much on the plot, but creating a purposeful green space.
- Lease land for market housing to fund Parkland, Community Services of Child Care, Adult Care, Cultural Space
- Trial with equipment to workout. Activities for all groups of ages, outdoor gym, bike grid, skateboard area, in line skate area, table tennis, checker table, basket ball, volleyball, tennis, picnic area, walker park, outdoor swimming 7/11 store
- Preserve sunlight, green space and fresh air via passive spaces, etc.
- Mixed use - in order of priority: 1) Housing is priority - mix of market and non-market, 2) Daycare for children and adults, 3) Open space element
- Green park space and some buildings for Child Adult community use.
- Parkland, green space, multi-generational day care facilities.
- Mixed market and non-market housing of leased land. Revenues to pay for other site amenities.
- Parkland and community amenities
- Reforest and establish community amenities (child care, seniors care, eco-education, gathering place, trails, and picnic facilities)
- Listen to the people not a (the) developer
- I support daycare/after school care, green space with community gardens, adventure/natural playground for school aged kids, and nonmarket housing for single parents, and people with disabilities that could allow pets like cats and rabbits.
- Do not sell or lease the land for any cause or reason. Tennis courts, green/park space with washrooms, daycare with child's play space
- Green space/park, daycare
- Parkland/tennis courts/adult/childcare; trails/washrooms/maintain parking lot.
- Parkland, Non-market housing without the loss of public land, community amenities
- Community parkland - Active/Passive, Riparian zone expansion, eco-education, childcare/eldercare community sources
- The overwhelming consensus has to protect the land for future use (do not sell) and Public Assembly.
- No sale or lease of PA land.
- Preserve land for community amenity.
- Multi-purpose to meet needs of current and future demographics.
- Community Garden; community kitchen, multi-use area, Parkland
- Be creative, be inclusive of needs of all ages in design, be environmentally aware, respect creek, keep green space, improve transport (public) to site
- To stay as close as possible to the recommendation made through this process.
- Parkland, public space, picnic area. Child/adult daycare, tennis courts, community center/area
- Do not sell. Establish non-market housing on a green, natural site.
- Parkland grass, space with bathroom, maintain tennis courts, maintain Little Rascals (upgrade, if needed) to child and adult care and develop non-market housing on only 20% of land.

- Save this piece of land for public use as the last resort to nature when higher density is rolling into North Vancouver District.
- Be BOLD! Learn from live examples nationally, globally.
- Make it a community space - Adventure Playgrounds, Community Garden, Daycare, Tennis Courts, Upgrade Creek for Education Use, Housing - Single Family/Seniors
- District facilities on a modest portion of the site - non-market housing, cultural space, adult/child day-care, playground; raising funds to district priorities.
- Adult/child daycare, non-market housing, green space, no sale of land, perhaps minimal leasing
- Gentle density, walkability, aging in place
- Mixed use! As a person who will be entering the housing market soon, I think it is critical the district starts to think about how to provide affordable housing in order to make sure our “missing generation” is not completely lost.
- A mix of: Child/adult daycare; non-market housing; affordable (modest) market housing (4 storey max); cultural space; adventure neighbourhood park
- Lands remain public
- Maintain ownership of the land and maximize the space to fulfill much needed support services and Rental Housing.
- Keep it district owned and multi-use multi-generational facilities
- Community based. Flexible and open for future generations. Community garden, multi-use space (farmer's market, outdoor festival) outdoor ex. Circuit, Adventure play park, increase childcare, elder care, youths/senior center.
- To provide indoor and outdoor facilities that service both young and senior citizens; multi-use facilities
- A combination between service amenities such as adult and senior care, co-operative non-market housing, community garden, multi-use center that can be rented out as event space as revenue.
- Build a combination of non-market housing and community amenities, in particular child + adult day-care, with some green space
- Parkland, community amenities, non-market housing, non-profit kitchen and cafeteria
- Green spaces and playground focused on families, 2) Urban farm focused on social engagement and education, 3) Non-market housing for special needs and first responders (police, fire, EMT)
- Affordable non-market housing
- Take down the N. building, convert to grass. Keep the lit tennis courts, make sure the new Delbrook meets needs before destroying. Need more green space.
- Mixed use - you can do it! Keep riparian/some green space but build care facility /housing on ~50% or less.
- Improve riparian tract, replace existing buildings with a mixed use - 3-4 storey building on the N. end to serve as a daycare, senior center, community space; keep the tennis courts; add an adventure playground
- To make it a beautiful and pleasant place for all generations to enjoy - keeping the tennis courts or increasing the number of care for children and adults
- This could be a progressive, creative, innovative model (environmental, mixed use, social non-market housing, community/cultural space). Please take the time to research and carefully consider this unique opportunity to get the most social value in this land.
- Parkland, adventure playground. Green space. Public plaza (i.e. for outdoor movie or concerts). Community space if necessary.
- Community, open and inclusive to all community members including children, youth, adults with disabilities
- Parkland/play areas, non-market housing, community amenities + child + senior care
- Do not sell lands. Non-market housing, community and cultural space.
- Support multiple generations: Kids, young adults, adults and seniors. Promote community living with communal spaces and facilities. Do not sell the land, or portions of it.
- Staged re-use over 2 generations.
- Protect Mission Cr. Riparian Area, keep public land public - no housing of any sort, look to other zoning options and strategies for affordable housing; keep a mix of indoor and outdoor recreation and culture activities suitable for all ages.

- It should be used as green space/park for all district residents - playgrounds, tennis courts, gardens (maybe a special botanical garden) gathering place, outdoor basketball, outdoor hockey nets, but not skateboard, etc.
- Keep all as public assembly land! Consider mix use with multi-generational targets. Parks, community gardens, passive/active recreational options
- Not to sell the public lands. Use the Delbrook Lands for community purposes, such as a center and recreational facilities and Parkland.

**b) In my opinion, this use should be paid for with funding from the following sources:**

No response: 10

Verbatim text from participant responses:

- Prov/Fed/Muni/CACS/Foundation
- Municipal, provincial, and federal gov't, taxes, partner with non-profit to administer non-market housing, available grants
- Fundraisers, taxes.
- DNV should consent with the senior levels of government before even considering embarking on any housing strategy. What is the rush? Why? The discussion in January did not reveal sufficient interest in affordable housing to include in the discussion.
- CAC Partnership with community services of District Leading medical office space.
- House taxes (my taxes increased \$700.00 this year because of the high price/value of my house). This extra cost is a "boom" to the district.
- District/Pronounce and Fed. Gov't.
- Multi-source tax funding
- Green space - funded from Market Housing sale; Care Building - District donates land and senior government pays
- Existing capital budget, property taxes, federal and provincial grants.
- Sale or leasing of land (only a little). Maintenance should be funded by property taxes. Not many grants from other levels of government are tax payer dollars as well so they are not free.
- Sale of a small portion of land.
- Sale and lease of some land (limited); other gov't funding sources; taxes
- Property taxes
- Government, tax payers
- Private, governmental -> federal, prov, local, other parties
- Government and non-government organization funding
- Partnerships with non-profits, partnerships with all levels of government (provincial/federal) - non-market housing
- Level of governments, sale of small proportion of land.
- Provincial + federal governments/taxes already collected. NOT raising taxes.
- Rental from Community facility. Fundraising - Community Events @ Delbrook Rec Centre
- Federal/provincial grants, taxes
- Federal government/allocating from something else that is not as important.
- Leasing land for market housing
- Federal and --
- Two senior levels of gov't, DC charges taxes, lower health care costs
- Sale of market and non-market units - developer contributions; federal and provincial grants for social uses; district general fund and/or taxes
- Taxes, funding from other governments, taken over several years
- DNV, any other appropriate government sources
- Appropriate grants from senior governments and agencies, tax base, community fundraising
- Provincial funding - (PIAH) - Fed Gov't #2, Municipal funding
- Municipal government, federal government, non-profit organizations



- Government sources, lease of spaces for child/elder care
- General revenue, community fund-raising, federal/provincial partnerships. \*Levy tax on foreign investors of real estate as they also need to contribute to community costs and don't presently through the general economy
- Government funding, grants; some taxation if required.
- Partnerships
- ?? That I don't have knowledge on.
- Sale/lease of some of the land, any other funds that can be gathered
- No more than 25% land sold, grants, partnerships, 20% for sale housing, taxes if need be
- Government (all levels), non-profit organizations
- District property taxes, miscellaneous other funding.
- Additional tax on foreign property owners. Transition Tax of Property Transfer, Property Tax
- Developer, Provincial, Federal and Grants
- Market housing.
- Provincial and federal governments.
- Fed/prov gov, private foundations, partnerships with other organizations, district funds.
- I think District land is the perfect place for non-market housing which could see sizable funding from both the federal and provincial governments. Sale of same land for market housing.
- Fed/prov/mun govt.; DNV borrowing; DNV property taxes; sale/lease of some of site
- CAC, Taxes, Prov/Fed Grants
- CAC funds, provincial, and federal grants currently being made available
- CAC, 3 levels of government, usage fee
- Any and every grant available :) Non-profits, long term leases for space from comm. Groups/non-profit, coastal health, nursing/community health partnerships
- Sale of 20% of land; user groups funding
- Collaborations, partnerships with non-profits, provincial and federal, funding sources, throughout working with non-profit societies such as Hollyburn Resource Centre.
- Federal + provincial governments and some non-profits, with market housing if necessary to find non-market supportive housing.
- Taxes, provincial + federal funding, fundraising/non-profit management
- The farm would pay for all green space maintenance and create employment, some market housing, got funding (particularly non-market housing)
- CACs, Senior levels of government
- Where ever you can find money and taxes.
- Sorry - that's your job.
- Cost-efficiencies/savings; tax revenue; development permits - from future development of lands along Queen's corridor
- Partnerships, Fed + Provincial funding, grants
- District/provincial/government; tax
- Fed/prov/municipal
- Federal \$ recently announced, provincial affordable housing fund, culture development budget, NVD \$ for OCP objectives (see pg. 21 of Tuesday guide), CACs
- Partnerships - federal funding, provincial funding (PIAH Program), non-profits, District's 10 year capital plan
- District taxes, provincial, and federal funding, 2) CAC from other development across NS, 3) Partnerships with others
- Provincial and federal government; taxes
- Mixed sources federal/provincial/municipal/other
- Staged development (not all \$ up front), future development cost charges, taxes, fund-raising
- Be open to new/creative thinking for the public retention of these land even if it takes a long time.
- From our parks funding.
- CAC, Federal, Provincial, local fundraising
- Federal/provincial grants for special needs non-market housing/services. Fundraising, living wills.
- Non-profit organizations/fundraising. Higher levels of government.

## Section 2

For questions 1-10, please see pages 15-16.

### **11. Please leave any additional feedback on today's event or the Delbrook Lands Community Dialogue engagement process:**

No response: 33

Verbatim text from participant responses:

- Morning was rushed - needed more time - afternoon better dialogue and pace.
- Well done!
- It would be unconscionable not to have a housing element. I hope Council takes this on board in making its decision based on the outcomes of this process. Everything else is gravy.
- Very well organized with a chance for diverse groups to participate. Facilitation was great :)
- The results were very clearly presented, with only a couple of tables proposing some market housing (sale) thus sale should not be part of Council's decision making. It was loud and clear that these lands should be retained as Public Assembly. If anything else happens, then the entire process well have been a waste of time and money.
- What does this mean?
- I believe that the District of North Van has already made a decision. By doing this "so-called" consultation, they make it appear that they are consulting but they really aren't. Questions are leading and confusing. Not all information provided - Need Engineering Reports on Delbrook Buildings, should be posted on District Website; Need budget info on building etc. - where and what does the information come from?
- The day felt very rushed. More time would have been better. Perhaps breaking it into 3-4 half day events.
- I felt a bit rushed, perhaps more than one initial idea generation event could be hosted, I felt like I didn't have enough info on funding, finances, etc.
- It was rushed - a lot of detail, some of it confusing and lacking context. The concern this remains simply an exercise without weight. Lack of clarity about development plans for the broader area (e.g. Queen's corridor) that would impact thoughts and decision-making for the Delbrook lands.
- I did feel that the process steered participants towards choosing too much housing on the site.
- Community is made up of diverse needs and people. I hope we don't give up our current lands to the detriment of future generations.
- Too many unknowns: The third party recommendations that the building has seen the end of useful life are not available to us.
- Great democratic process that should be transparent and traceable in final council decision. Thanks. "Tension" between market and non-market housing reflects larger District (CNV) challenge to address broader zoning issues (e.g. prospective need for higher density conversion of single family properties to townhouses, etc.)
- Our team member who is a representative of the curling community made a stand that curling was ousted from the North Shore and needs a North Shore Home. This should be an important dialogue within the community and Recreation Commission. Funding is possible for the build totally by the curling clubs. The need for non-market housing was recognized but it was noted that there is little knowledge that the NVD has or is doing what is needed to address this. This is a huge and important issue that needs creative solutions now. The community wants to be party of this conversation. Action is required immediately.
- Proud to be part of this community! Thank you. Well organized and good job staying on time!
- Great front - nice process SFU.
- Thank you :)
- Great job. Hopeful that the next stages will allow for more input - as the Devil is in the Details!
- I really enjoyed the process. Would like to be invited to future event concerning our community.

- We hope to be heard, and to know about the future plan.
- The provision of answers to questions posed when filling the online survey would have assisted in group knowledge. E.g. what is allowed use in Creekside area.
- The process from the start lacked transparency and the participants were molded to support council's pre-determined decision to build non-market housing
- None.
- Do not sell the land, support non-market housing for single parents/co-op/people with disability, provide natural playground for all ages, we need community gardens, place to walk dogs
- Typical how this survey included so many questions about rezoning for density. Council clearly has an agenda to increase housing density (i.e. sell land to developers)
- Please listen to the wishes of the community and do not sell the land for market housing and development.
- This post-event survey clearly indicates a desire to build a case for the sale of at least a portion of the lands despite a consensus in the room to protect the lands. 7 questions between pages 1-5 are leading towards sale. I was under the impression that this was meant to be a brainstorming session but it appears that it's now become a way to create an argument to sell some portion of land.
- My suspicions about this process have not diminished with this survey so heavily biased towards housing.
- It was an interesting process. Well organized but too rushed. Needed more time on the "meat" of the matter. Could have used more facts to do with ways to afford amenities.
- More time would have been very helpful and could have produced more detailed ideas
- Well done, all!
- Please do not sell the land. It can generate revenue via non-market housing.
- Wish this land won't be sold to residential housing!
- I appreciate being chosen to participate in this community process to provide my feedback for this important community space. DNV is taking positive steps for more of an inclusive community for everyone, while keeping the beautiful, natural community space in contact/preserved. We can be leaders with this project and be innovators for other municipalities.
- This is a District asset so reserving 50% of the spaces for people from the neighbourhood was not appropriate. 20% would have been more than fair. Needed more time (perhaps 4 more days) to do topics justice.
- Please proceed very carefully and thoughtfully and being sensitive to the existing natural features of this very special Delbrook site!
- SFU Facilitators spoke too much. Would have liked explanation in the morning (where our group felt really rushed) as to specific purpose of group to go through every recommendation possibly. I am sure there was one but I just didn't understand why I was doing this chaotic and group tension creating task.
- I loved this community engagement process! I think this is the forward thinking and innovative processes that need to be happening with community development.
- Sad to see that the third party report relating to the state of the existing buildings was not publically available. Distribution (rather than just referencing) of council policies and OCP extracts relating to the issue should have taken place before meeting. The discussion report was insufficient.
- Seems heavily biased to housing.
- The suggestions made it challenging to come up with anything new. Numbers presented seemed inaccurate and led to a perception that we are being led a particular direction (i.e. housing is the only option, its just a matter of how high/how much/what type)
- As a rep of the Curling facility, I found all receptive to my presentation of the curlers needs. I found they were positive in our willingness to combine with other uses and possibly fund a facility if we have access to land.
- I hope the ultimate decision makers have an open mind. I hope we, as a wealthy community, can commit to using our resources to care for vulnerable populations.
- Good facilitation - quite an investment.
- My hope is Council will recognize that these are valuable community lands that need to be preserved for the community in perpetuity. Once they are sold - they are lost forever. Also, traffic pressures throughout the DNV and City of NV increases much added development. This needs to be addressed

- with the plans for the Delbrook Site and any plan to add market or non-market housing on this site.
- I enjoyed the process which was well thought of. Full marks to SFU, our facilitator and note takers. Why is traffic not being given consideration?
  - Very good event, let people engage in the decision process, and have an impact on what we care about (in) our community's future.
  - A good process. A little touchy-feeling for my taste at times, but overall excellent.
  - Well-organized and staff support.
  - Concern that Council may still see sale of Public Land a viable option, despite majority feeling to protect land. We need to think of future needs of a denser community. Right now we have no idea how soon new Delbrook Centre will reach capacity. As we live in smaller spaces, we need more community resources. Shouldn't think that Delbrook Land development address housing affordability issues in any meaningful way - that takes a community-wide solution on density and zoning, not development of giant houses. Once the land is gone, that's it - a fund won't go for in the escalating land costs.
  - Hopefully council will take the recommendations seriously and not simply pay lip service to the process.
  - Since participating in the January discussions, I have been pleased with how I have been kept up to date. It's a great process...my only hope is that it has a large bearing on what DNV Council decides!
  - Awesome process - don't forget about adults with developmental disabilities, they are part of our community!
  - Engaging activities all day, great use of limited time, would love to see a cork board at the entrance of the facility so users can quickly contribute what they would like to see on the property.
  - The proof's in the pudding: Let's see how council deals with this issue.

# **DELBROOK LANDS COMMUNITY DIALOGUE**

## **DISCUSSION GUIDE JUNE 2016**





# Acknowledgements

## *Purpose of Document*

This report was independently prepared by Simon Fraser University's Centre for Dialogue under the sponsorship of the District of North Vancouver. The purpose is to provide a common fact base to support participant discussions at the June 18, 2016 Delbrook Lands Deliberative Dialogue, including context about the Delbrook Lands and information about potential site uses.

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*Simon Fraser University's Centre for Dialogue. (2016) Discussion Guide, Delbrook Lands Community Dialogue.*

## *About the District of North Vancouver*

With its naturally beautiful wilderness surroundings, high quality of life and close proximity to downtown, North Vancouver District is one of the most desirable places to live, work and play in the world. Home to over 85,000 residents and many major waterfront industry employers, the District's unique characteristics provide residents, business owners and visitors alike with the benefits of being part of a dynamic metropolitan region, along with the appealing attributes of living in a smaller community.

## *About the SFU Centre for Dialogue, Civic Engage Program*

Civic Engage is a program of Simon Fraser University's Centre for Dialogue designed to increase the capacity of governments and citizens to work collaboratively on policy decisions. The program leverages the Centre for Dialogue's status as a neutral facilitator and reputation as a globally-recognized centre for knowledge and practice in dialogue. Program areas include capacity building, direct services, research and public forums. For more information, visit [sfu.ca/civic-engage](http://sfu.ca/civic-engage)

# Mayor's Preface

Dear Dialogue Participants,

Thank you for volunteering to spend a day with others from our community to discuss the future of the old Delbrook Site, and help develop recommendations for Council to consider this fall.

It is rare that we get the opportunity to start with a large piece of publicly-owned land and decide what would be its best use for our community not only next year, but also ten years from now and 50 years from now. Everyone brings a particular perspective within our community to the table. By participating in the deliberative session, you are being challenged to consider not only your own perspective, but also those of others in the community as well.

Bringing people together to discuss ideas, impacts and issues in a constructive and respectful manner is a cornerstone value in Canadian society and in our community. That's why the District of North Vancouver has partnered with Simon Fraser University's Centre for Dialogue to co-host this community dialogue; to give those with an interest in the topic the ability to be heard and to hear others. All perspectives are important and all of the suggestions will be carefully weighed against the impact they will have. One person's solution can easily be another person's problem, so we must work together to decide what is best for our entire community.

Your Council is looking forward to receiving the results of your efforts and the recommendations you provide. Then, as we move forward, we can do so knowing the community has already thoughtfully considered the benefits and consequences.



Richard Walton  
Mayor, District of North Vancouver

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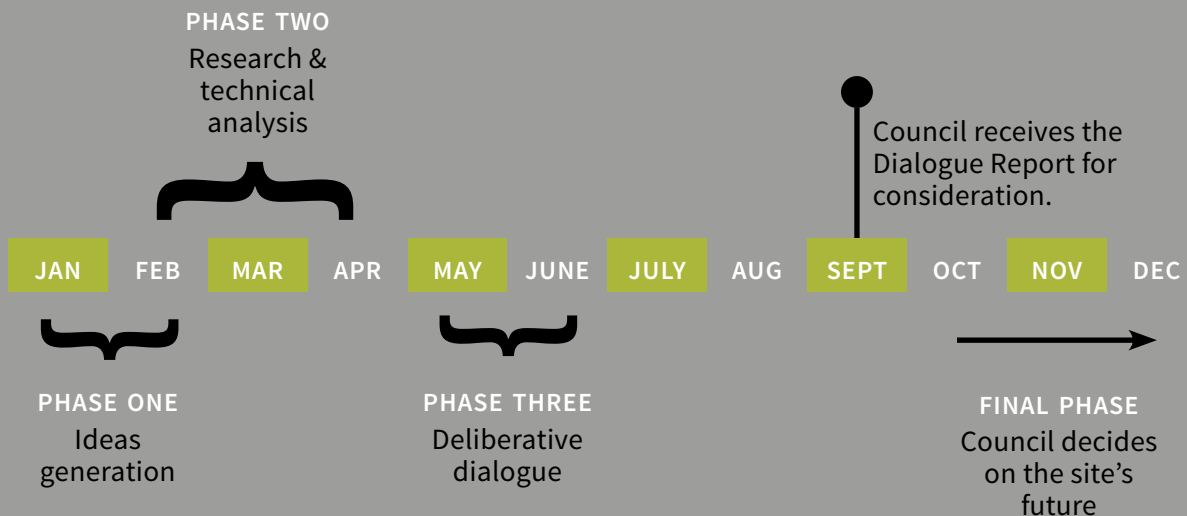
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# 1

## Event Purpose

The Delbrook Lands Deliberative Dialogue is an important opportunity for District of North Vancouver residents and stakeholders to provide their ideas and recommendations for the future use of the Delbrook Lands. This event is the final phase in a larger engagement process, the Delbrook Lands Community Dialogue, commissioned by District Council in fall 2015.



A set of five principles, developed using community feedback during Phase One, are guiding this process.

#### GUIDING PRINCIPLES FOR THE DELBROOK LANDS COMMUNITY DIALOGUE:

**Authenticity:** Financial and planning constraints are disclosed to participants, and decision-makers agree to consider the community's recommendations.

**Alignment** with existing Council approval processes. The Deliberative Dialogue will inform Council approval processes but will not circumvent any existing Council approval processes such as the Capital Planning process, annual budgeting process, land uses processes, etc.

**Inclusivity:** Organizers encourage involvement from the entire community and reserve space for major stakeholder groups to participate.

**Two-way communication:** Organizers actively share information, and all community members have the opportunity to request clarification and contribute perspectives.

**Transparency:** Organizers openly report on, and publish, all consultation process findings in an accessible manner.

## Community Planners for the Day

Participants of the Deliberative Dialogue are being asked to take on the role of community planners, working together to make recommendations that are informed by community values and real-world constraints. Doing this requires examining a broad range of perspectives and information, asking questions such as:

- What different views and perspectives exist in the community?
- What are the community's needs today and what will they be in the future?
- What are the positive and negative impacts of a decision, and what are the trade-offs?

- What is technically and financially feasible?
- What solutions might be supported by District Council?
- What is in the best interest of the entire community?

**This guide provides a factual basis for discussions about potential site uses for the Delbrook Lands, in addition to a number of stakeholder perspectives to inform the dialogue process, based on interviews, research, and community input from Phase One.**

Plans and policies referenced in this document are listed on page 39 and are available at [dnv.org/delbrooklands](http://dnv.org/delbrooklands).

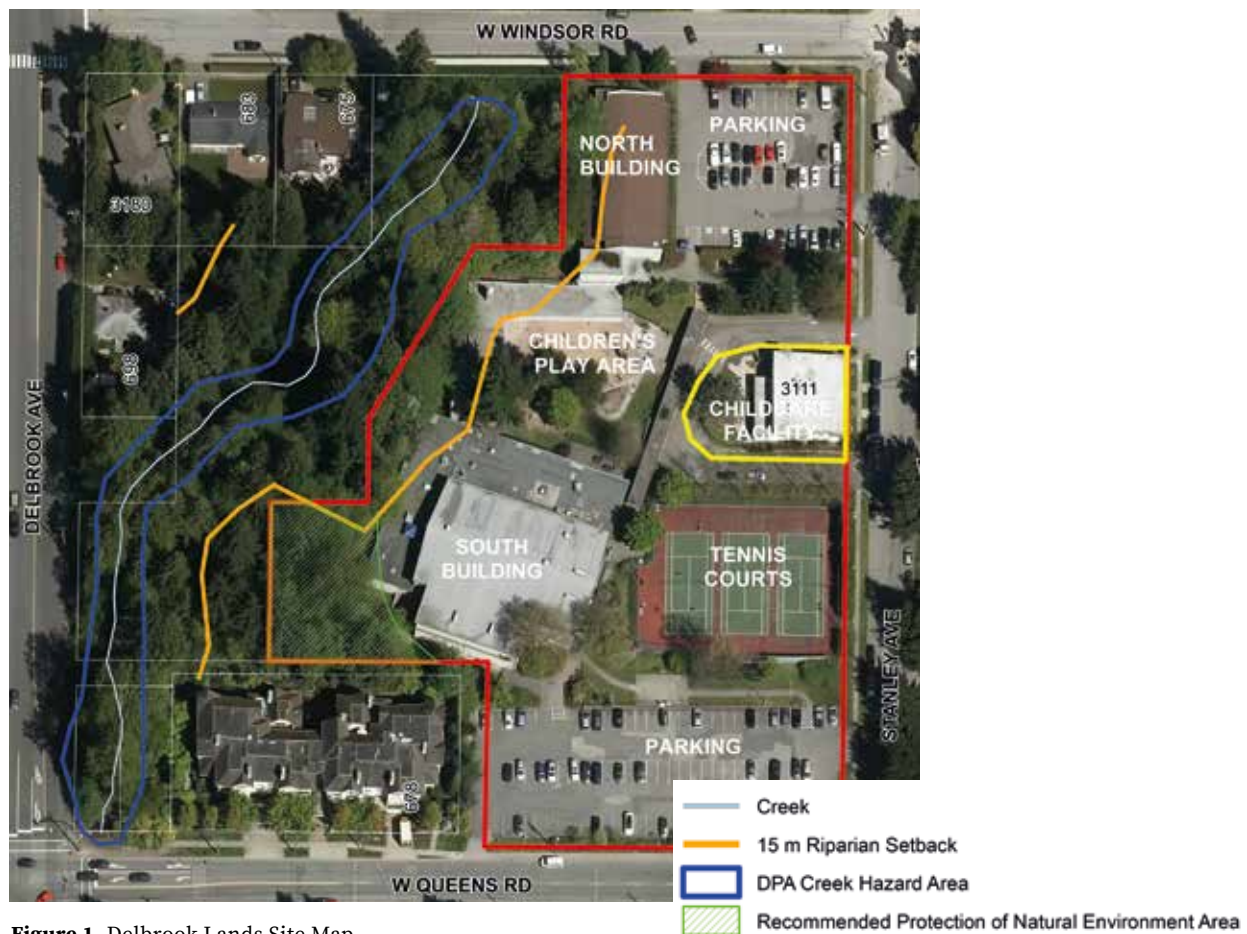


# 2

## Background of the Delbrook Lands

The Delbrook Lands are located at 600 West Queens Road, bordered by Mission Creek, West Windsor Road, Stanley Avenue and West Queens Road. The site is 4.3 acres, or approximately 190,000 square feet—and with the recommended 15 metre stream setback (see text-box on page 16), the site has approximately 160,000 square feet of useable space (see figure 1). The site is currently home to:

- the Delbrook north and south recreation buildings
- the Little Rascals child care facility
- two parking lots
- three lit tennis courts
- a public children's play area



**Figure 1.** Delbrook Lands Site Map

The site is within walking distance of schools, parks, recreation facilities and shops, and is accessible by public transportation. It is sloped north-south with three plateaus.

The Delbrook Lands are owned by the District of North Vancouver. Historically, the lands were occupied by Delbrook High School between 1956 and 1977, and were purchased by the District in 1981. Since then, the buildings have been operated by the North Vancouver Recreation and Culture Commission as the Delbrook Community Recreation Centre, and the bottom floor of the north building has been home to Capilano Community Services and its partner organizations. In 2006, the District decided to consolidate the William Griffin

and Delbrook Community Recreation Centres at the William Griffin site based on an Indoor Recreation Facility Plan commissioned by the North Vancouver Recreation and Culture Commission.

The new Delbrook Community Recreation Centre, valued at \$50.1 million, is located on the old William Griffin site at 851 West Queens Road. It is anticipated to be completed in the fall of 2016, and all recreation programs will transfer from the old Delbrook Centre to the new facility in early 2017. This leaves an important question for District Council, staff and residents: **what should be done with the Delbrook Lands?**

# 3

## **Planning and Policy Context**

The future of the Delbrook Lands will be influenced by a body of existing District research, plans and policies. The following sections summarize key information relevant to the Delbrook Lands, providing big-picture context and neighborhood-level detail that will be taken into account by District Council and staff when considering community recommendations for the future of the site.

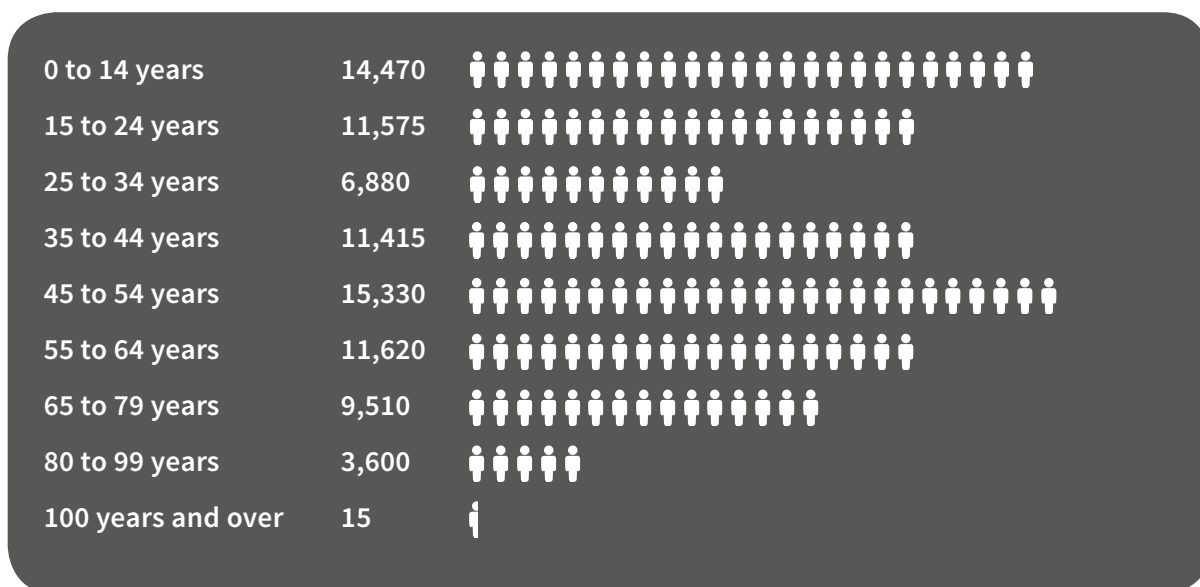
The District's 2011 Official Community Plan was developed through a two year community engagement initiative that consulted almost 5,000 people in developing a vision for the future of the District. The resulting Plan helps District Council, staff, stakeholders and citizens work towards positive change over a twenty-year horizon. It outlines four strategic directions that are important to keep in mind during the Delbrook Lands Deliberative Dialogue:

- **Plan for a more balanced and diverse population:** Facilitate housing choices and vibrant, age-friendly communities with a range of facilities and services.
- **Create more complete, compact and connected communities:** Establish a network of connected town and village centres that support effective transit, walking and cycling; and focus growth and renewal in four key centres.
- **Reduce our environmental footprint:** Conserve energy and reduce greenhouse gas emissions through compact, connected and green communities; and encourage the enhancement of our natural systems.
- **Become more economically dynamic and sustainable:** Encourage the protection, intensification and diversification of our employment lands, and a customer-oriented and business-friendly environment.

## Changing Demographics

According to the 2011 census, the population of North Vancouver is approximately 84,500, with 6,300 residents living in the Delbrook neighbourhood. The District's population is projected to grow by approximately one percent a year, with an anticipated population of 105,000 by 2030.

The District has a 'missing generation' of young adults aged 20-40, which means there are fewer residents to start families and help drive the economy. At the same time, the seniors population is rapidly increasing, with one in four residents over 55 years old. This demographic profile places different demands on District services and programs.



**Figure 2.** Current Population of the District of North Vancouver (Source: 2011 Census)

Figure 2 presents population statistics for the entire District of North Vancouver. The Delbrook neighbourhood's population profile is roughly equivalent, with a slightly older population and fewer young adults than the District average.

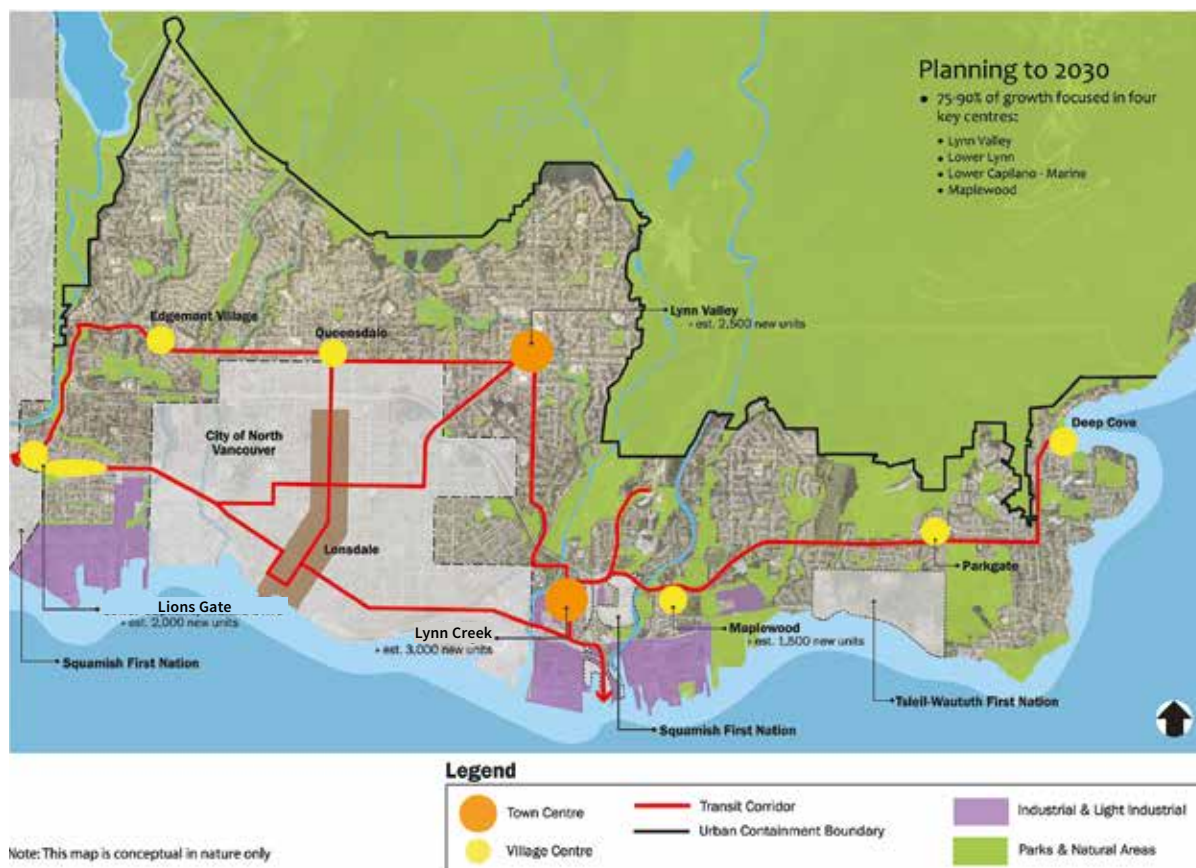
**ADDITIONAL POLICY CONSIDERATIONS:  
PUBLIC ASSEMBLY LAND STRATEGY & LAND  
OPPORTUNITY FUND**

Any change of land use to the Delbrook Lands is subject to assessment under the District's Public Assembly Land Strategy evaluation framework. The framework is not intended to prevent changes to Public Assembly lands from taking place, but to help ensure that any change is in the public interest and provides an overall benefit to the community.

**Evaluation criteria include:**

- confirming that the current zoned use is no longer viable or needed within the neighbourhood
- providing an overall benefit to the community and immediate neighbourhood
- demonstrating that the long-term needs currently provided by the site can be met within the local community through other available facilities or services
- demonstrating that future redevelopment is complimentary to surrounding land uses, except where off-setting community needs are provided as part of the new development (i.e. seniors, rental, or affordable housing)





**Figure 3.** Town and Village Centres (Source: Official Community Plan)

- demonstrating that repurposing of the building/site is not feasible
- undertaking consultation and demonstrating support from the general community

According to the District's Land Opportunity Fund Policy, if the District sells public lands, it should make a financial contribution to a funding reserve to preserve its ability to purchase land in the future.

## Policies that Guide Change

The District's 2011 Official Community Plan directs the majority of new residential and commercial growth into key town and village centres and significant change is not anticipated in existing neighbourhoods. However, sensitive neighbourhood infill may be considered outside of town or village centres if it is located strategically, along transit corridors or close to community amenities. It is important to note that any change in land use would require an amendment of the Official Community Plan land use map and would need to consider neighborhood character and community support for the project.

## OFFICIAL COMMUNITY PLAN LAND DESIGNATIONS

### **Institutional**

Buildings for public assembly uses, such as schools, colleges, places of worship, community centres and health services

### **Detached Residential**

Single-family detached housing

### **Transition Multifamily**

Multi-family housing in centres and corridors (predominantly 3-4 story)

### **Low Density Apartment**

Multi-family housing in centres and corridors (predominantly 4-6 story)

### **Commercial Residential Mixed-Use**

General commercial purposes, such as retail, service and offices

### **Parks, Open Space and Natural Areas**

Multi-purpose parklands

## *Land Use Designations & Zoning*

The Official Community Plan contains a land use map with designations to guide future development, and the Zoning Bylaw regulates current land use. Any proposed changes to land use designations or zoning are subject to processes that include a public hearing and Council approval.

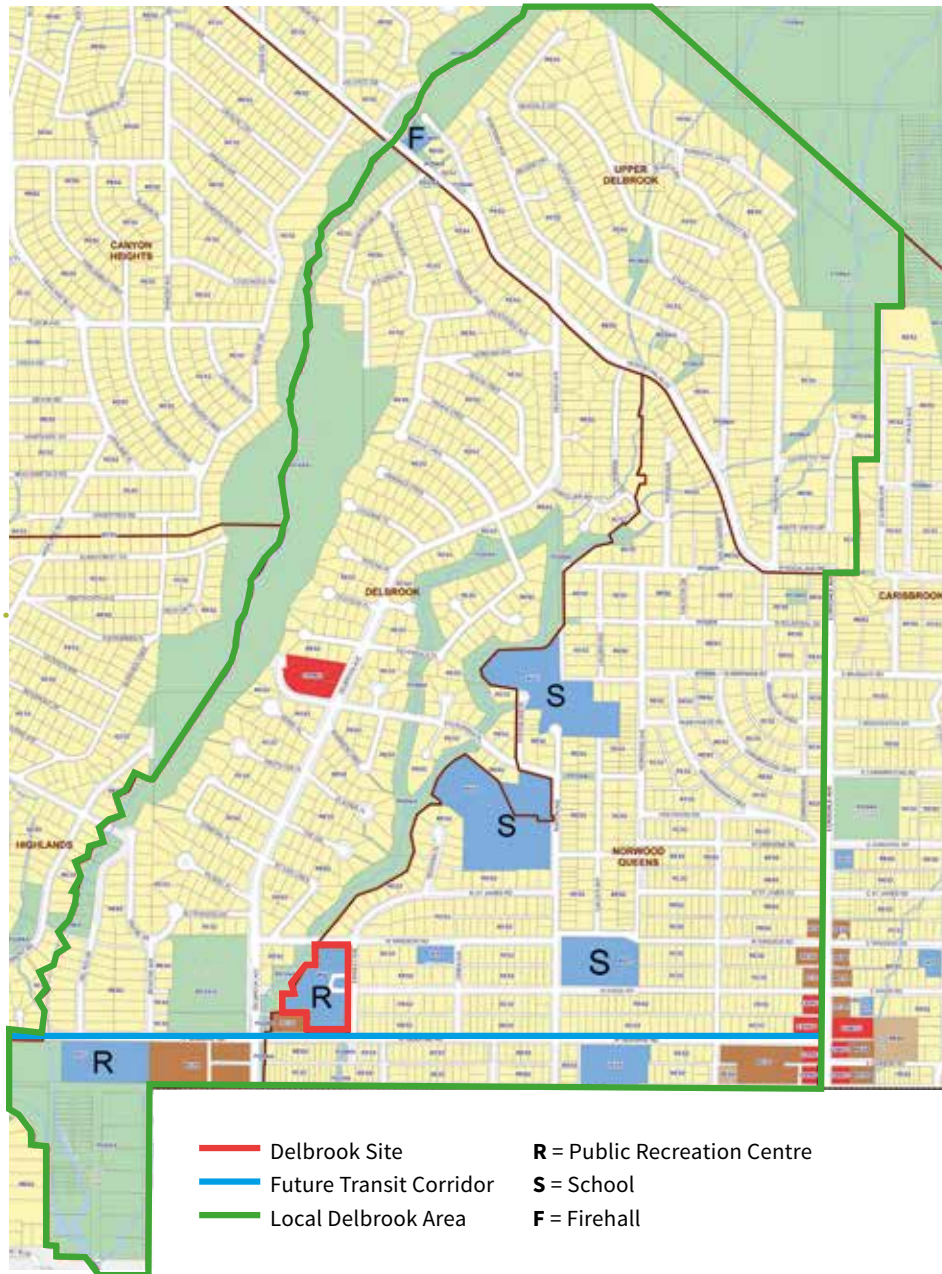
The Delbrook Lands are currently designated 'institutional' in the Official Community Plan and zoned Public Assembly, which means they are limited to uses such as schools, places of worship, community centres, etc. Public Assembly lands are considered long term community assets necessary to support community health and well-being, and according to the Public Assembly Land Strategy are retained, where appropriate, for long-term community purposes.

## *Westview Shopping Centre & Cypress Gardens*

The Westview Shopping Centre and neighbouring Cypress Gardens residential development are located southwest of the Delbrook Lands on Westview Road and are designated as a 'Special Study Area' in the City of North Vancouver's Official Community Plan. They could potentially be redeveloped in the longer-term future.

## *Future Frequent Transit Network*

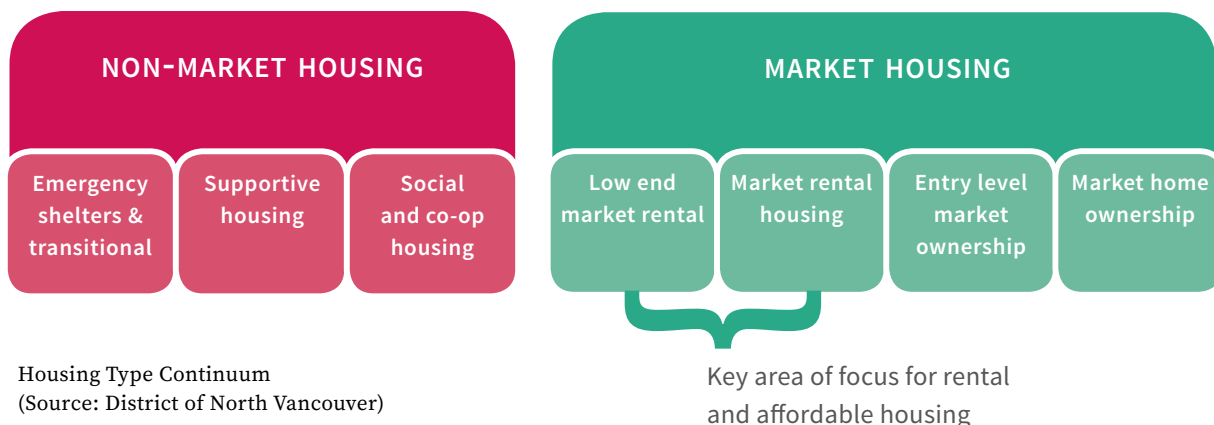
The District's Transportation Plan has designated West Queens Road as a future frequent transit corridor, meaning transit will pass through at least every 15 minutes in both directions, better connecting the Delbrook Lands with village and town centres.



**Figure 4.** Delbrook Neighborhood and Surrounding Area

#### DEVELOPMENT PERMIT AREAS

Development Permit Areas mark an area that is subject to guidelines that specify additional conditions for development on a site. A number of these permit areas apply to the Delbrook Lands, including streamside protection, environmental protection, creek flood hazard mitigation, energy and water conservation and reduction of greenhouse gas emissions (e.g. sustainable building methods and landscaping), and form and character (e.g. fitting with local character).



## Housing

Currently, the majority of housing in the District is single-family homes. The District has a rental vacancy rate of approximately 0.7% and an aging rental housing stock, which results in few options for renters. A key objective in the Official Community Plan is to increase housing choices to meet the diverse needs of residents of all ages and incomes, including introducing forms of housing that are less expensive than single-family homes.

### Affordable Housing

The District's draft Rental and Affordable Housing Strategy estimates that meeting the housing demand for low to moderate income households will require building approximately 60-100 affordable units per year, for the next 10 years. To help accomplish this, the District intends to seek opportunities to work with housing agencies, senior governments and other community partners in the delivery of affordable and non-market housing, and to identify opportunities to use District owned lands to leverage affordable and non-market housing projects.

## Parks & Natural Spaces

According to the District's Parks and Open Spaces Strategic Plan, there are several categories of parks that serve the District:

### District Parkland

- Serves recreational needs of the entire District
- Contains specialized features and facilities (e.g. stadium)

### Natural Parkland

- Natural park that serves primarily to protect environmentally sensitive land and wildlife habitats

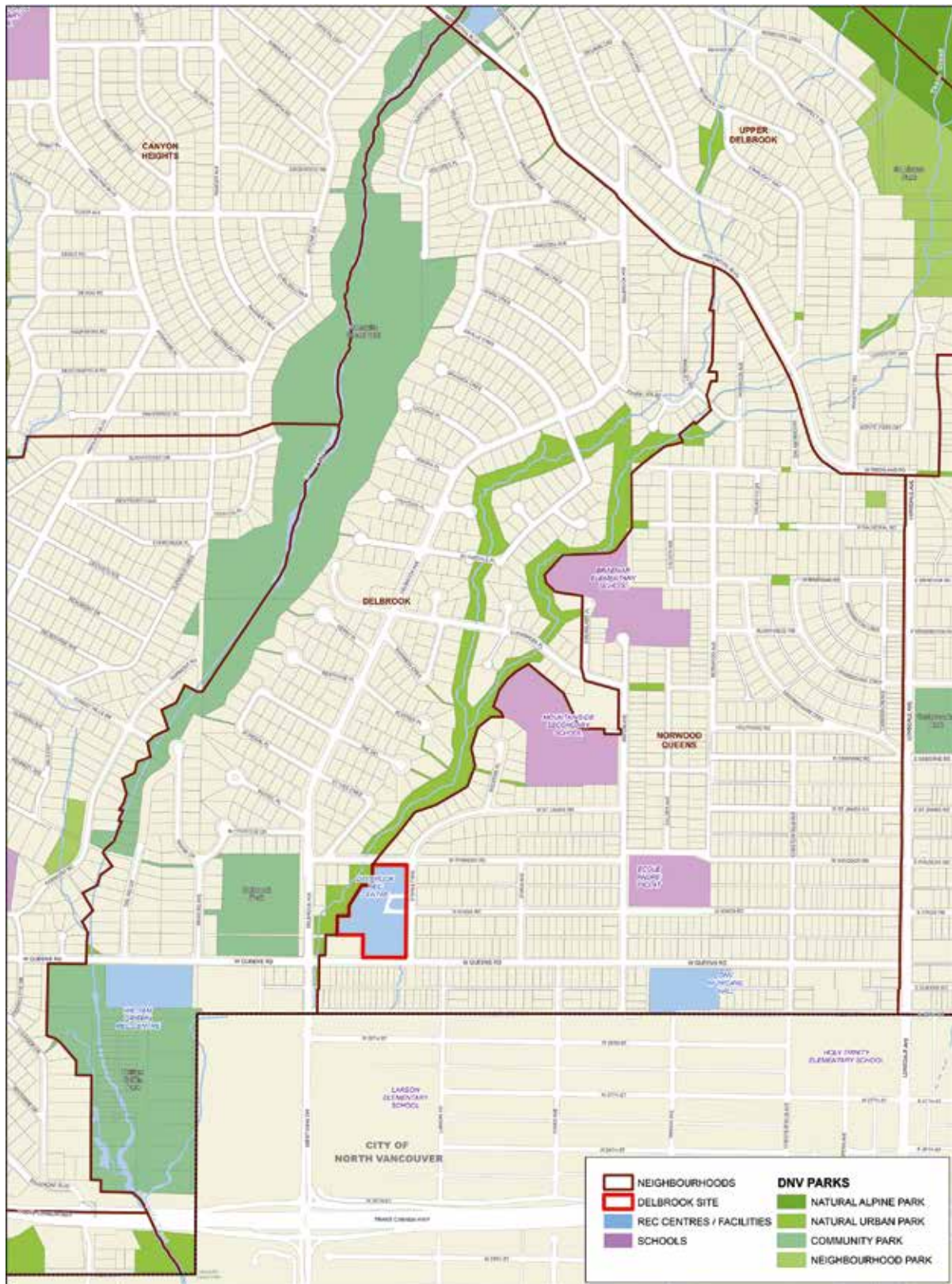
### Community Parkland

- Serves multiple District neighbourhoods with organized recreational opportunities (e.g. baseball pitches, soccer fields, tennis courts, etc.)

### Neighborhood Parkland

- A local park that primarily serves District residents within safe walking distance (10 minutes) and provides limited recreational facilities (e.g. playground)





**Figure 5.** Parks Spatial Analysis Map (Source: District of North Vancouver)



## Schools

- Outdoor school recreation facilities that serve some of the community organized sports needs and neighbourhood use of playgrounds.

Based on the District's park analysis in the Parks and Open Space Strategic Plan (see figure 5), the Delbrook neighbourhood is well served by District, Natural and Community Parkland, but lacking in Neighbourhood Parkland. Playing fields (e.g. soccer, field hockey) are not identified as a need in the neighbourhood, as there are artificial turf and grass playing fields nearby (Delbrook Park and William Griffin Park).

## PROTECTING MISSION CREEK AND THE LOCAL ENVIRONMENT

Mission Creek is a fish-bearing waterway. Keeping the creek habitat healthy involves establishing a streamside protection area to protect nearby trees and other vegetation, and ensuring new development (including multi-use public trails) is located a minimum of 15 metres from the top of the bank of the creek. Some environmental groups advocate for strict enforcement of the 15 metre stream setbacks with no variances.

The site is also subject to environmental protection development permit guidelines and policies that guide the protection of trees.

## Community Services, Recreation and Cultural Facilities

### Community Services

#### Child care

The Official Community Plan and District's Child Care policy identify child care as a priority and support facilitating the provision of quality child care.<sup>1</sup> A 2007 Child Care Needs Assessment for the North Shore found there are critical shortages. Mentioned most often was the shortage of care for infants and toddlers, centre-based care and school-aged care. An updated child care assessment for the District is underway.

#### Adult day care

The Official Community Plan indicates there is a growing population of seniors on the North Shore, and a limited number of adult day care centres to give respite for families who care for seniors with complex care needs. The centres that do exist have extensive waiting lists.

### Recreation & Cultural Facilities

The North Vancouver Recreation and Culture Commission provides recreation and cultural programs and services across the District and City of North Vancouver. The 2006 Recreation Needs Assessment and 2007 Indoor Facilities Plan together established a 20-year vision that includes merging the William Griffin and Delbrook Community Recreation Centres in a new facility that will continue to use the Delbrook name.

<sup>1</sup> There are 27 spaces per 100 children aged 12 years and under, according to *A Municipal Inventory Child Care Spaces and Policies in Metro Vancouver*, prepared for the Regional Planning Advisory Committee, November 2015.

#### CURRENT DELBROOK LANDS TENANTS

##### **Little Rascals Daycare**

This privately owned and operated child-care facility, whose construction costs were paid for by the owner, is operated out of a stand-alone building on the Delbrook Lands. Little Rascals has a lease with the District until 2023 and requires a playground to meet its licensing requirements. Site planning considerations need to include space for Little Rascals on site.

##### **Capilano Community Services Society**

This non-profit service organization and its partner agencies (Red Cross, Restorative Justice Society, Keep Well Society, Lionsview Seniors' Planning Society and Canadian Hard of Hearing Association North Shore Branch) currently occupy the bottom floor of the north building. They will be moving to a proposed new community recreation centre in Lions Gate Village Centre in 2019, but until then require office space. Cap Services has supported populations in need for over 45 years, and relies strongly on local volunteers.

#### SQUARE FOOTAGE OF OLD CENTRES

**81,650 gross square feet**

Combined William Griffin and old Delbrook Community Recreation Centres

#### SQUARE FOOTAGE OF NEW CENTRE

**96,488 gross square feet**

New Consolidated Delbrook Community Recreation Centre

#### **The New Delbrook Community Recreation Centre**

The table on the next page shows the facilities and services offered in the new Delbrook Community Recreation Centre. Many of the ideas suggested by community members during Phase One of the Delbrook Lands Community Dialogue will be accommodated in the new centre, including multi-purpose meeting rooms, youth space, seniors space, a preschool, arts and crafts space and a dance studio. Indoor pickleball may be accommodated in the new centre.

Capilano Community Services Society, which is currently housed at the old Delbrook centre, will not be moving their offices to the new centre (see text box to the left).

##### **Harry Jerome**

##### **Community Recreation Centre**

The Harry Jerome Recreation Centre is located near the Trans-Canada Highway and Lonsdale Ave in the City of North Vancouver. For the past three years the City has set aside funds for the replacement of this facility. In April 2016, City of North Vancouver Council voted to support a tax increase to set aside further funding to rebuild the Centre. The Harry Jerome project is planned for the 2016–2025 period, though no timelines for development or further detail are available at this time.

## Services and Facilities Available in the New Delbrook Community Recreation Centre (useable square footage)

### ► Aquatic Spaces

- 6 lanes x 25m
- Wider lanes for lane swimming
- Large hot tub/whirlpool, sauna & steam room
- Leisure tank with warmer water, zero depth entry for multi-generational use includes tots, games/exercise & therapy/current channel zones
- Change rooms (male, female & larger universal/mixed gender change area)
- Fully accessible for those with disabilities

### ► Commercial Lease Space

- Coffee/snack shop

### ► Community Meeting Space

- Community meeting rooms:
  - 1 boardroom (715 sq. ft.)
  - 2 small meeting rooms (156 sq. ft. & 292 sq. ft.)
  - Community kitchen (266 sq. ft.)

### ► Dance/Martial Arts/Activity Space

- Dividable with sprung-wood floor and mirrors (3039 sq. ft.)

### ► Fitness Centre (weight room, stretch area and fitness studio)

- Weight room includes cardio, strength & stretch areas (6690 sq. ft.)
- Fitness studio for spin and TRX (1185 sq. ft.)

### ► Gymnasium

- Large, dividable gymnasium configured for basketball, volleyball, badminton, pickleball (8040 sq. ft.)
- Adjustable basketball backboards for school age programs

### ► Indoor Racquet Sports Courts

- 2 convertible courts for squash & racquetball

### ► Multipurpose Program & Meeting Space (includes seniors)

- 1 large dividable (2833 sq. ft.)
- 1 medium (1823 sq. ft.)
- 1 small (958 sq. ft.)

### ► Museum and Archives Display

► **North Vancouver Recreation and Culture Commission Administration Space (offices & central support services)**

---

► **Outdoor Plaza**

- Includes special event space
- 

► **Parking**

- 243 spaces total
- 

► **Pottery Studio and Arts & Crafts Space**

- Arts & crafts studio (1075 sq. ft.)
  - Pottery studio & kiln room (1842 sq. ft.)
- 

► **Pre-School Program Space**

- Includes multi-purpose space for licensed and recreation programs for toddlers & pre-schoolers (1408 sq. ft.)
  - An outdoor playground with natural play structures is adjacent to the preschool space
- 

► **Welcoming Foyer (lobby, public gathering, reception, information)**

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► **Youth Space**

- 728 sq. ft.

# 4

## Financial Context

District finances are divided into operational and capital budgets.

### **2016 General Operating Fund Plan: \$124.2M**

Operational funding is for day-to-day operations including municipal salaries, programs (e.g. recreation) and services (e.g. police & fire services). The operating budget is largely funded by tax dollars and user fees, which include charges for recreation programs, water and sewers.

### **2016 Capital Fund: \$62.7M**

Capital funding is for the purchase and financing of the District's capital assets. Capital assets include infrastructure (e.g. roads, bridges and utilities), lands, buildings (e.g. community centres), vehicles and equipment.

The District's capital assets are valued at over \$2 billion.<sup>2</sup> Renewal of existing infrastructure and facilities is funded through property taxes and user fees. New infrastructure and facilities to support population growth are paid for through development proceeds.

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<sup>2</sup> Based on current replacement values



#### FINANCING THE NEW DELBROOK COMMUNITY RECREATION CENTRE

In 2015, the District borrowed \$28 million to support the replacement of the new Delbrook Community Recreation Centre. The annual interest rate on this debt is 2.2%, or \$616,000 per year—the lowest cost of borrowing through the BC Municipal Finance Authority since 1990. The District has been able to support the costs of borrowing and debt repayment without any increase to the tax levy.

Like much of Metro Vancouver, most of the District's infrastructure was built in the 1950s, 1960s and 1970s. Rising maintenance and replacement costs require ongoing funding which comes from the taxes and user fees collected from District residents and businesses. Financial strategies in place to sustain and renew this infrastructure include Council's multi-year policy of a 1% tax rate increase.

A 10-year Capital Plan is currently in development and will be brought to Council in fall 2016 for further direction. This plan will help guide decision making within a limited funding environment, and includes major projects such as highway interchanges, bridge and facility replacements, and new community amenities.

### Financial Parameters

The following financial parameters will help guide decision-making about potential future Delbrook Lands site uses:

**Renewal capital is already funded:** The renewal of existing assets and infrastructure is covered by the District's existing financial

framework. This includes the new \$50.1M Delbrook Community Recreation Centre on the former William Griffin site.

**District priorities are first in line for District funding:** The District's long-term funding framework and 10-year Capital Plan are managed so as to direct funding to priorities consistent with the Official Community Plan and to identified service gaps. These criteria will continue to be applied as new opportunities and priorities are identified over time.

**New assets or amenities require new funding sources:** New amenities or assets typically require new funding sources, either internally identified by the District or through external partners.

Desired amenities that are not identified as a District priority would likely require new revenue or funding sources. Examples of new funding sources include proceeds from the selling or leasing of land (including the Delbrook Lands), development proceeds, funding from other levels of government, or partnering with other organizations.

# 5

## Site Ideas

The following pages explore six broad categories of ideas for the Delbrook Lands:

### 1. Minimal Change to the Site

- Demolish Buildings
- Upgrade Existing Buildings

### 2. Parks and Outdoor Recreation

### 3. Community Services, Recreation and Cultural Facilities

### 4. Non-Market Housing

### 5. Market Housing

### 6. Commercial Use

These site ideas explore the widest possible spectrum of approaches—some of which are controversial and others that are technically constrained. The purpose of including a wide range of ideas is to allow participants to consider trade-offs and make informed choices about their preferred solutions.

Many ideas come directly from community suggestions during Phase One of the Delbrook Community Dialogue, while others reflect the need of District Council to know that participants have considered the full range of alternatives and have access to information about financial and other District impacts.

**The site ideas included here are not mutually exclusive and do not prevent participants from introducing new ideas. Most participants in Phase One of the Delbrook Lands Community Dialogue put forward suggestions that combined multiple site uses. Participants will need to consider and weigh potential trade-offs when deciding between different ideas.**

It is possible that the resulting recommendations would also require that amendments to existing policies and plans be considered by District Council in order to be realized. All information on cost estimates and sample footprint size are approximate and are subject to change through any subsequent design process.

#### TRAFFIC GENERATED ON SITE

According to a 2016 transportation study for the Delbrook neighbourhood, the site ideas in this section, with the exception of commercial uses, would all generate similar or less car traffic than the current uses occupying the Delbrook Lands. Further information is needed to determine commercial impact.

## 1. Minimal Change to Site

### *Demolish buildings*

The existing buildings would be demolished and the grounds seeded with grass, leaving the rest of the site (childcare facility, children’s play area, tennis courts and parking lots) as is.

Capital Costs	Operating Costs	Land Ownership
\$600,000 (already covered in District budget)	Minimal—upkeep to the site	Remains District-owned

- Demolition costs covered within existing budget to decommission community centre
- Retains public land with maximum flexibility to meet future community needs
- According to a third party report, the majority of original building systems are well beyond or near the end of their useable life

.....

- Leaving the site as grass field is considered an underutilization by the District
- Some community members expressed concern about a loss of Delbrook neighbourhood history

### *Upgrade existing buildings*

The buildings would be upgraded and repurposed to provide community use for another 25 years.

Capital Costs	Operating Cost	Land Ownership	Footprint
\$11.3M+	\$500,000+/year	Remains District-owned	51,000 sq. ft. (28% of site)

- Some community members have expressed a desire to see the buildings remain to preserve Delbrook neighbourhood history
- Would require new funding source or Council decision to defer other District capital and operating funding priorities
- Building design may not serve future operational purpose

- According to a third party report, the majority of original building systems are well beyond or near the end of their useable life and it is less expensive to build a new facility than to refurbish the existing buildings
- With upgrades, the building life would only be extended by 25 years and the buildings would not meet seismic codes
- The buildings are surplus to the District's current needs, and this option is not supported by the District's asset management plan

#### CAPILANO COMMUNITY SERVICES

The District is currently in discussion with Capilano Community Services and their partner organizations about operating in the north Delbrook building until the proposed new Lions Gate Village Centre community recreation centre is ready in 2019. Capilano Community Services and their partner organizations are concerned about maintaining continuity of service for their users if they have to move before the new centre is built, and would prefer staying on the site for the interim.

## 2. Parks and Outdoor Recreation

The ideas below are examples of parks and outdoor recreation that could cover all or a portion of the Delbrook Lands. Covering the entire site with a park would cost approximately \$4 million and require 22 parking spaces. All the land would remain District-owned.

Impacts to consider:

- District Parks and Open Space Strategic Plan has identified a shortage of Neighbourhood Parkland<sup>3</sup> (e.g. playground) in the Delbrook area
- Some community members have been advocating for a park for decades

- District Parks and Open Space Strategic Plan has no identified need for Community or District Parkland<sup>4</sup> (e.g. playing fields, baseball pitches, stadiums) in the Delbrook area
- May require new funding sources, the allocation of new development funds from the local area, or a Council decision to defer other District capital and operating funding priorities

3, 4 See pages 14-16 for descriptions of park categories



## Neighbourhood Parkland Ideas

Below is a list of parkland features that could be built alone or in combination to cover a portion of the site. The neighbourhood park would serve approximately 2,000 District residents and 1,000 City residents within a 10-minute walking distance.

---

**Playground:** Basic public play structure for young children

Capital Costs	Operating Costs	Footprint
\$110,000 (15 year lifecycle)	\$4,500/year	2,000 sq. ft. (1% of site)

---



**Adventure Playground:** Could be designed and manufactured using natural materials, such as BC Yellow Cedar and sustainable design practices. The structure offers a natural play setting with the goal of helping reconnect people with nature.

Example: Terra Nova Park, Richmond

Capital Costs	Operating Costs	Footprint
\$1M	\$20,000/year	10,000 sq. ft. (5% of site)

---

**General Green Space/Multi-Use Open Space:** Open green space for play, social interaction and gathering.

Capital Costs	Operating Costs	Footprint
\$200,000	\$10,000/year	4,500 sq. ft. (2% of site)

---

**Community Gardens:** Parcel of land for individual garden plots or collective gardening with fence, garden shed and seating. Would serve approximately 100 local residents.

Capital Costs	Operating Costs	Footprint
\$50,000	\$2,500/year	1,500 sq. ft. (1% of site)

---

**Mission Creek Enhancements:** Environmental enhancements to Mission Creek riparian area, including habitat protection fencing, native planting, etc.

Capital Costs	Operating Costs	Footprint
\$250,000	\$5,000/year	1,500 sq. ft. (1% of site)

---

**Trail Networks:** Trail and bridge/boardwalk on site, potentially connected to existing trails and minimizing environmental impacts.

Capital Costs	Operating Costs	Footprint
\$100,000	\$6,000/year	700 linear ft. (1% of site)

**Picnic Area:** Picnic area with picnic shelter

Capital Costs	Operating Costs	Footprint
\$50,000	\$3,000/year	850 sq. ft. (1% of site)

**Spray Park:** A water play area that has little or no standing water to eliminate the need for lifeguards or other supervision, as there is little risk of drowning.

Capital Costs	Operating Costs	Footprint
\$400,000	\$8,000/year	3,500 sq. ft. (1.5% of site)



Example: Parkgate Seniors Park

**Circuit Exercise Equipment:** Outdoor fitness circuit with activity stations for adults that could be incorporated with a playground.

Capital Costs	Operating Costs	Footprint
\$240,000	\$5,000	6,000 sq. ft. (3% of site)

**Multi-Purpose Courts:** A multi-purpose sport court for basketball, casual ball hockey, etc., with fencing and seating.

Capital Costs	Operating Costs	Footprint
\$125,000	\$6,000/year	3,000 sq. ft. (1.5% of site)

**Existing Tennis Courts:** The existing tennis courts would be left as is or moved to a new location on the site.

Capital Costs	Operating Costs	Footprint
\$400,000 if moved	N/A	17,000 sq. ft. (9% of site)

## Community & District Park Ideas

These ideas are suited for larger park spaces and can serve a greater number of residents.



Example: Inter River Bike Skills Park

**Bike Park:** A park for mountain bikers, beginner to advanced, to develop their riding skills in a safe, controlled area.

### Capital Costs

\$100,000

### Operating Costs

\$5,000/year

### Footprint

13,000 sq. ft. (7% of site)



- There is currently no bike skills park in the western area of the District



- Depending on scope and scale, may not be compatible with residential neighbourhood.



Example: Kamloops Longboard Park

**Long Board Course:** A park for long boarders, beginner to advanced, to develop their riding skills in a safe, controlled area.

### Capital Costs

\$50,000

### Operating Costs

\$3,000/year

### Footprint

130,000 sq. ft. (68% of site)



- There is currently no long board course in the District



- Requires large site area to take advantage of grade changes



- Depending on scope and scale, may not be compatible with residential neighbourhood

**Playing Fields:** Sports fields for a variety of activities (i.e. soccer, football, field hockey, etc).

**Capital Costs**

Unavailable/variable

**Operating Costs**

Unavailable/variable



- Provides additional opportunities for organized outdoor recreation



- No identified need in Parks and Open Spaces Plan



- Site layout makes it difficult and costly to build playing fields



- There are artificial turf and grass playing fields nearby  
(Delbrook Park and William Griffin Park)



### 3. Community Services, Recreation and Cultural Facilities

#### Community Services



©The Atlantic/Evan Briggs

**Additional Child Care & Adult Daycare:** Group licensed child care could be co-located with adult daycare for older adults suffering from health related challenges (such as mild to moderate dementia, etc). Co-locating these non-profit facilities would allow for intergenerational programming, which has been shown to have positive benefits.

These services require parking for staff and users, drop off and pick up space and an outdoor children’s play area.

Capital Costs	Land Ownership	Footprint
\$3.35M	<ul style="list-style-type: none"><li>• Remains District-owned</li></ul>	<ul style="list-style-type: none"><li>• 9,400 sq. ft., 5% of site:</li></ul>
<b>Operating Cost</b>	<ul style="list-style-type: none"><li>• Buildings would be leased to the child and adult care provider</li></ul>	<ul style="list-style-type: none"><li>• 2,700 sq. ft.—child care</li><li>• 2,700 sq. ft.—adjacent outdoor space</li><li>• 4,000 sq. ft.—adult daycare</li></ul>
Depends on model		

- Official Community Plan has identified adult daycare and child care as a need
  - Would provide quality care for 37 children and 30 seniors per day, amounting to 5,000 senior guests per year
  - No re-zoning or Official Community Plan amendment process needed
- .....
- May require new funding sources, the allocation of new development funds from the local area, or a Council decision to defer other District capital and operating funding priorities



## Recreational and Cultural Services



**Curling Rink:** A curling rink facility with eight ice sheets.

Example: Cloverdale Curling Rink, Surrey

### Capital Costs

\$12M

### Land Ownership

Remains District-owned

### Footprint

38,800 sq. ft. (20% of site)

### Operating Costs

Depends on model



- There are no curling venues on the North Shore and curlers have to travel to other municipalities to play (approximately 400 curlers live on the North Shore)



- No re-zoning or Official Community Plan amendment process needed (uses allowed in Public Assembly zoning)

.....



- Not identified as a need in the Indoor Recreation Facility Plan



- May require external funding sources, the allocation of new development funds from the local area, or a Council decision to defer other District capital and operating funding priorities



**Cultural Space:** A multi-use space with a flexible design that can be reconfigured for different indoor and outdoor spaces (e.g. theatre space, community events).

Example: Presentation House Theatre, City of North Vancouver

**Capital Costs**

\$12M

**Operating Cost**

Depends on model

**Land Ownership**

Remains  
District-owned

**Footprint**

7,500 sq. ft.  
indoor plus outdoor  
space (5% of site)



- No re-zoning or Official Community Plan amendment process needed (uses allowed in Public Assembly zoning)

.....



- Further analysis is required to determine the demonstrated need for different types of cultural facilities across the entire District



- Site location may not be ideal compared to more central locations in the District



- May require new funding sources, the allocation of new development funds from the local area, or a Council decision to defer other District capital and operating funding priorities

12<sup>th</sup> Avenue Arts was developed by a non-profit housing organization and includes affordable apartments, office space for non-profits, flexible theatre space, food services and underground parking for the Seattle Police Dept.

Example: 12th Ave. Arts, Seattle, USA



## 4. Non-Market Housing

Affordable non-market units could include housing for seniors, families, single parents or other target populations, combined with other complimentary services such as child care and adult daycare. Development of this type would require sensitive integration with the single family neighbourhood.

Four-story LEED Gold residence by the YWCA, for women and children in need of support services. Includes administration, underground parking and multiple amenity spaces.

Example: Alder Gardens, Surrey



### Capital Costs

\$16.4 M<sup>5</sup>

### Operating Cost

Requires senior government and non-profit housing partnerships

### Land Ownership

- Remains District-owned
- District may consider leasing a portion of the site to a non-market housing provider

### Footprint

- Approximately 38,000 square feet in this example or the size of the south parking lot (20% of the site)
- 4 stories



- Official Community Plan has identified affordable non-market housing as an important community need



- Provides up to 40 units of low rise apartments for low to moderate income households



- Project could not occur without the District contributing land



- Site is within walking distance of schools, parks, recreation facilities and shops, and is located on a public transit corridor



- Provincial government has issued a call for Expressions of Interest to partner with municipalities and other organizations on affordable housing projects



- Rezoning and Official Community Plan amendment process needed, as site is not zoned for residential and is not in a town centre







- Could not proceed without external funding for capital and operating costs, which is not guaranteed

<sup>5</sup> Altus Group, 2016 Canadian Cost Guide; Includes site servicing (approximately \$1.4M)

## 5. Market Housing

Privately-owned residential units, such as townhomes or low rise apartments, could be sold at market value on a portion of the site. This approach offers one potential method to raise money for new site amenities or other District financial priorities.

This section provides reference information about potential revenues using different housing forms on approximately 20% of the Delbrook Lands. Revenue would scale roughly with the size of housing development, from \$3 million up to approximately \$34 million if the area outside of 15 metre stream setback was covered in six story low rise apartment buildings (see figure 1 on page 7).

		One Time Revenue <sup>6,7</sup>	Ongoing Taxation Revenue
<i>Housing Units &amp; Built Form for 20% of Site</i>			
	Town homes: 3 stories, 28 units	\$3M	\$40,000
	Low Rise: 4 story apartment/ walk up, 40 units	\$4M	\$60,000
	Low Rise: up to 6 stories, apartment/ walk up, 58 units	\$6M	\$84,000
<i>Housing Units &amp; Built Form for Full Site<sup>8,9</sup></i>			
	Low Rise: up to 6 stories, apartment/ walk up, 300 units	\$34M	\$420,000

6 Approximate value, plus or minus 25% margin of error after deduction of servicing fees (\$1.4M)

7 Values are illustrative and for discussion purposes only

8 Relocation of the existing child care into new development would need to be factored into this cost if full site developed

9 Depending on the building type and size of units

## Land Ownership

- A portion or whole of the Delbrook Lands would be sold to a private developer

## Footprint

- Could scale from 38,000 sq. ft (20% of the site) to full site



- Official Community Plan identifies diversifying housing options as a priority



- Site is within walking distance of schools, parks, recreation facilities and shops, and is located on a public transit corridor



- Provides an opportunity to raise money that could be used to pay for on-site amenities or other District priorities



- Rezoning and Official Community Plan amendment process needed, as site is not zoned for residential and is not in a town centre



- Potential loss of Public Assembly and District-owned lands that will not be available in the future to serve a growing population



- Changes neighbourhood character, depending on housing form selected

In response to its housing affordability crisis, Los Angeles developed small lot homes that have similar density to townhouses with fee-simple ownership. From *Small Houses: Innovations in Small-scale Living from North America* edited by Erick Villagomez, Founder & Editor-in-Chief of Spacing Vancouver Magazine

Example: Small Lot Homes, Los Angeles, USA





## 6. Commercial Use

Retail business that services the local community, e.g. coffee shop, convenience/grocery store, restaurant, etc.

### Capital Costs

Depends on model

### Land Ownership

Depends on model

### Footprint

6,000 sq. ft. (3% of site)

### Operating Costs

Depends on model



- Would provide convenient service for local residents and site users



- Rezoning and Official Community Plan amendment process needed, as site is not zoned for commercial use



- The new Delbrook Community Recreation Centre will have a coffee shop



- Retail may not be viable from a business perspective due to the number of nearby commercial venues (Westview, Edgemont Village, Delbrook Plaza, etc.) and inadequate foot traffic

#### **SALE OF THE SITE**

If the District was to consider residential development on the Delbrook Lands and sell the site, it could obtain up to \$34 million to re-invest in community services or meet other financial priorities.

The sale of the Delbrook Lands would mean a loss of Public Assembly and District-owned lands that would not be available for community uses in the future.

# 6

## Discussion Questions

The Delbrook Lands Community Dialogue offers a rare and exciting opportunity for residents and stakeholders to collaborate with the District of North Vancouver to help shape District policy. Thinking about the future of the Delbrook Lands, here are some questions to take into account:

1. What principles should guide decision making for the Delbrook Lands?
2. What are the greatest needs of the community?
3. How will different community members be impacted by participant recommendations to District Council on the future use of the Delbrook Lands?
4. Are there any circumstances where the sale and private ownership of the Delbrook Lands is desirable, or is continued public ownership preferred?

# 7

## Background Materials

Links to plans and policies referenced in this guide are available at [dnv.org/delbrooklands](http://dnv.org/delbrooklands)

### **District of North Vancouver**

- ▶ Official Community Plan
- ▶ Public Assembly Land Strategy document
- ▶ Development Permit Areas
- ▶ Parks and Open Spaces Strategic Plan
- ▶ Delbrook Transportation Study Report

### **City of North Vancouver**

- ▶ Official Community Plan

### **North Vancouver Recreation and Culture Commision**

- ▶ Indoor Recreation Facility Plan

# Delbrook Lands Community Dialogue





AGENDA INFORMATION	
<input checked="" type="checkbox"/> Regular Meeting	Date: <u>Sept. 19, 2016</u>
<input type="checkbox"/> Other:	Date: _____

Dept. Manager	GM/ Director	At CAO
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## The District of North Vancouver REPORT TO COUNCIL

September 12, 2016  
File: 05.1930/Grants and Sponsorships/2016

**AUTHOR:** Annie Mauboules, Social Planner

**SUBJECT:** **Funding Recommendations for the Community Action Housing Committee**

### RECOMMENDATION:

THAT staff be directed to work with the North Shore Community Resource Society's Community Housing Action Committee Chair to develop and finalize a work plan for the committee for 2017 and;

THAT Council provide core funding of \$10,000 each year for three years to North Shore Community Resource Society for the Community Housing Action Committee and;

THAT after three years, ongoing funding for the Community Housing Action Committee be reassessed.

### REASON FOR REPORT:

At the Monday April 11, 2016 regular meeting, Council made the following resolution:

*THAT the expenditure of up to \$10,875 from the Council Contingency Fund is granted to North Shore Community Resource Society's Community Housing Action Committee (CHAC).*

### SUMMARY:

North Shore Community Resource Society's Community Housing Action Committee (CHAC) received a short term funding commitment from the District that expires in 2017. The Society is now requesting ongoing funding.

### BACKGROUND:

In 2015 North Shore Community Resources Society (NSCRS) made a funding request directly to Council to support the work of one of their committees, the Community Housing Action Committee (CHAC). Council referred the matter to staff, who recommended to NSCRS that they make their funding request through the District's Community Grants program which is governed by Council approved policy and is the only formal mechanism

**SUBJECT: Funding Recommendations for the Community Action Housing Committee**

September 12, 2016

Page 2

that staff have to consider funding requests from service providers. NSCRS included a funding request for the CHAC program in their 2016 community grant application but also made another request directly to Council to financially support CHAC in April 2016. District Council granted NSCRS \$10,000 for CHAC on April 11, 2016 and therefore the Community Services Advisory Committee did not consider the CHAC funding request<sup>1</sup>. The funds granted by Council for CHAC were for one year only and will run out in December 2016. CHAC is therefore requesting ongoing District funding.

**EXISTING POLICY:**

District of North Vancouver Municipal Community Service Grants Policy, 5-1850-2  
(Attachment A)

**ANALYSIS:**

CHAC Terms of Reference

Community Housing Action Committee meets monthly to discuss issues related to affordable housing across the North Shore. Their mandate is to advocate for increased affordable housing stock, to conduct research, to facilitate partnerships to develop affordable housing and to organize workshops on affordable housing challenges and solutions. Housing planners for each of the three North Shore municipalities attend these meetings to provide updates to CHAC members on the work occurring in each municipality to address affordable housing challenges.

Other Funding

NSCRS has made similar funding requests for CHAC to both the City of North Vancouver (CNV) and the District of West Vancouver (DWV). In 2016, the CNV approved an ongoing annual increase of \$10,128 in core funding to NSCRS to support CHAC. In 2016, the District of West Vancouver provided NSCRS with a three-year Community Grant in the amount of \$2,000 each year for CHAC.

NSCRS is supported by the District through the Community Grants administered by the Community Services Advisory Committee. In 2016 they received \$13,955 from the District for various programs.

**Timing/Approval Process:**

The funding for NSCRS's CHAC program runs out in December 2016 and has not previously been part of the annual core grants program. Should Council wish to add this program to the District's annual core funding allocation, a decision must be made by November in order for staff to include CHAC in the Core Funding Report to Council that is scheduled in December of each year. If these funds were approved, they would need to be included in the 2017 budget preparations due at the end of October.

**Concurrence:**

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<sup>1</sup> In 2016 the Community Services Advisory Committee approved a total of \$13,955 for NSCRS for various programs. The request for the CHAC program is not part of that funding request and was not otherwise considered because Council had allocated the \$10,000 to NSCRS already.

**SUBJECT: Funding Recommendations for the Community Action Housing Committee**

September 12, 2016

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Finance has reviewed this report and has provided feedback.

**Financial Impacts:**

Should Council wish to provide funding to CHAC, a funding source will need to be determined through the 2017 Financial Plan. The existing Core Grants budget is already allocated as is the Community Grants budget.

**Liability/Risk:**

CHAC meets monthly to discuss and consider issues regarding affordable housing across the North Shore. NSCRS has told staff that they cannot sustain the CHAC program without this funding. The funds that the District provides support these monthly meetings and the overall work done to provide comment on the status of affordable housing across the District. Should Council choose to deny the funding request, CHAC would likely have to reduce their ability to provide feedback on issues related to affordable housing as well as to reduce the number of meetings they have.

**Conclusion:**

Affordable housing is a critical issue facing our community. CHAC provides a community based voice on issues related to affordable housing and has been involved in community consultations and planning processes for many years. While it is important for NSCRS to diversify their funding base, the Society's ability to continue to support CHAC requires ongoing funding. CHAC's work would be negatively impacted should the District no longer support this important work.

**Options:**

- 1) THAT staff be directed to work with the North Shore Community Resource Society's Community Housing Action Committee Chair to develop and finalize a work plan for the committee for 2017 and;

THAT Council provide \$10,000 each year for three years to the Core Funding budget for the North Shore Community Resource Society for the Community Housing Action Committee and;

THAT after three years, ongoing funding for the Community Housing Action Committee is reassessed.

Or

- 1) THAT staff be directed to notify North Shore Community Resource Society that the District will no longer directly financially support the Community Housing Action Committee program but funding requests continue to be assessed through the Community Grants process.

**SUBJECT: Funding Recommendations for the Community Action Housing Committee**

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Respectfully submitted,



Annie Mauboules  
Social Planner

**REVIEWED WITH:**

- ☐ Sustainable Community Dev. \_\_\_\_\_
- ☐ Development Services \_\_\_\_\_
- ☐ Utilities \_\_\_\_\_
- ☐ Engineering Operations \_\_\_\_\_
- ☐ Parks \_\_\_\_\_
- ☐ Environment \_\_\_\_\_
- ☐ Facilities \_\_\_\_\_
- ☐ Human Resources \_\_\_\_\_

- ☐ Clerk's Office \_\_\_\_\_
- ☐ Communications \_\_\_\_\_
- ☒ Finance 
- ☐ Fire Services \_\_\_\_\_
- ☐ ITS \_\_\_\_\_
- ☐ Solicitor \_\_\_\_\_
- ☐ GIS \_\_\_\_\_
- ☐ Real Estate \_\_\_\_\_

**External Agencies:**

- ☐ Library Board \_\_\_\_\_
- ☐ NS Health \_\_\_\_\_
- ☐ RCMP \_\_\_\_\_
- ☐ NVRC \_\_\_\_\_
- ☐ Museum & Arch. \_\_\_\_\_
- ☐ Other: \_\_\_\_\_

**Highway Road Closure – Lynn Term East Discussion**

Materials to be circulated via agenda addendum.



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